

City of Plainwell



Rick Brooks, Mayor
Lori Steele, Mayor Pro-Tem
Brad Keeler, Council Member
Todd Overhuel, Council Member
Roger Keeney, Council Member

Department of Administration Services
211 N. Main Street
Plainwell, Michigan 49080
Phone: 269-685-6821
Fax: 269-685-7282
Web Page Address: www.plainwell.org

“The Island City”

AGENDA

City Council – Monday July 24, 2017

7:00 PM

1. **Call to Order**
2. **Invocation**
3. **Pledge of Allegiance**
4. **Roll Call**
5. **Approval of Minutes/Summary – 07/10/2017 Regular Meeting**
6. **General Public Comments**
7. **County Commissioner Report / Presentations**
8. **Agenda Amendments**
9. **Mayor's Report**
10. **Recommendations and Reports:**
 - A. **Appointment to Parks & Trees Commission**
Council will consider confirming the Mayor’s appointment of Gina DeHart to the Parks & Trees Commission.
 - B. **Site Plan Review – Sweetwater’s Donuts**
Council will consider a site plan for the proposed Sweetwater’s Donuts building.
 - C. **Site Plan Review - Wesco**
Council will consider a site plan for improvements at the Wesco property.
11. **Communications:** The June 2017 Public Safety Report, the DRAFT 07/11/2017 DDA-BRA-TIFA Minutes and the DRAFT 07/19/2017 Planning Commission Minutes.
12. **Accounts Payable - \$148,141.65**
13. **Public Comments**
14. **Staff Comments**
15. **Council Comments**
16. **Adjournment**

Note: All public comment limited to two minutes, when recognized please rise and give your name and address

MINUTES
Plainwell City Council
July 10, 2017

1. Mayor Brooks called the regular meeting to order at 7:01 PM in City Hall Council Chambers.
2. Scott Fenner of Lighthouse Baptist Church gave the invocation.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Brooks, Mayor Pro-Tem Steele, Councilman Keller, Councilman Overhuel and Councilman Keeney. Absent: None.
5. Approval of Minutes/Summary:
A motion by Steele, supported by Overhuel, to accept and place on file the Council Minutes and Summary of the 06/26/2017 regular meeting. On voice vote, all voted in favor. Motion passed.
6. General Public Comments: None.
7. County Commissioner Report / Presentations: None.
8. Agenda Amendments: None.
9. Mayor's Report: None.
10. Recommendations and Reports:
 - A. Superintendent Pond reported that the old chlorine analyzer was not working.
A motion by Keeler, supported by Keeney, to approve the purchase of a replacement inline chlorine analyzer from the low-quote of Forberg Scientific for \$4,027.60 On a roll-call vote, all in favor. Motion passed.
 - B. Superintendent Updike reported castings are needed in conjunction with the approved 2017 paving project. This work will commence immediately and the cost will be split between streets & sewer.
A motion by Overhuel, supported by Keener, to approve the purchase of pavement castings from East Jordan Iron Works for \$8,290.54. On a roll-call vote, all in favor. Motion passed.
 - C. Superintendent Updike reported on an annual emerald ash borer treatment at a cost of \$3,600. Most of the trees are in good shape with the recurring treatments.
A motion by Overhuel, supported by Keeler, to approve the contract with Honeytree Arborist for emerald ash borer treatments for \$3,600. On a roll-call vote, all in favor. Motion passed.
 - D. City Manager Wilson reported that the approved paving contractor has agreed to the pricing for adding Anderson Street from M-89 to Bannister Street, including striping. The budget includes \$40,000 for paving the parking lots and the street and there is \$10,000 in fund balance.
A motion by Keeler, supported by Keeney, to modify the existing paving contract to include Anderson Street for \$19,000. On a roll-call vote, all in favor. Motion passed.
11. Communications:
 - A. **A motion by Overhuel, seconded by Keeney, to accept and place on file the June 2017 Investment and Fund Balance Reports. On a voice vote, all in favor. Motion passed.**

12. Accounts Payable:

A motion by Keeler, supported by Keeney, that the bills be allowed and orders drawn in the amount of \$234,175.54 for payment of same. On a roll call vote, all in favor. Motion passed.

13. Public Comments

None.

14. Staff Comments

Personnel Manager Lamorandier thanked everyone for fixing the flowers.

Public Safety Deputy Director Varley reported that minors had done the damage on the flowers.

Superintendent Updike reported preparing for the paving project.

Community Development Manager Siegel reported that the farmer's market has moved back to the Mill Parking Area on M-89. She also noted the Car & Truck Show taking place at that same site on Saturday July 15. Also noted that the Plainwell Kayak Company is off to a great start.

City Manager Wilson noted an upcoming planning meeting for Sweetwater's.

15. Council Comments:

Mayor Pro-Tem wished Mayor Brooks a happy birthday next week!.

16. Adjournment:

A motion by Steele, supported by Overhuel, to adjourn the meeting at 7:26 PM. On voice vote, all voted in favor. Motion passed.

Minutes respectfully

Submitted by,

Lori Steele, Mayor Pro-Tem

SUMMARY
Plainwell City Council
July 10, 2017

1. Mayor Brooks called the regular meeting to order at 7:01 PM in Council Chambers at City Hall.
2. Invocation given by Scott Fenner of Lighthouse Baptist Church.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Brooks, Steele, Keeler, Overhuel and Keeney. Absent: None.
5. Approved Minutes/Summary of 06/26/2017 regular meeting.
6. Approved purchase of a chlorine analyzer from Forberg Scientific for \$4,027.60.
7. Approved purchase of pavement castings from East Jordan Iron Works for \$8,290.54.
8. Approved contract for Emerald Ash Borer treatments with Honeytree Arborist for \$3,600.
9. Approved modifying pavement contract with Michigan Paving to include Anderson Street from M-89 to Bannister for \$19,000
10. Accepted and placed on file the June 2017 Investment and Fund Balance Reports.
11. Approved Accounts Payable for \$234,175.54.
12. Adjourned the meeting at 7:26 pm.

Submitted by,
Lori Steele
Mayor Pro-Tem

The City of Plainwell is an equal opportunity provider and employer

Allegan County Board of Commissioners



County Services Building
3283 – 122nd Avenue
Allegan, MI 49010
269-673-0203 Main Office
269-686-5331 Main Fax
<http://www.allegancounty.org>

Dean Kapenga, Chairman
Tom Jessup, Vice Chairman

BOARD OF COMMISSIONERS MEETING – AGENDA

Thursday, July 13, 2017 – 1PM
Board Room – County Services Building

DISTRICT 1
Dean Kapenga
616-218-2599
dkapenga@
allegancounty.org

1PM

CALL TO ORDER:

OPENING PRAYER: Commissioner Dean Kapenga

PLEDGE OF ALLEGIANCE:

ROLL CALL:

PUBLIC PARTICIPATION: *(Todd Whiteman candidate for
Community Mental Health Board)*

ADDITIONAL AGENDA ITEMS:

APPROVAL OF AGENDA:

PRESENTATIONS:

PROCLAMATIONS:

INFORMATIONAL SESSION: None

ADMINISTRATIVE REPORTS:

DISTRICT 2
Jim Storey
616-848-9767
jstorey@
allegancounty.org

DISTRICT 3
Max R. Thiele
269-673-4514
mthiele@
allegancounty.org

CONSENT ITEMS:

1. Motion to approve of claims paid and to incorporate into proceedings of the Board (6/30/17 & 7/7/17 & 7/14/17) *(\$898,149.98, \$789,529.45, \$518,693.15; passed unanimously)*

DISTRICT 4
Mark DeYoung
616-681-9413
mdeyoung@
allegancounty.org

ACTION ITEMS:

1. MERS—Employer Resolution Establish Uniform Transfer Provision (158-157) *(Aligns all participants that change within various retirement plans; passed unanimously)*
2. Area Agency on Aging of Western Michigan (AAAWM)-approve Annual Implementation Plan FY2018 *Moved to CoA for recommendation; passed unanimously)*
3. Board of Commissioners-authorize approval modification of 2017 Collective Bargaining Agreements *(passed 6-1 Thiele)*
4. Board of Commissioners-authorize administrator to respond to 4-parameters of court bargaining *(passed 6-1 Thiele)*

DISTRICT 5
Tom Jessup
269-637-3374
tjessup@
allegancounty.org

DISTRICT 6
Gale Dugan
269-694-5276
gdugan@
allegancounty.org

DISTRICT 7
Don Black
269-792-6446
dblack@
allegancounty.org

DISCUSSION ITEMS:

1. Annual Wellness Report—Amy Doeden, Wellness Coordinator *(Annual review; passed unanimously)*

Mission Statement

“The Allegan County Board of Commissioners shall plan, develop, and evaluate the necessary policies and resources to ensure our county continues to progress and prosper”

2. Review Precinct Meetings—Law Enforcement (*Plan B other than millage, will commissioners reduce % of general fund, decision for ballot date, activity report, in favor of millage?; passed unanimously*)

CLOSED SESSION-Collective Bargaining

PUBLIC PARTICIPATION:

FUTURE AGENDA ITEMS:

REQUEST FOR PER DIEM/MILEAGE:

BOARDS AND COMMISSIONS REPORTS:

ROUND TABLE:

- District-1-Dean Kapenga-*(Nothing)*
- District-2-Jim Storey-*(Nothing)*
- District-3-Max R. Thiele-*(Nothing)*
- District-4-Mark DeYoung-*(New computers at the next meeting)*
- District-5-Tom Jessup-*(Nothing)*
- District-6-Gale Dugan-*(Nothing)*
- District-7-Don Black-*(Nothing)*

District #7 Commissioner (616) 920-2875 Don Black Synopsis-July 13, 2017

(Comments in italics are my opinions and interpretation of the Commission meeting and actions)

Vision

"Children are remarkable for their intelligence and ardor, for their curiosity, their intolerance of shame, the clarity and ruthlessness of their vision."

- *Aldous Huxley (English novelist and critic, 1894-1963)*

ADJOURNMENT: Next Meeting - Thursday, July 27, 2017, 1PM @ **BOARD ROOM**
– **COUNTY SERVICES BUILDING, COUNTY SERVICES COMPLEX.**

Appointment List July 2017

Parks & Trees Commission

2-year term

Gina DeHart

12/2017 – completing Marcus Taylor's term



City of Plainwell
Application for Consideration for Appointment to
Citizen Boards and Commissions

(Applications are kept on file for one year from date of completion.)

Date : 9-1-16

Call 598-8032

Name : Gina DeHart

Address : 118 W. Plainwell St Plainwell, MI 49080

Telephone (Home): (269) 685-9388

Telephone (Work) (269) 692-6166

E-mail g-dehart@hotmail.com

I wish to be considered for appointment to the following citizen board(s) or commission(s). (If selecting more than one board/commission, indicate order of preference — "1" being first choice.)

<input type="checkbox"/> Board of Review	<input type="checkbox"/> Joint Recreation Committee
<input type="checkbox"/> Compensation Board	<input checked="" type="checkbox"/> Parks & Trees Commission
<input type="checkbox"/> Downtown Development Authority/ Tax Increment Finance Authority/ Brownfield Redevelopment Authority.	<input type="checkbox"/> Planning Commission
<input type="checkbox"/> District Library Board	<input type="checkbox"/> Other

Are you over 21 years of age?

Yes

No

Are you a resident of the city of Plainwell?

Yes

No

Are you a registered voter in the city of Plainwell?

Yes

No

Educational Qualifications: AA-education

Place of Employment: Otsego Public Schools, Hardings Market - Plainwell

Type of Work Performed: Special Education parapro, customer service

Other experience which would assist you in performing the duties of a board/commission member: I am an avid gardener and I want to be of service to my community.

Return completed form to: City Clerk's Office, 141 North Main Street, Plainwell, MI 49080

MEMORANDUM

To: City of Plainwell Planning Commission
Date: July 18, 2017
From: Maxwell K. Dillivan, AICP
RE: **Sweetwater's Site, 554 W. Allegan Street: Site Plan Review - Revised**

Overview

An application has been submitted that requests approval of a site plan for a dine-in and carry-out donut shop with drive-thru service. The subject site is located at 554 W. Allegan St. (parcel number 55-030-077-20 and 55-003-077-30). The project area is approximately 1.61 acres and is zoned Central Business District (CBD).

Proposal: Approval of this application would authorize the following site improvements:

- Clearing and excavation of the site.
- Construction of a 4,125-square foot building.
- Landscaping.
- Construction of driveways (2), curbing, and a parking lot (52 spaces).
- Construction of a stormwater retention area.



Existing Conditions: The subject site is currently undeveloped. Adjacent lands include:

- North: Undeveloped strip of land adjacent to the Kalamazoo River (CBD).
- South: Wesco gas station (C-2).
- East: Undeveloped parcel (CBD).
- West: Currently undeveloped parcel which will be used for the construction of the Prince Street extension (CBD).

Completeness Review

Site plans must be accompanied by the items listed in Section 53-128 B. of the Zoning Ordinance. Additionally, the site plan must contain the information required in Section 53-128 C. The submittal is completed and materials are sufficient for a full zoning and site plan review.

The City Manager, the Planning Commission, and City Council may require additional information to assist in the consideration of the proposed development (Section 53-128 C.15.)

Site Plan Review

Site plan approval shall be granted if the proposal meets all applicable standards set forth in the Zoning Ordinance.

Site Plan Review Requirements (Section 53-128 D.):

- A. *The vehicular transportation system shall provide for circulation throughout the site and for efficient ingress and egress to all parts of the site by fire and safety equipment. **Condition recommended. Fire Department approval necessary.***

The site is proposed to be accessed off the future extension of Prince Street with two points of ingress and egress to the Prince Street extension. The applicant also proposes a curb cut for vehicular access to a future development on the property to the east of the site. The potential for future cross-access vehicle movement to the east is also preserved at the front of the property (southeast corner), as the area is paved up to the shared lot line and not striped for parking.

- B. *Pedestrian walkways shall be provided as deemed necessary by the Planning Commission for separating pedestrian and vehicular traffic. **Meets standard, condition recommended.***

The site proposes six (6) inch raised concrete sidewalks on the north, east, and south sides of the proposed building. The applicant should include a sidewalk along the Prince Street extension to allow for future non-motorized connectivity and pedestrian access.

- C. *Recreation and open space areas shall be provided in all multiple-family residential developments. **Not applicable.***

- D. *The site plan shall comply with the district requirements for minimum floor space, height of building, lot size, yard space, density and all other requirements as set forth in the Zoning Chapter, unless otherwise provided. **Meets standard.***

The proposed development complies with district requirements for the CBD, Central Business District.

- E. *The requirements for fencing, walks and other protective barriers shall be complied with as provided in this chapter and as deemed appropriate by the Planning Commission. **Not applicable.***

- F. *The site plan shall provide for adequate on-site storage space for the proposed uses. **Not applicable.***
- G. *Security measures shall be provided as deemed necessary by the Police Chief for resident protection in all multiple-family residential developments. **Not applicable.***
- H. *Fire protection measures shall be provided as deemed necessary by the Fire Chief in conformance with all applicable laws of the state for the protection of residents and/or occupants of the structures. **Fire Department approval necessary.***
- I. *The site plan shall comply with all requirements of the applicable zoning district, unless otherwise provided. **Meets standard.***

The use is permitted by-right in the CBD Central Business District and meets the standard for maximum building height and all setbacks.

General Zoning Review

1. Parking (Section 53-175 & Section 53-176):

*The amount of required off-street parking space for new uses or buildings, additions thereto and additions to existing buildings, additions thereto and additions to existing buildings as specified above, shall be determined in accordance with the following table and the space, so required shall be stated in the application for a building permit and shall be irrevocably reserved for the use and/or shall comply with the initial part of this section. Land uses within the Central Business District Zoning District may be exempt from the table of parking requirements, if the Board of Appeals determines that required parking cannot be met. **Meets standard.***

According to the accompanying table under Section 53-176, subsection 3.g. lists the required parking spaces for establishments for sale and consumption on the premises of beverages, food, or refreshments. Based upon the submitted plan, this proposal will require 52 parking spaces (unless the ratio of one (1) space for every six (6) seats is greater which the applicant would need to confirm). The site plan indicates 52 parking spaces on the site including three (3) barrier-free spaces where two (2) of which are van-accessible.

The applicant shows five (5) stacking spaces to the west of the building presumably where the drive-thru window will be located. The applicant should provide further information regarding the nature of the drive-thru service. For instance, establishments selling coffee may experience an influx of traffic before normal business hours begin in the morning, leaving the five (5) stacking spaces shown to be insufficient. Our concern is that stacking of several vehicles may interfere with two-way internal circulation if the line of vehicles extends around the green space, to the northeast of the building. One possible consideration would be to eliminate two-way traffic east of the building which would allow for considerably more stacking spaces.

2. *Off-Street Loading and Unloading (Section 53-179):*

- A. *On the same premises with every building, structure or part thereof, erected and occupied for manufacturing, storage, warehousing, retailing display, or other uses involving the receipt or distribution of vehicles or materials or merchandise, there shall be provided and maintained on the lot adequate space for standing, loading and unloading services adjacent to the opening used for loading and unloading, designed to avoid interference with public use of the streets or alleys. The loading and unloading space shall be an area in minimum 12 feet in width by 50 feet in length with a 15-foot height clearance, and shall be provided according to the following table. **Meets standard.***

According to the table, one (1) loading space is required for structures with a gross floor area between 2,101 and 20,000 square feet. The applicant proposes one (1) loading area which will be 12.5 feet in width and 54 feet in length. The applicant should confirm if the 15-foot height clearance will be met.

3. *Landscaping (Section 43-124 B.):*

*For nonresidential uses in nonresidential districts, a minimum of 15% of the total lot area in landscaping, one tree or shrub for every 1,000 square feet or portion thereof, plus one tree for every 1,500 square feet of landscaped area or portion thereof shall be required. Ground cover is required in all landscape areas. Landscaping of adjacent right-of-way area shall be included in satisfying the minimum on-site requirement if it is maintained by the adjacent property owner. A minimum of 33% of required landscape area shall be located between any building and the street. **Meets standard.***

The applicant has provided a landscaping plan as part of this application. The minimum 15% of the total lot area is met (8,750 sq. ft. provided) along with one (1) required tree or shrub for every 1,000-sq. ft. of the 15% of the total area (nine (9) shrubs provided) and one (1) tree for every 1,500-sq. ft. of the 15% of the total area (six (6) trees provided). The applicant has confirmed that 33% of the required landscape area (2,888 sq. ft. in total) is located between the building and the street.

4. *District Sign Regulations (Section 52-10):*

*Signs in the districts listed below shall be permitted as stated. Any sign not expressly permitted is prohibited. **Does not meet standard.***

The applicant has not submitted a MSP (master sign plan); however, the site plan proposes a 50-square foot freestanding sign near the southwestern corner of the site. No further specifications or details of the sign are provided regarding type, illumination, material, or mounting structure. However, ground-mounted signs are not permitted in the CBD District. If the applicant wishes to construct a ground-mounted sign as indicated in the site plan, we recommend the applicant seek rezoning of the property to a zoning district which will enable the construction of this sign type as indicated.

5. *Incinerators and Trash Containers (Section 53-126):*

- A. *Adequate vehicular access shall be provided to the containers for truck pickup either via a public alley or vehicular access aisle which does not conflict with the use of off-street parking areas or entrances to or exits from principal buildings nearby. **Meets standard.***

The applicant is proposing a 19 ft. by 25 ft. dumpster enclosure in the northeastern corner of the site. Access to the dumpster enclosure does not conflict with off-street parking areas.

- B. *A solid ornamental screening wall or fence shall be provided around all sides of trash containers which shall be provided with a gate for access and be of the height as to completely screen the containers, the maximum height of which shall not exceed six feet. **Meets standard.***

The enclosure will be composed of a six (6) ft. wood stockade fence.

- C. *The trash container(s), the screening wall or fence and the surrounding ground area shall be maintained in a neat and orderly appearance, free from rubbish, waste paper or other debris. This maintenance shall be the responsibility of the owner of the premises on which the containers are placed. **Standard to be met.***

- D. *The trash container(s) shall not be located closer than five feet to any lot line of adjacent residentially zoned property. **Not applicable.***

The site does not abut any residentially zoned property.

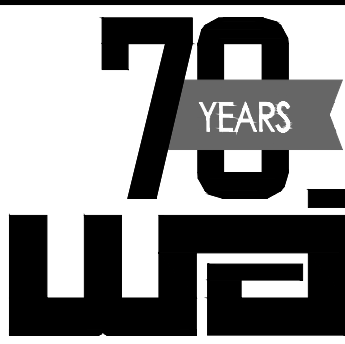
Recommendation

Based on the revised site plan the applicant has submitted, we feel the standards of the ordinance have been met to satisfaction and recommend approval of the site plan with the following conditions:

1. Provide a sidewalk along the Prince Street extension frontage.
2. Provide signage plan per City requirements. Confirm signage type, materials, and illumination. If the applicant wishes to construct a ground-mounted sign as indicated in the site plan, we recommend the applicant seek rezoning of the property to a zoning district which will enable the construction of this sign type as indicated.

PLAINWELL 554, LLC

SWEETWATER'S SITE



WIGHTMAN & ASSOCIATES, INC.
AMERICAN COUNCIL OF ENGINEERING COMPANIES
★ FIRM OF THE YEAR ★

2303 Pipestone Road
Benton Harbor, MI 49022
Phone: (269) 927-0100

9835 Portage Road
Portage, MI 49002
Phone: (269) 327-3532

264 Western Avenue
Allegan, MI 49010
Phone: (269) 673-8465

www.wightman-assoc.com

NOTES

EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS OR IN THE PROPOSAL AND SUPPLEMENTAL SPECIFICATIONS CONTAINED THEREIN, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE 2012 MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.

THE PLACING OF PAVEMENT MARKINGS AND TRAFFIC CONTROL SIGNS SHALL BE DONE IN ACCORDANCE WITH THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AS AMENDED.

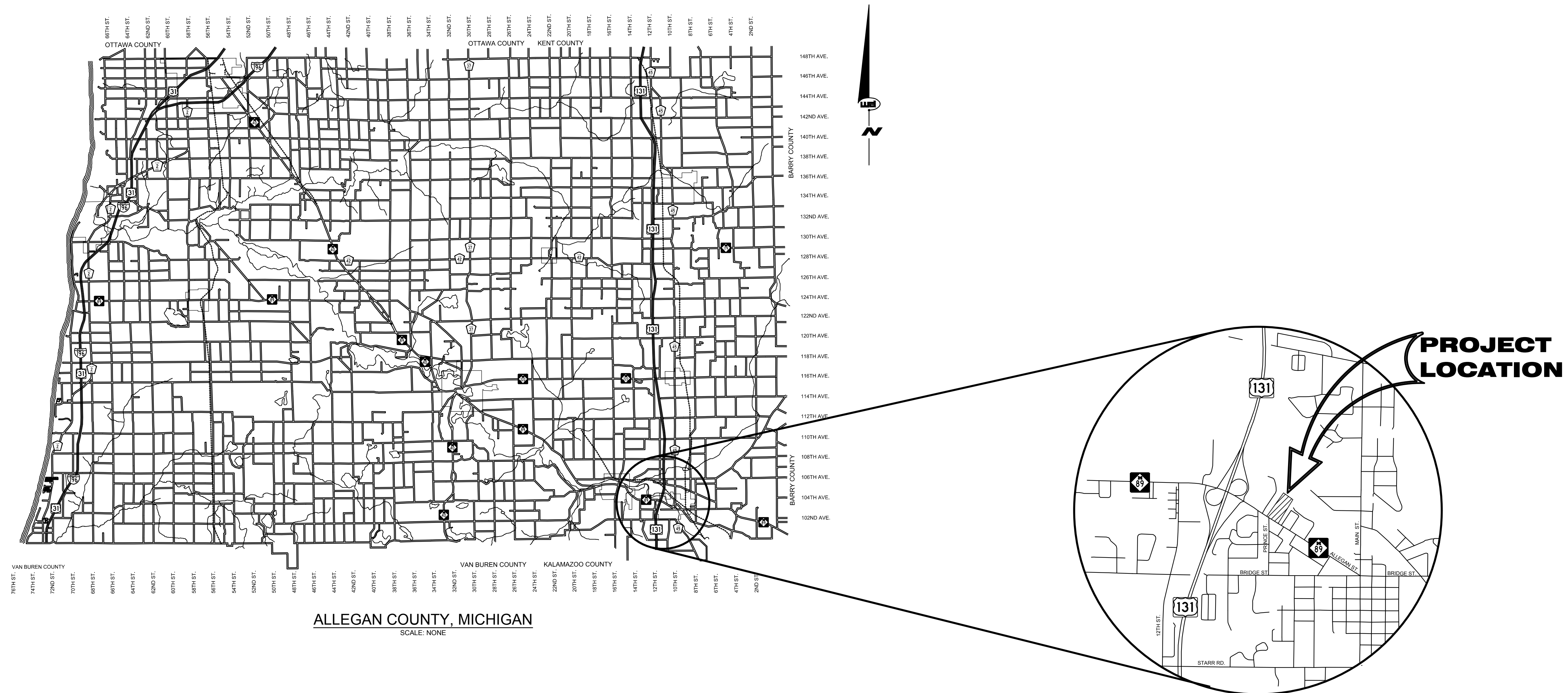
IN CONFORMANCE WITH PUBLIC ACT 174 OF 2013, ALL CONTRACTORS SHALL CALL MISS DIG @ 811 OR 800-482-7171 FOR PROTECTION OF UNDERGROUND UTILITIES A MINIMUM OF THREE FULL WORKING DAYS (EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS) PRIOR TO BEGINNING EACH EXCAVATION IN ANY AREA. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

INDEX OF PLANS

G001	COVER SHEET
G002	GENERAL DETAILS
CS101	EXISTING CONDITIONS
CP101	SITE LAYOUT
CG101	GRADING AND UTILITIES PLAN

PROJECT NAME:
SWEETWATER'S SITE

PLAINWELL 554, LLC
3313 STADIUM DRIVE
KALAMAZOO, MI 49008



03/07/2017 BSD
REV. PER CITY'S COMMENTS

02/07/2017 PAD
CITY PLANNER SUBMITTAL

01/07/2017 PAD
OWNER SUBMITTAL

00/04/2017 PAD
PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS

DATE: JUNE, 2017

SCALE:

COVER SHEET

172026
G001

PROJECT NOTES

THE "2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND "STANDARD PLANS" BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) ARE HEREBY INCORPORATED INTO THESE CONTRACT DOCUMENTS. COPIES OF THESE STANDARDS ARE AVAILABLE FOR INSPECTION AT THE OFFICE OF THE ENGINEER.

THE PLACING OF TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE DONE IN ACCORDANCE WITH THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTC), AS AMENDED.

ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND/OR PLANS PREPARED BY OTHERS, IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING ALL BONDS AND INSURANCE CERTIFICATES.

THE CONTRACTOR SHALL LOCATE ALL ACTIVE UNDERGROUND UTILITIES PRIOR TO STARTING WORK AND SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE ENGINEER AND LINCOLN TOWNSHIP TO NOTIFY THEM THAT WORK IS COMMENCING.

FILL SHALL BE PLACED AND ADEQUATELY KEYED INTO STRIPPED AND SCARIFIED SOILS PER THE MDOT 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION. ALL FILL MATERIAL SHOULD BE AT APPROXIMATELY THE OPTIMUM MOISTURE CONTENT DURING COMPACTION. FURTHERMORE, FILL MATERIAL SHOULD NOT BE FROZEN NOR BE PLACED ON A FROZEN BASE. IT IS RECOMMENDED THAT ALL EARTHWORK AND SITE PREPARATION ACTIVITIES BE CONDUCTED UNDER ADEQUATE SUPERVISION.

ALL FILL FOR THIS PROJECT MUST BE OBTAINED AND FURNISHED BY THE CONTRACTOR. ALL REQUIRED FILL SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER, OR MDOT CLASS II GRANULAR MATERIAL FROM BORROW. EXCESS FILL SHALL BE REMOVED FROM SITE BY THE CONTRACTOR. NOTE: NO BORROW OR SOIL REMOVAL ARRANGEMENTS HAVE BEEN PREARRANGED FOR THIS PROJECT, AND SHALL BE THE TOTAL RESPONSIBILITY OF THE CONTRACTOR.

THE SOIL BORINGS WERE TAKEN BY WIGHTMAN & ASSOCIATES, INC. 2303 PIPESTONE ROAD, BENTON HARBOR, MI 49022 IN JUNE 2017.

THE TEST BORINGS REPRESENT POINT INFORMATION AND MAY NOT HAVE ENCOUNTERED ALL THE TYPES AND MATERIALS WHICH ARE PRESENT AT THE SITE. THESE BORING LOGS DO NOT CONSTITUTE A GUARANTEE OF THE SOIL OR GROUNDWATER CONDITIONS, OR THAT THE TEST BORINGS ARE AN EXACT REPRESENTATION OF THE SOIL OR GROUNDWATER CONDITIONS AT ALL POINTS ON THE SITE. SEE PLANS FOR SOIL BORING DATA.

THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT, AS REQUIRED.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING DRAINAGE PATTERNS, AND SHALL RESOLVE ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH MAY RESULT FROM THE CONTRACTOR'S ACTIVITIES.

ADEQUATE DUST CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER IN THE FIELD, TO BE INCLUDED IN THE VARIOUS ITEMS OF WORK.

MATERIAL FOR AGGREGATE BASE SHALL BE MDOT 21AA TYP. GRAVEL, SLAG, LIMESTONE, OR RECYCLED CONCRETE.

NAVD88 IS THE DATUM USED FOR THE TOPO.

SPOT ELEVATIONS WITHIN VICINITY OF PROPOSED CONCRETE CURB AND GUTTER REFER TO EDGE OF METAL ELEVATIONS. "TIP-OUT GUTTER" REFERS TO "REVERSE PAVEMENT SLOPE" WITHIN PROPOSED CONCRETE GUTTER. PITCH PAVEMENT/CONCRETE GUTTERS UNIFORMLY BETWEEN PROPOSED SPOT ELEVATIONS.

ALL SCALES FOR DRAWINGS AND DETAILS ARE BASED ON 24"x36" PRINTED PLANS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

ALL RADII FOR CURB AND GUTTER ARE DIMENSIONED TO THE BACK OF THE CURB.

TAPER THE CURBS TO ZERO HEIGHT AT SIDEWALKS. SIDEWALK RAMPS SHALL BE BARRIER FREE AND CONSTRUCTED IN ACCORDANCE WITH THE MDOT SIDEWALK RAMP AND DETECTABLE WARNING DETAILS (R-28 SERIES). SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH THE MDOT DRIVEWAY OPENINGS & APPROACHES AND CONCRETE SIDEWALKS (R-29 SERIES) UNLESS NOTED OTHERWISE.

EXPANSION JOINTS FOR CONCRETE CURB AND GUTTER SHALL BE PLACED AT: CURB CORNERS, BEGINNING AND ENDING OF RADII, ALL CATCH BASINS AND MANHOLES, INTERSECTION OF CURB/SIDEWALK, CURB/RETAINING WALL, CURB/BUILDING, AND EXISTING/NEW CONSTRUCTION, AT LENGTHS OF NOT MORE THAN 120' APART, AND AS SPECIFIED ELSEWHERE.

CONTRACTION JOINTS ARE TO BE PLACED AT 10' INTERVALS IN CONCRETE PAVEMENT.

PAVT, REM, MODIFIED SHALL INCLUDE REMOVING THE FULL DEPTH OF CONCRETE PAVEMENT INCLUDING HMA OVERLAYS, REGARDLESS OF THICKNESS. HMA SURFACE, REM, MODIFIED SHALL INCLUDE REMOVING THE FULL DEPTH OF HMA PAVEMENT REGARDLESS OF THICKNESS. ALL CURB AND GUTTER REMOVAL SHALL BE MEASURED AS CURB AND GUTTER, REM PER FT. ALL REQUIRED SAW CUTTING SHALL BE INCLUDED IN THE RESPECTIVE REMOVAL ITEMS.

ALL STRUCTURES REQUIRING ADJUSTMENT TO MEET FINAL PAVEMENT GRADE SHALL BE BACK FILLED WITH CONCRETE TO APPROXIMATELY 1/2" BELOW FINAL GRADE PRIOR TO THE PLACEMENT OF THE HMA TOP COURSE. A SQUARE AREA, 4' BY 4', SHALL BE SAWCUT AND REMOVED AROUND DRAINAGE STRUCTURE COVERS, (2' BY 2' AROUND WATER VALVE BOXES). CONCRETE SHALL BE PLACED TO A DEPTH OF 8 INCHES, MINIMUM. COST OF PAVEMENT REMOVAL AND CONCRETE PLACEMENT IS INCLUDED IN THE ADJUSTMENT ITEMS.

CONNECTING NEW PIPE TO EXISTING PIPE OR STRUCTURES AND CONNECTING EXISTING PIPE TO NEW STRUCTURES IS INCLUDED IN THE ITEM FOR THE RESPECTIVE NEW PIPE OR DRAINAGE STRUCTURE.

EXISTING DRAINAGE STRUCTURE COVERS FOR STORM MANHOLES THAT ARE TO REMAIN SHALL BE REPLACED WITH COVER B PRIOR TO FINAL ADJUSTMENT. EXISTING DRAINAGE STRUCTURE COVERS FOR SANITARY MANHOLES SHALL BE REPLACED WITH COVER Q PRIOR TO FINAL ADJUSTMENT. EXISTING CATCH BASIN COVERS THAT ARE TO REMAIN SHALL BE REPLACED WITH COVER K PRIOR TO FINAL ADJUSTMENT. INCLUDED IN THE NEW CASTING ITEMS SHALL BE TEMPORARY PLATING OF THE EXISTING STRUCTURE THROUGH THE LEVELING COURSE. FINAL ADJUSTMENT SHALL BE PAID FOR AS DR STRUCTURE COVER, ADJ, CASE.

ALL PROPOSED 2' DIA. AND 4' DIA. DRAINAGE STRUCTURES WILL BE INLETS OR MANHOLES (NO SUMP). BOTTOM DETAIL SHALL BE PER SECTION A-A, TYPICAL MANHOLE AS SHOWN ON MDOT STANDARD PLAN R-1 SERIES, AND SHALL BE INCLUDED IN THE RESPECTIVE DRAINAGE STRUCTURE ITEMS.

ANY SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER THAT IS DAMAGED BY THE CONTRACTOR DURING THEIR OPERATIONS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.

ALL PERMANENT SIGNAGE SHALL COMPLY WITH THE MICHIGAN'S BARRIER FREE DESIGN REQUIREMENTS AND THE AMERICANS WITH DISABILITIES ACT.

ALL ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED ELECTRICIAN ACCORDING TO THE NATIONAL ELECTRICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN, FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE WORKING SYSTEM.

THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL PRE-EXISTING ON-SITE IMPROVEMENTS WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED. THIS INCLUDES BUT IS NOT LIMITED TO BUILDINGS, FOUNDATIONS, FOOTINGS, CURBS, ASPHALT, TREES, SHRUBS, EXISTING UTILITY LINES, DEBRIS AND ALL OTHER ITEMS AND UTILITIES TO BE ABANDONED.

SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN, AND FREEZING. SURFACE RUN-OFF WATER SHOULD BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO POND. IF POSSIBLE, ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHOULD BE ADEQUATELY PROTECTED.

EXTERIOR CONCRETE SHALL MEET MDOT GRADE P1 OR S2 SPECIFICATIONS, BE 3500 PSI, LIMESTONE AGGREGATE AND 4 - 6% AIR ENTRAINMENT WITH A LIGHT BROOM FINISH.

PROPERTY OWNER'S NAMES, WHERE SHOWN, ARE FOR INFORMATION ONLY, AND THEIR ACCURACY IS NOT GUARANTEED.

THICKENED EDGE CONCRETE AREAS TO BE PAID FOR UNDER THEIR RESPECTIVE CONCRETE ITEMS.

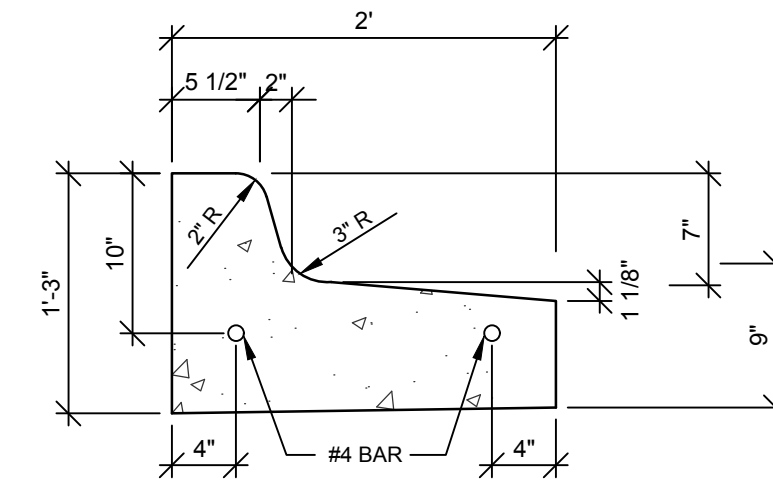
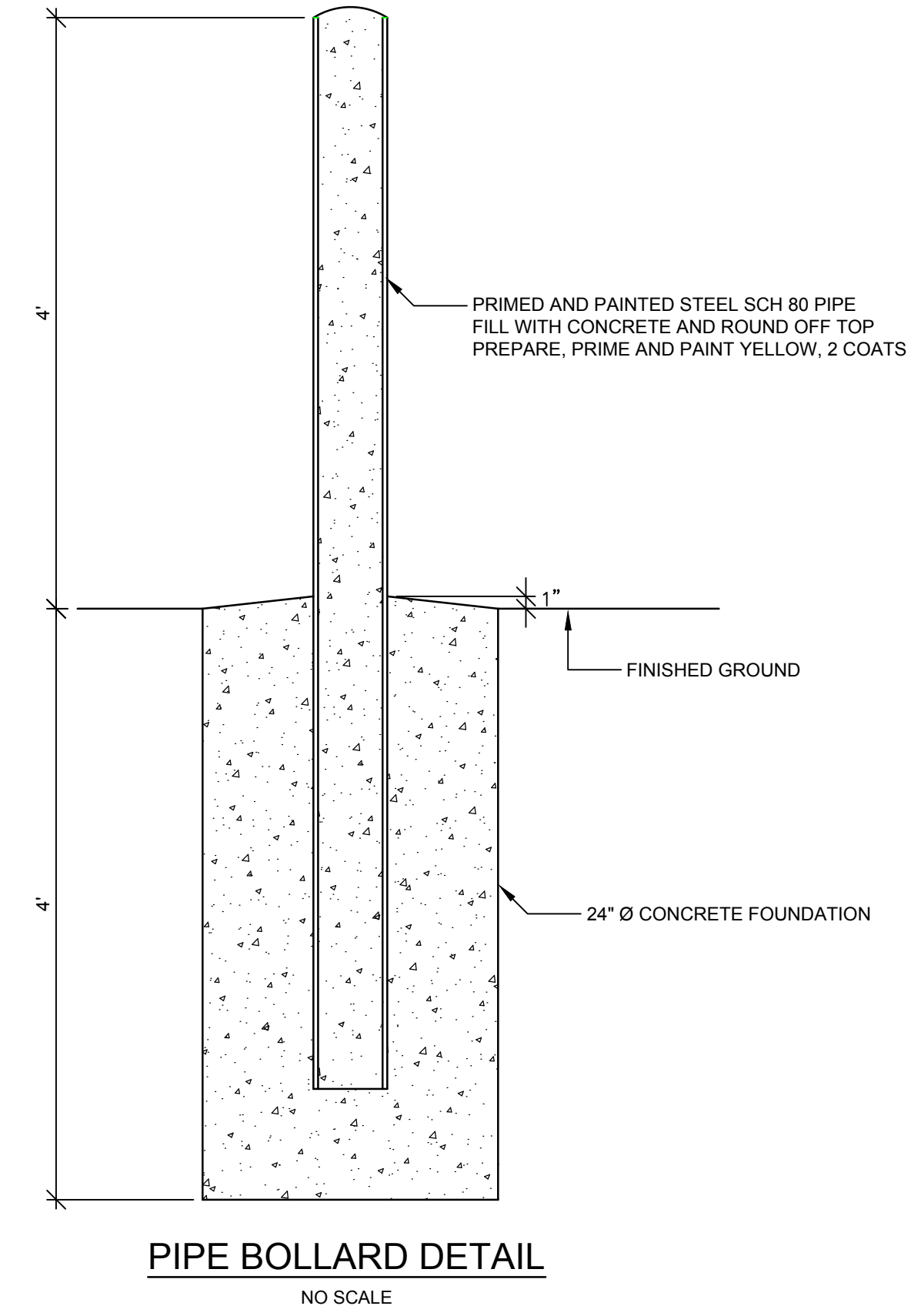
LEGEND

EXISTING	PROPOSED	
C	C	CABLE
E	E	ELECTRIC LINE
OHE	OHE	ELECTRIC LINE (OVERHEAD)
FO	FO	FIBER OPTIC LINE
G	G	GAS LINE
T	T	TELEPHONE LINE
		FENCE
		FORGEMAIN
		GUARDRAIL
		SANITARY SEWER
		STORM SEWER
		WATER MAIN
		CENTER LINE
		EXISTING TREE LINE
		EXISTING DITCH LINE
		EASEMENT LINE/GRADING PERMIT
		GRADING LIMITS/LIMITS OF DISTURBANCE
		PROPERTY LINE
		RIGHT-OF-WAY LINE
		SECTION LINE
		TO BE ABANDONED

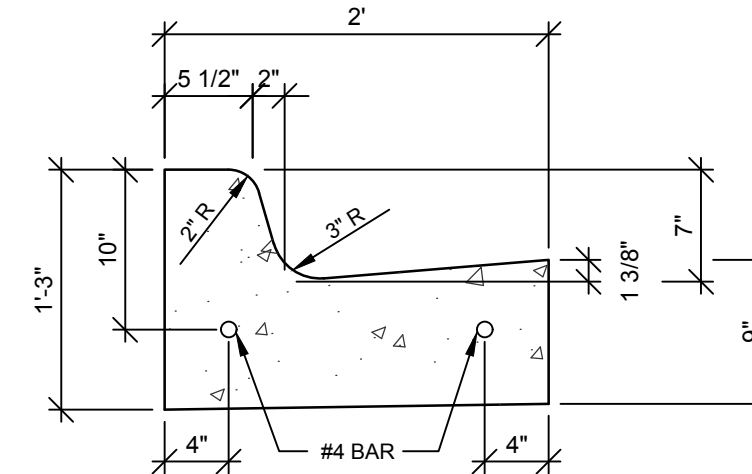
⚡	= ANTENNA	⊙	= PAVEMENT/SOIL BORING
☐	= CATCH BASIN	⊙	= PROPOSED HYDRANT
☐	= CABLE RISER BOX	⊙	= PROPOSED GATE VALVE & BOX
⊙	= CLEAN OUT	⊙	= PROPOSED GATE VALVE & VAULT
⊙	= CURB INLET	⊙	= PROPOSED REDUCER
⊙	= ELECTRIC MANHOLE	⊙	= PROPOSED SANITARY MANHOLE
⊙	= FIRE HYDRANT	⊙	= PROPOSED STORM MANHOLE
⊙	= FOUND IRON PIPE	⊙	= STORM MANHOLE
⊙	= GAS VALVE	⊙	= TELEPHONE MANHOLE
⊙	= GUY ANCHOR	⊙	= WATER MANHOLE
⊙	= LIGHT POLE	⊙	= TELEPHONE RISER BOX
⊙	= MAILBOX	⊙	= WATER METER
⊙	= MONITORING WELL	⊙	= WATER VALVE
⊙	= POST	⊙	= WATER SPIGOT
⊙	= SATELLITE DISH	⊙	= WELL
⊙	= SANITARY MANHOLE		
⊙	= SECTION CORNER		
⊙	= SIGN		

TREE DESIGNATORS

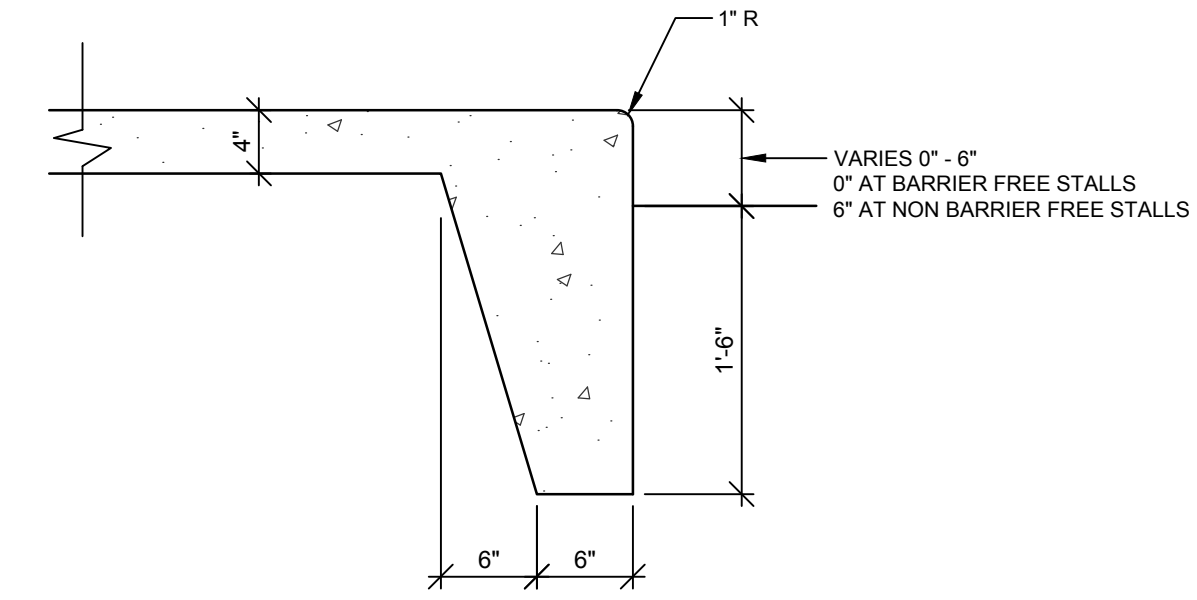
☁	BUSH	☐	STUMP
☼	CONIFEROUS TREE	☐	DECIDUOUS TREE
☼	CONIFEROUS TREE TO BE REMOVED	☐	DECIDUOUS TREE TO BE REMOVED



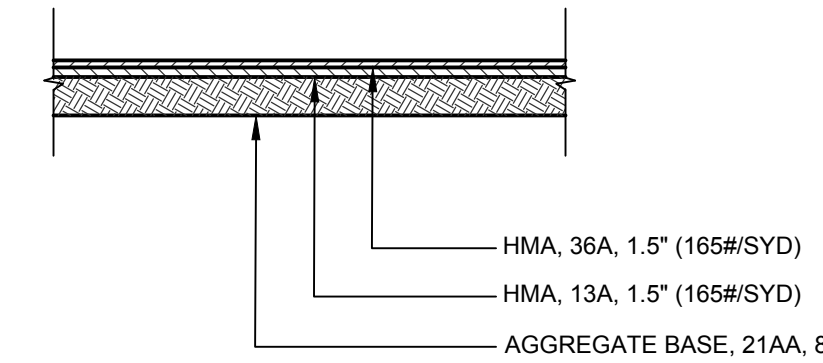
CURB & GUTTER - TIPOUT
SCALE: NONE



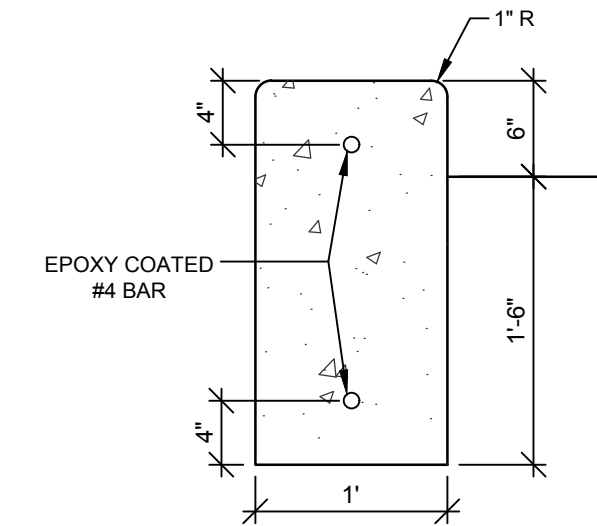
CURB & GUTTER - DETAIL C4
SCALE: NONE



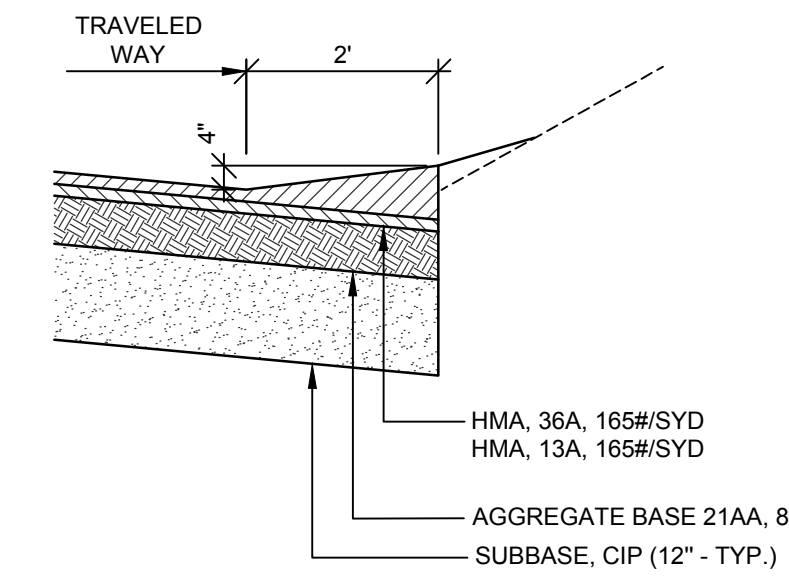
THICKENED EDGE SIDEWALK CURB
SCALE: NONE



PARKING LOT SECTION
SCALE: NONE



CURB & GUTTER - STRAIGHT CURB
SCALE: NONE



CURB SLOPED, HMA DETAIL
SCALE: NONE

WIGHTMAN & ASSOCIATES, INC.
ENGINEERING
SURVEYING
ARCHITECTURE
2303 Pipestone Road
Benton Harbor, MI 49022
Phone: (269) 927-0100
9835 Portage Road
Portage, MI 49002
Phone: (269) 327-3532
264 Western Avenue
Alegan, MI 49010
Phone: (269) 673-8465
www.wightman-assoc.com

PROJECT NAME:
SWEETWATER'S SITE

PLAINWELL 554, LLC
3313 STADIUM DRIVE
KALAMAZOO, MI 49008

03/07/2017	BSD
REV PER CITY'S COMMENTS	
02/07/2017	PAD
CITY PLANNER SUBMITTAL	
01/07/2017	PAD
OWNER SUBMITTAL	
00/04/17/2017	PAD
PRELIMINARY - NOT FOR CONSTRUCTION	
REVISIONS	
<small> 1. 03/07/2017: Revised Per City's Comments. Rev. 3. City of Plainwell. 2017. 2. 02/07/2017: Revised Per City's Comments. Rev. 2. City of Plainwell. 2017. 3. 01/07/2017: Revised Per City's Comments. Rev. 1. City of Plainwell. 2017. </small>	
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GENERAL DETAILS

PROJECT NAME:
SWEETWATER'S SITE

PLAINWELL 554, LLC
3313 STADIUM DRIVE
KALAMAZOO, MI 49008

03/07/17/2017 BSD
REV. PER CITY'S COMMENTS

02/07/12/2017 PAD
CITY PLANNER SUBMITTAL

01/07/07/2017 PAD
OWNER SUBMITTAL

00/04/17/2017 PAD
PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS

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DATE: JUNE, 2017
SCALE: 1" = 40'

EXISTING CONDITIONS



LEGAL DESCRIPTION OF PROPERTY

PARCEL NO: 03-55-003-077-30 & 03-55-003-077-20

DESCRIPTION: THAT PART OF THE NORTH HALF OF SECTION 30, TOWNSHIP 1 NORTH, RANGE 11 WEST, CITY OF PLAINWELL, ALLEGAN COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 30; THENCE NORTH 57° 25' 01" WEST 2840.27 FEET TO THE INTERSECTION OF THE CENTERLINE OF ALLEGAN STREET (M-99 HIGHWAY) AND THE WESTERLY PLAT LINE OF RIVER VIEW ADDITION, AS RECORDED IN LIBER 4 OF PLATS, PAGE 13, ALLEGAN COUNTY RECORDS; THENCE NORTH 57° 30' 31" WEST ON SAID CENTERLINE 122.00 FEET TO THE POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED; THENCE CONTINUING NORTH 57° 30' 31" WEST ON SAID CENTERLINE 117.09 FEET; THENCE NORTH 32° 31' 33" EAST 49.47 FEET; THENCE NORTH 29° 17' 11" EAST 441.65 FEET; THENCE SOUTH 57° 30' 31" EAST PARALLEL WITH SAID CENTERLINE 143.08 FEET; THENCE SOUTH 32° 38' 51" WEST 490.44 FEET TO THE POINT OF BEGINNING. CONTAINING 1.45 ACRES MORE OR LESS.

BEARINGS ARE RELATED TO THE MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.

ADDRESS: 554 ALLEGAN ST.

ENGINEER

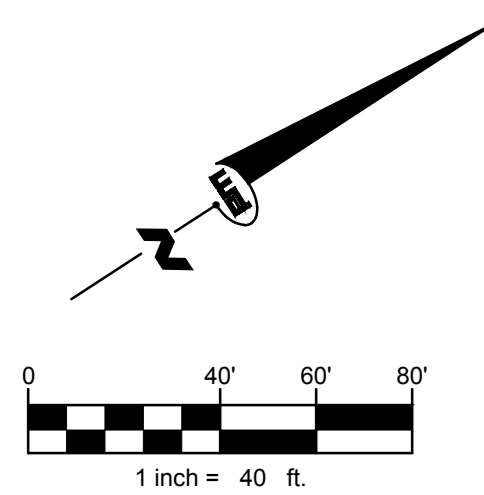
WIGHTMAN & ASSOCIATES, INC.
264 WESTERN AVENUE
ALLEGAN, MI 49010
MR. MICKEY E. BITTNER, P.E. (269) 673-8465

SURVEYOR

WIGHTMAN & ASSOCIATES, INC.
264 WESTERN AVENUE
ALLEGAN, MI 49010
MR. KEVIN MIEDEMA, P.S. (269) 673-8465

OWNER INFORMATION

PLAINWELL 554, LLC
3313 STADIUM DRIVE
KALAMAZOO, MI 49008
CONTACT: RICK SCHELL



03-55-030-077-40
DEE ROGER & BRIDGETT
810 ALLEGAN ST.
630 1520 TOWNE AVE.
PLAINWELL, MI 49080
CBD - CENTRAL BUSINESS DISTRICT

03-55-340-004-00
LAND MANAGEMENT, L.C./WESCO
551 ALLEGAN ST.
630 1480 WHITEHALL RD
MUSKEGON, MI 49845
CBD - CENTRAL BUSINESS DISTRICT

03-55-030-077-00
CITY OF PLAINWELL
542 ALLEGAN ST.
630 217 N MAIN ST.
PLAINWELL, MI 49080
CBD - CENTRAL BUSINESS DISTRICT

PRINCE ST.

E. ALLEGAN ST. (M-89)

PRINCE STREET EXTENSION TO BE CONSTRUCTED BY OTHERS FOR ACCESS TO SITE.

MDOT STORM SEWER EASEMENT

GREEN SPACE

PROPOSED SWEETWATERS BUILDING
FIN. FLR. ELEV. = 724.0

GREEN SPACE

RETENTION POND AREA

SITE INFORMATION

SITE ZONING: CBD CENTRAL BUSINESS DISTRICT

	REQUIRED	PROPOSED SITE
SITE AREA	N.A.	58,327 SFT (1.3 AC.) W/O R.O.W. 63,181 SFT (1.45 AC.) W/ R.O.W.
MIN. FRONT YARD	N.A.	124 FT.
MIN. SIDE YARD	N.A.	24.5 FT.
MIN. REAR YARD	N.A.	243 FT.
MAX. BUILDING HT.	35 FT.	23 FT., 1 STORY

BUILDING AREA = 4,125 SFT.
LIGHTING: REFLECT LIGHTING AWAY FROM RESIDENTIAL AREAS
SIGNAGE: MEET CITY OF PLAINWELL ORDINANCE.

LANDSCAPING: REQUIRED - 15% OF TOTAL LOT AREA = 0.15' 58,327 SFT. = 8,750 SFT.
- 33% OF THE REQUIRED LANDSCAPE BETWEEN THE BLDG. AND STREET.
= (0.33*8,750 SFT) = 2,888 SFT.
1 TREE OR SHRUB FOR EVERY 1,000 SFT. = 8,750 SFT / 1,000 SFT. = 9 SHRUBS
1 TREE PER 1500 SFT. = 8,750 SFT / 1500 SFT. = 6 TREES
PROPOSED - LANDSCAPING AREA = 24,131 SFT.
- AREA BETWEEN BLDG. AND STREET = 5,708 SFT.
- TREES - 6 TREES PER THE PLAINWELL PARKS AND TREES COMMISSION SPECIES LIST
- SHRUBS - 9 SHRUBS PER THE PLAINWELL PARKS AND TREES COMMISSION SPECIES LIST

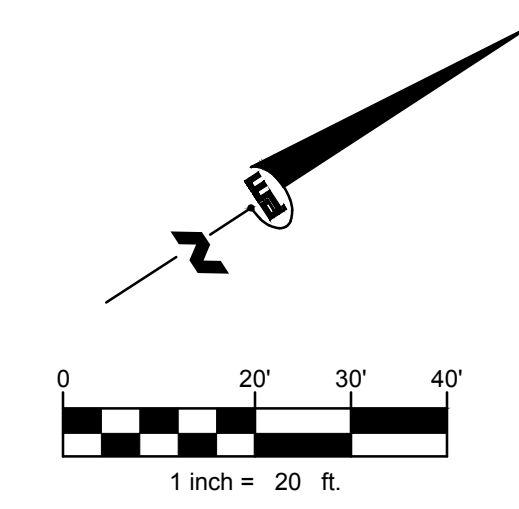
PARKING
REQUIRED PARKING - 1 SPACE FOR EVERY 6 SEATS OR 80 SFT, WHICHEVER IS GREATER.
BUILDING AREA = 4,125 SFT. / 80 SFT. = 51.6 SPACES = 52 SPACES.

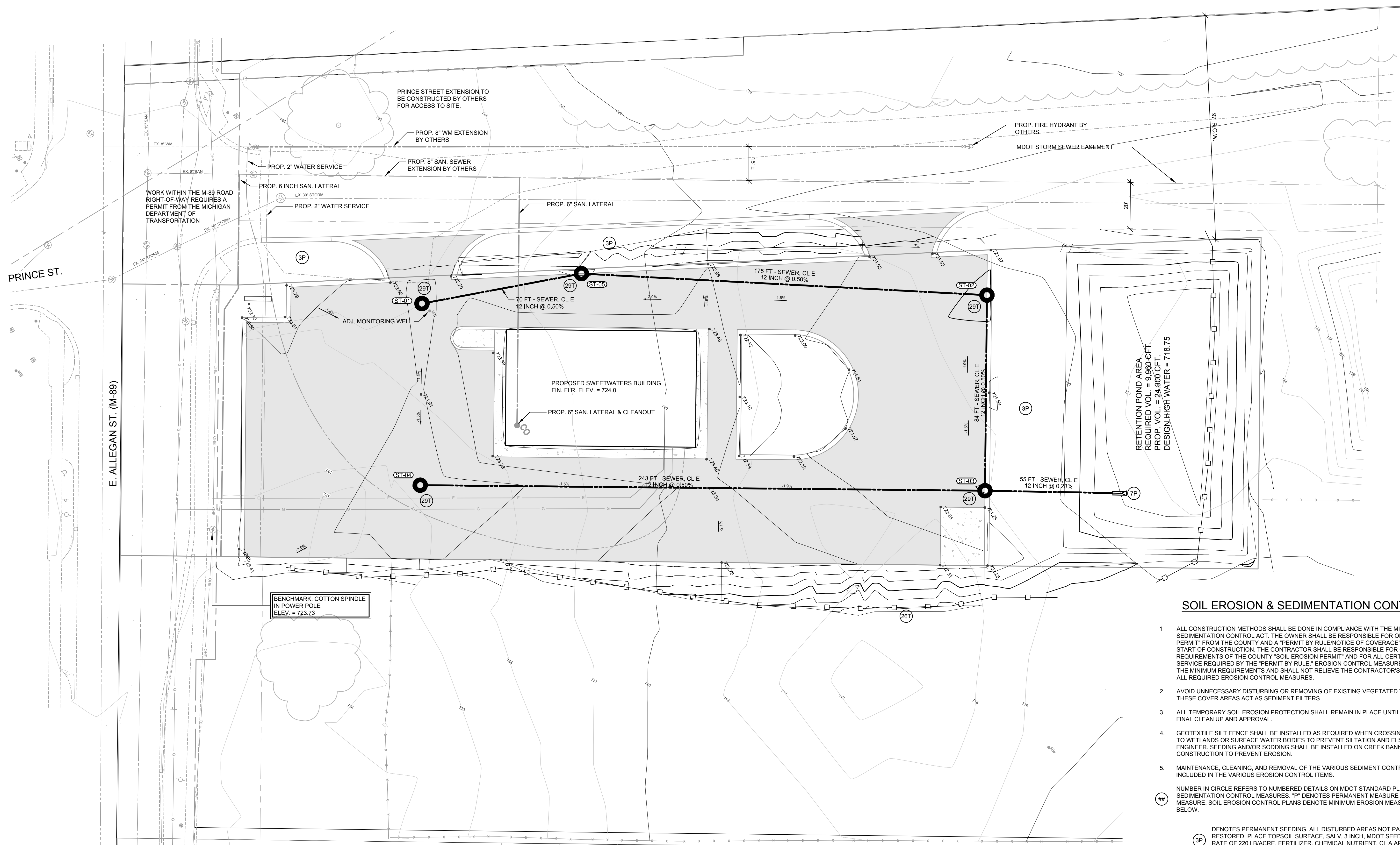
PROVIDED PARKING = 52 SPACES INCLUDE THREE ADA ACCESSIBLE SPACES TWO OF WHICH ARE VAN ACCESSIBLE.

UNDERGROUND UTILITIES (STORM, SANITARY, AND WATERMAIN) DETAILS FOUND ON SHEET CG101.
KEY NOTES

- (A) C4 CURB, SEE SHEET G002
- (B) C4 CURB W/TIPOUT GUTTER, SEE SHEET G002
- (C) THICKENED EDGE CONCRETE, SEE SHEET G002 (DENOTES 6" DIFFERENCE TOP OF WALK TO TOP OF ASPHALT)
- (D) STANDARD SIDEWALK - 4" THICK
- (E) CONC PAVT, MISC, NONREINF, 6 INCH
- (F) STRAIGHT CURB, SEE SHEET G002
- (G) CURB SLOPED, HMA, SEE SHEET G002
- (H) LIGHT DUTY ASPHALT PAVEMENT
1.5" HMA, 36A TOP COURSE
1.5" HMA, 13A LEVELING COURSE
8" AGGREGATE BASE, 21AA
- (I) CONCRETE - CONC PAVT, MISC, NONREINF, 6 INCH
SIDEWALK RAMP, CONC, 6 INCH
SIDEWALK, CONC, 4 INCH

- (Y1) Pavt Mrkg, Waterborne, for Rest Areas, Parks, & Lots, 4", Yellow - Solid
- (TH) Pavt Mrkg, Ovlv Cold Plastic, Thru Arrow Sym
- (B1) Pavt Mrkg, Waterborne, for Rest Areas, Parks, & Lots, 4", Blue - Solid
- (B3) Pavt Mrkg, Waterborne, for Rest Areas, Parks, & Lots, 4", Blue - Cross Hatch at 4" Spacing
- (BH) Pavt Mrkg, Polyurea, Accessible Symbol





SOIL EROSION & SEDIMENTATION CONTROL NOTES

- ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH THE MICHIGAN SOIL EROSION AND SEDIMENTATION CONTROL ACT. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE COUNTY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM THE MDEQ PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE COUNTY "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
- AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE COVER AREAS ACT AS SEDIMENT FILTERS.
- ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.
- GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.
- MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.

NUMBER IN CIRCLE REFERS TO NUMBERED DETAILS ON MDOT STANDARD PLAN R-96 SERIES. SOIL EROSION & SEDIMENTATION CONTROL MEASURES: "P" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.

- 3P DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. PLACE TOPSOIL SURFACE, SALV. 3 INCH, MDOT SEEDING MIXTURE TUF APPLIED AT A RATE OF 220 LB/ACRE, FERTILIZER, CHEMICAL NUTRIENT, CL A APPLIED AT A RATE OF 228 LB/ACRE; MULCH AT A RATE OF 2 TON/ACRE AND MULCH ANCHORING. (APPLIES TO ENTIRE PROJECT)
- 7P DENOTES RIPRAP. PLAIN. INSTALL RIPRAP. PLAIN AS DIRECTED BY THE ENGINEER IN THE FIELD. THE RIPRAP. PLAIN PAY ITEM SHALL INCLUDE A GEOTEXTILE UNDERLAYMENT.
- 26T DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.
- 29T DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM.

03/07/2017	REV. PER CITY'S COMMENTS	BSD
02/07/2017	CITY PLANNER SUBMITTAL	PAD
01/07/2017	OWNER SUBMITTAL	PAD
00/04/2017	PRELIMINARY - NOT FOR CONSTRUCTION	PAD

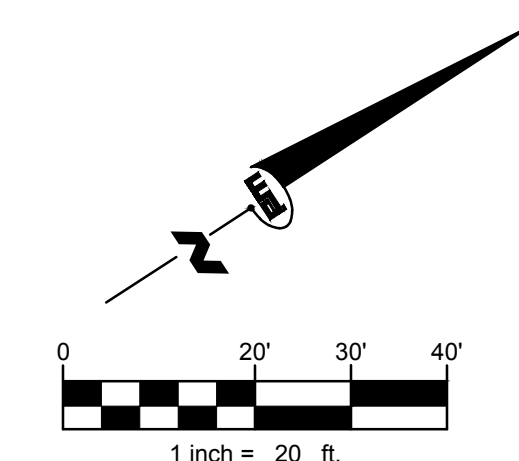
REVISIONS
DATE: JUNE, 2017
SCALE: 1" = 20'

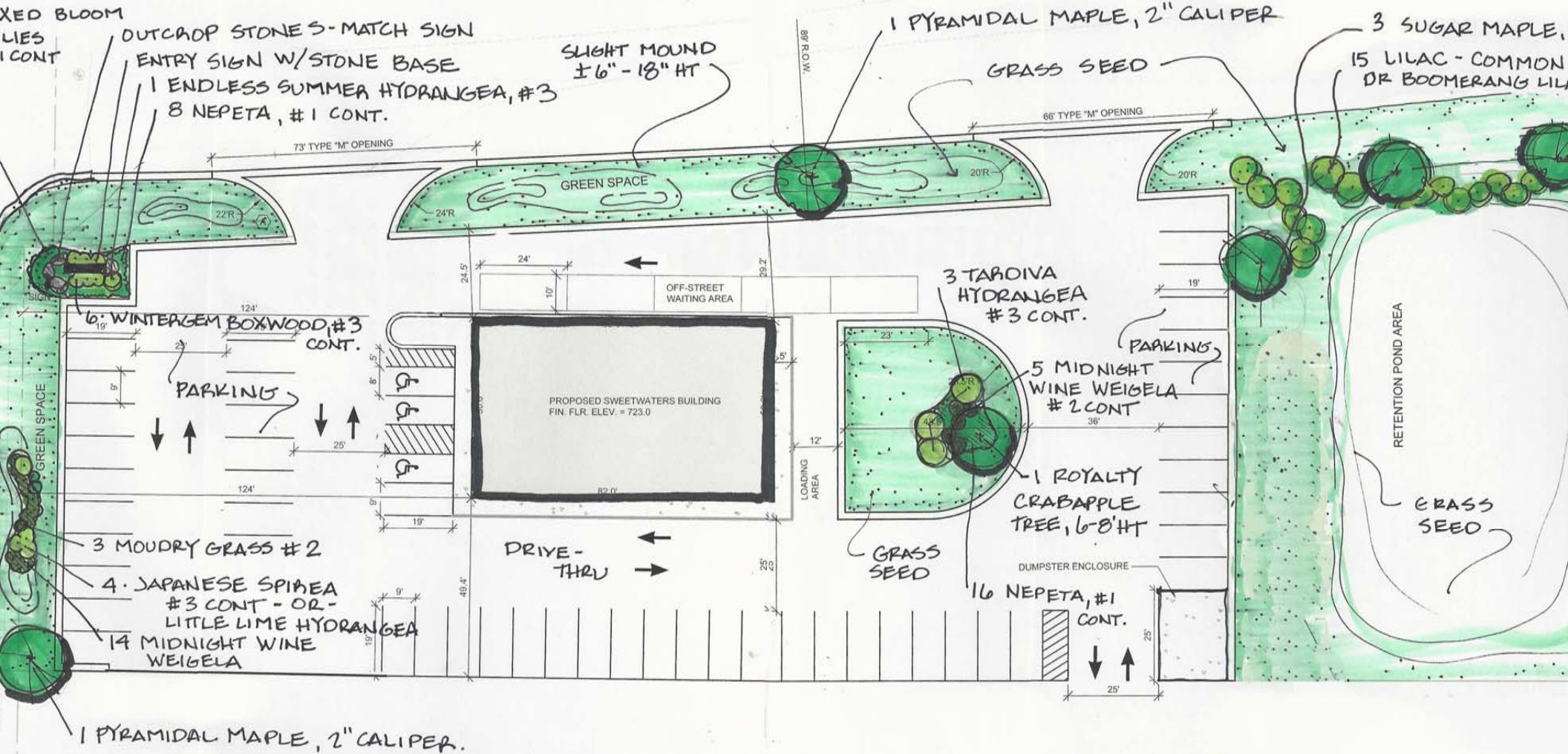
STORM STRUCTURES

ST-01 DR STRUCTURE, 48 INCH DIA EJ 1120/M1	RIM 721.32 INV. 716.33 - 12" N
ST-02 DR STRUCTURE, 48 INCH DIA COVER K	RIM 720.81 INV. 715.11 - 12" SW INV. 715.01 - 12" SE
ST-03 DR STRUCTURE, 48 INCH DIA COVER K	RIM 720.96 INV. 714.59 - 12" NW INV. 715.12 - 12" SW INV. 715.79 - 12" NE
ST-04 DR STRUCTURE, 48 INCH DIA EJ 1120/M1	RIM 721.32 INV. 716.33 - 12" NE
ST-05 DR STRUCTURE, 48 INCH DIA COVER K	RIM 721.96 INV. 715.98 - 12" S INV. 715.98 - 12" NE

EROSION CONTROL LEGEND

- — □ — SILT FENCE
- CONSTRUCTION LIMITS

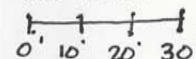




SWEETWATER'S LANDSCAPE PLAN

RIDGEVIEW RETAIL COMPLEX
 554 ALLEGAN STREET, PLAINWELL, MI

scale: ~ 1" = 30'-0"
 date: 7-12-17



CIRCLEWOOD
 BETHANY M. GRIEVES, LANDSCAPE ARCHITECT
 EMAIL: circlewood@circlewood.com

CITY OF PLAINWELL



PROJECT / SITE PLAN REVIEW FORM

Rev. 8/2005

Today's Date: **7/12/17**

Parcel Number: **TBA**

Project Site Address: **554 Allegan St.**

Owner(s) w/Contact Information: **Rick Schell – 269-303-6402**

Contractor(s) w/Contact Information: **Hazelhoff Builders, Inc**

Current Zoning: **CBD**

Wellhead Protection/Flood Hazard District? **No**

Description of Proposed Project: **New Construction 82 x 50 building w/drive through. Portion of building used for office and remainder for making donuts and service.**

1. Is The Project a Permitted Use? **YES** If No, Is Proposed Use a Permitted Use After Special Approval?

2. Have All The Necessary Copies Of The Proposed Project Been Submitted (PDF Format)? **Yes**

3. Zoning Permit has Been Completed? **YES**

4. Is the Site Plan Accompanied By:

- Legal description- **YES**
- Gross land area with north point -
- Zoning classification- **YES**
- Zoning and land use of abutting lots, w/structures and improvements indicated-
- Name and address of person preparing the site plan- **YES**
- Scale- **YES**
- Structure location(s)- **YES**
- Dimensions of lot and property lines- **YES**
- Location of all structures on subject and abutting properties- **YES**
- Location of each proposed structure, w/use(s), w/number of stories, gross building area-? **YES**
- Distances between structures and lot lines, setback lines- **YES**
- Occupancy type - **YES**
- Fire exits

5. Parking (and Paving)

- Proper number of parking spots/handicap? **YES**
- Location of loading docks/zone? **YES**
- Adequate loading space? **YES**
- Asphalt or gravel requirement met? **YES**

6. Landscaping

- Location and volume meets requirement? **YES**

7. Lighting

- Exterior lighting kept substantially on property? **YES**

8. Traffic Flow (vehicular and pedestrian)

- Driveway permit needed? **Yes**

Traffic Signal needs to be updated to accommodate N Prince St traffic at M-89

- Does traffic circulation provide safe vehicular and pedestrian flow **YES**
- Public safety vehicle access? **YES**
- Fire lanes needed? **Adequate**

9. Storm Water Retention

- Location of proposed storm collection area shown? **YES**
- Adequate size? **Yes**

10. Dumpster

- Location and screening? **YES**

11. Water and Sewer Lines (hookups)

- Will permits be needed? **Not provided.**
- Size and location of water connections/meter(s)? **Not provided.**
- Is a backflow preventer required? **Not provided.**
- Size and location of sewer connections? **Not provided.**
- Hydrant location **523 Fairlane St, 520 Michigan St, 521 Across the street, recommend new hydrant located on N Prince St.**

12. Noise, Odor, Particulate, Vibration, Combustible or Hazardous Material Concerns

13. Signage Plan

- Describe plan: **50 sq. ft. in front of building (on plans) w/landscaping**

14. Outside Storage

- Will outside storage be required?
- Proper screenage and distances met?

15. Is Minimum/Maximum Lot Width Requirement Met? **YES**

16. Is Minimum/Maximum Lot Area Requirement Met? **YES**

17. Is Minimum/Maximum Height Requirement Met? **YES**

18. Setback Requirements

- Front? **124 ft.**
- Back? **243 ft.**
- Side? **24.5 ft. / Side – 49.4 ft.**

19. Phase Construction (if applicable)

- Description of each phase:

20. Fire Suppression Considerations (if applicable)

- Is sprinkler needed or recommended **Yes, details not submitted at this time**
- Fire Pump needed (3 stories or more) **NO**

Reviewed by Denise Siegel, Rick Updike, Bill Bomar, Erik Wilson, Williams & Works

MEMORANDUM

To: City of Plainwell Planning Commission
Date: June 22, 2017
From: Maxwell K. Dillivan, AICP
RE: **Wesco #9, 551 W. Allegan Street: Site Plan**

Overview

An application has been submitted that requests approval of a site plan for a gasoline service station (#55-340-004-00). The project area is approximately 0.4 acres and is zoned General Commercial (C-2).

Proposal: Approval of this application would authorize the following site improvements:

- Removal and replacement of existing fueling dispensers and 1,800 sq. ft. canopy.
- Construction of new curbs and driveways.
- Repaving of the site.
- Replacement of the existing retaining wall.
- Installation of dumpster enclosure and accessory building.



Existing Conditions: The subject site is currently used for a gasoline service station and accompanying convenience store. Adjacent lands include:

- North: Undeveloped across M-89 (C-2).
- South: Harding's Market (C-2).
- East: Residential across M-89 (R-1B).
- West: Wash Well (C-2 and CS).

Completeness Review

Site plans must be accompanied by the items listed in Section 53-128 B. of the Zoning Ordinance. Additionally, the site plan must contain the information required in Section 53-128 C. The submittal is incomplete, and the following items remain outstanding.

- *The gross land area of the development;*
- *Approximate location of loading points;*
- *A general plan for the landscaping of the development and the method by which landscaping is to be accomplished and be maintained;*

Site Plan Review

The site plan amendment approval shall be granted if the proposal meets all applicable standards set forth in the Zoning Ordinance.

Site Plan Review Requirements (Section 53-128 D.):

- A. *The vehicular transportation system shall provide for circulation throughout the site and for efficient ingress and egress to all parts of the site by fire and safety equipment. **Condition recommended. Fire Department approval necessary.***

The site plan illustrates the fuel pump canopy structure as rotated 90 degrees from its current position on the site. By doing so, we feel vehicular circulation and pedestrian safety on the site will be improved from its current state. However, Fire Department approval is necessary.

- B. *Pedestrian walkways shall be provided as deemed necessary by the Planning Commission for separating pedestrian and vehicular traffic. **Not necessary.***

While there are inherent potential conflict points between vehicles entering and leaving the fuel pump areas and pedestrians walking into the store, the proposed layout will minimize conflict points by keeping vehicle traffic concentrated further toward the northern portions of the site. Parking spaces are proposed to have direct access to the storefront entry sidewalk.

- C. *Recreation and open space areas shall be provided in all multiple-family residential developments. **Not applicable.***

- D. *The site plan shall comply with the district requirements for minimum floor space, height of building, lot size, yard space, density and all other requirements as set forth in the Zoning Chapter, unless otherwise provided. **Does not meet standard.***

The applicant is proposing a 140 sq. ft. accessory structure adjacent to the dumpster enclosure and approximately seven (7) feet from the main building. According to Section 53-105 E., no accessory building shall be located closer than ten feet to any main building.

- E. *The requirements for fencing, walks and other protective barriers shall be complied with as provided in this chapter and as deemed appropriate by the Planning Commission. **Meets standard.***

The applicant proposes to replace the existing brick retaining wall with a guard rail installed on the top of the retaining wall located along the western edges of the site. The proposed retaining wall meets all requirements listed in Section 53-125.

- F. *The site plan shall provide for adequate on-site storage space for the proposed uses. **Not applicable.***
- G. *Security measures shall be provided as deemed necessary by the Police Chief for resident protection in all multiple-family residential developments. **Not applicable.***
- H. *Fire protection measures shall be provided as deemed necessary by the Fire Chief in conformance with all applicable laws of the state for the protection of residents and/or occupants of the structures. **Fire Department approval necessary.***
- I. *The site plan shall comply with all requirements of the applicable zoning district, unless otherwise provided. **Meets standard.***

The use is permitted by-right in the C-2 General Commercial District and meets the standard for maximum building height and side and rear setbacks.

General Zoning Review

Parking (Section 53-175 & Section 53-176):

*The amount of required off-street parking space for new uses or buildings, additions thereto and additions to existing buildings, additions thereto and additions to existing buildings as specified above, shall be determined in accordance with the following table and the space, so required shall be stated in the application for a building permit and shall be irrevocably reserved for the use and/or shall comply with the initial part of this section. Land uses within the Central Business District Zoning District may be exempt from the table of parking requirements, if the Board of Appeals determines that required parking cannot be met. **Does not meet standard. Recommend waiver.***

According to the accompanying table under Section 53-176, subsection 3.a. lists the required parking spaces for gasoline stations. Based upon the submitted plan, this proposal will require approximately 20 parking spaces (depending on the exact gross floor area devoted to retail sales and number of employees required for this operation which the applicant would need to confirm). The site plan indicates just six (6) parking spaces on the site.

The applicant should demonstrate the proposed parking for the site is sufficient to handle the parking demand. Given the proximity to the nearby 100+ parking spaces for Harding's Market and the ability for "stacking" spaces at the fuel pumps and immediately behind, the Planning Commission may wish to recommend to City Council that the parking space requirements are waived if the applicant is able to provide sufficient reasoning. The parking lot servicing the Harding's Market could potentially absorb any excess demand of parking for the gasoline service station.

Off-Street Loading and Unloading (Section 53-179):

- A. *On the same premises with every building, structure or part thereof, erected and occupied for manufacturing, storage, warehousing, retailing display, or other uses involving the receipt or distribution of vehicles or materials or merchandise, there shall be provided and maintained on the lot adequate space for standing, loading and unloading services adjacent to the opening used for loading and unloading, designed to avoid interference with public use of the streets or alleys. The loading and unloading space shall be an area in minimum 12 feet in width by 50 feet in length with a 15-foot height clearance, and shall be provided according to the following table. **Unknown; confirmation from applicant needed.***

The site plan does not indicate a proposed loading space, nor does a loading zone currently exist on the site. According to the table, one (1) loading space is required for structures with a gross floor area between 2,101 and 20,000 square feet. Upon confirmation of the square footage of the existing structure, it is likely the gas station would require one (1) loading space. The applicant should confirm how merchandise and products are currently delivered and loaded into the existing store, hours of delivery, and the type of vehicle utilized. The Planning Commission may wish to waive this requirement if it deems a loading space is unnecessary.

Landscaping (Section 43-124 B.):

*For nonresidential uses in nonresidential districts, a minimum of 15% of the total lot area in landscaping, one tree or shrub for every 1,000 square feet or portion thereof, plus one tree for every 1,500 square feet of landscaped area or portion thereof shall be required. Ground cover is required in all landscape areas. Landscaping of adjacent right-of-way area shall be included in satisfying the minimum on-site requirement if it is maintained by the adjacent property owner. A minimum of 33% of required landscape area shall be located between any building and the street. **Does not meet standard.***

The applicant has not provided any landscaping plan as part of this application. The Planning Commission may wish to require the applicant to provide a landscaping plan and address the current lack of proposed landscaping. Given the site's location and proximity to the US 131/M-89 interchange, this site serves as a gateway into the city. Although the development does not currently conform to the landscaping requirement, the extent of the improvements warrant compliance or at least an effort to meet the intent of the ordinance. Including at least some landscaping near the corner may provide a much more visually attractive look to the site and provide a more pleasing look for motorists entering the city.

Signs (Chapter 52)

- A. *There shall be no signs located on fuel pump islands, except those constituting an integral part of the pump itself or those required by state law or regulation. There shall be no signs attached to light standards. **Meets standard.***

The applicant is not proposing any signs located on fuel pump islands.

- B. *Only one attached, non-projecting, sign is permitted on each fuel pump canopy face which is visible from a public street. The signs may only identify "self-service", "full service" or the name of the station, in which case the maximum size shall be 20 square foot in surface display area. **Meets standard.***

The applicant is proposing one (1) sign on each canopy face; one (1) fuel price display sign on each of the west and east end of the canopy faces, and one (1) attached, non-projecting sign on each of the south and north faces. The fuel price display signs are flush fixture, 100-watt light emitting diode (LED) totaling 18 square feet. The attached, non-projecting signs are an adhered vinyl material totaling 18 square feet.

- C. *Gas stations shall also be permitted one gasoline price sign, except that two price signs, one facing each street, shall be permitted for stations located at the intersection of two major thoroughfares. The signs shall not exceed 30 square feet in area. Additional freestanding, ground mounted and wall signage shall conform to district requirements. **Meets standard.***

The existing pole sign located near the intersection on the site is proposed to remain and not be altered.

Incinerators and Trash Containers (Section 53-126):

- A. *Adequate vehicular access shall be provided to the containers for truck pickup either via a public alley or vehicular access aisle which does not conflict with the use of off-street parking areas or entrances to or exits from principal buildings nearby. **Meets standard.***

The applicant is proposing a ten (10) ft. by 14 ft. dumpster enclosure in the southwestern corner of the site. Access to dumpster enclosure does not conflict with off-street parking areas.

- B. *A solid ornamental screening wall or fence shall be provided around all sides of trash containers which shall be provided with a gate for access and be of the height as to completely screen the containers, the maximum height of which shall not exceed six feet. **Meets standard.***

The enclosure will be composed of a six (6) ft. vinyl fence.

- C. *The trash container(s), the screening wall or fence and the surrounding ground area shall be maintained in a neat and orderly appearance, free from rubbish, waste paper or other debris. This maintenance shall be the responsibility of the owner of the premises on which the containers are placed. **Standard to be met.***
- D. *The trash container(s) shall not be located closer than five feet to any lot line of adjacent residentially zoned property. **Not applicable.***

The site does not abut any residentially zoned property.

Recommendation

At this time, we feel that there are too many outstanding items to recommend approval.

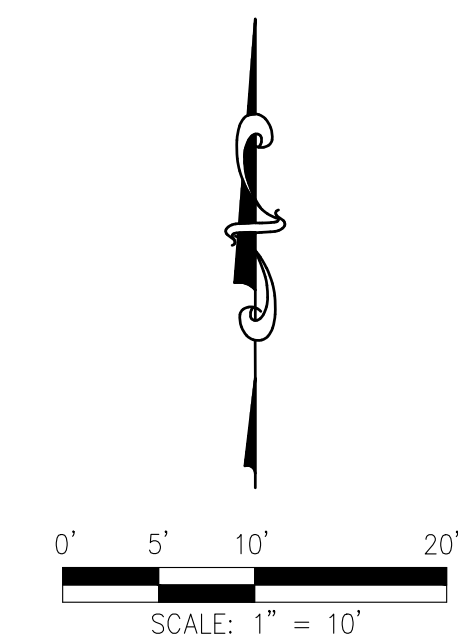
1. Provide outstanding checklist items.
2. Revise site plan to include an accessory structure to be compliant per Section 53-105 E.
3. Demonstrate proposed parking for the site is sufficient to handle the parking demand. A waiver may be considered if Planning Commission feels provided parking is sufficient.
4. Provide method, hours, and type of vehicle used for delivery of products and merchandise to be sold inside the main gas station building. A waiver may be considered if Planning Commission does not feel a loading space is required.
5. Provide landscaping per Planning Commission requirements.
6. Secure approval from the Fire Department and City Engineer.

File Name: N:\Visuals\Projects\2017\1710060.1A Wesco-09 (Plainwell)\DWG\1710060.1A Site & Eng
 Last Saved: 7/12/2017 3:12:05 PM



LEGEND

	EXISTING	PROPOSED
FUEL TANKS		
BENCHMARK		
STORM SEWER MANHOLE		
CATCH BASIN		
SANITARY SEWER MANHOLE		
CLEANOUT		
WELL HEAD		
FIRE HYDRANT		
VALVE (WATER & GAS)		
GAS METER		
UTILITY RISERS		
UTILITY POLE		
LIGHT POLE		
GUY ANCHOR		
TRANSFORMER		
HAND HOLE (ELECTRIC)		
ELECTRIC METER		
SOIL BORING		
BOLLARD POST		
FENCE LINE		
ELECTRIC		
TELEPHONE		
FIBER OPTIC		
GAS LINE		
EXISTING WATER LINE		
EXISTING STORM SEWER		
PROPOSED STORM SEWER		
EXISTING SANITARY SEWER		
PROPOSED SANITARY SEWER		
EX. BITUMINOUS SURFACE		
EX. CONCRETE SURFACE		
PROP. CONCRETE SURFACE		



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REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR SITE PLAN APPROVAL	2017-07-12

WESCO #9 (PLAINWELL) IMPROVEMENTS
 SEC. 30, TOWN, RIW CITY OF PLAINWELL, ALLEGAN CO.
 WESCO, INC.
 1460 WHITEHALL ROAD, SUITE C
 MUSKEGON, MICHIGAN 49445
PHASING PLAN

Designed By:	JMT
Drawn By:	AQA
Checked By:	Date:
Plot:	
Scale:	1"=10'
Date:	07-12-2017
Job No.:	1710060.1A
Sheet No.:	G-002
	2 of 8

TOPOGRAPHIC/BOUNDARY SURVEY

SURVEYOR'S NOTES

- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL FIELD MEASUREMENTS AND AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG - CALL MISS DIG AT 811.
- CONTOUR INTERVAL = 1 FOOT.

LEGAL DESCRIPTION
(PROVIDED BY CLIENT)

LOTS 7, 8, AND 9, OF TALBOT'S ADDITION TO THE CITY OF PLAINWELL, ALLEGAN COUNTY, MICHIGAN, A.K.A. 551 ALLEGAN STREET.

HIGHWAY EASEMENT LEGAL DESCRIPTION
(PROVIDED BY CLIENT)

RECORDED IN LIBER 3567 PAGE 498.
ALL THAT PART OF THE FOLLOWING DESCRIBED TRACT "A" WHICH LIES WITHIN A PARCEL DESCRIBED AS: BEGINNING AT THE NORTHWEST CORNER OF LOT 9 OF TALBOT'S ADDITION TO THE VILLAGE (NOW CITY) OF PLAINWELL AS RECORDED IN LIBER 4 OF PLATS ON PAGE OF THE REGISTER OF DEEDS FOR ALLEGAN COUNTY, MICHIGAN; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT 9 AND THE EXISTING EASTERLY RIGHT OF WAY LINE OF PRINCE STREET A DISTANCE OF 35.00 FEET; THENCE NORTHEASTERLY TO A POINT ON THE NORTH LINE OF SAID LOT 9 (SAID POINT ALSO BEING A POINT ON THE EXISTING SOUTHWESTERLY RIGHT OF WAY LINE OF HIGHWAY M-89) WHICH IS 19.00 FEET SOUTHEAST OF THE POINT OF BEGINNING; THENCE NORTHWESTERLY ALONG SAID NORTH LINE OF SAID LOT 9 AND THE EXISTING SOUTHWESTERLY RIGHT OF WAY LINE OF HIGHWAY M-89 A DISTANCE OF 19.00 FEET TO THE POINT OF BEGINNING.

STATE PLANE GRID AND DISTANCES WITH A COMBINED SCALE FACTOR OF 0.99990590. STATE PLANE DISTANCE/0.99990590 = GROUND DISTANCE.

THE LANDS DESCRIBED ABOVE IN EASEMENT CONTAIN 282 SQUARE FEET, MORE OR LESS.

TRACT "A": LOTS 7, 8, 9, TALBOT'S ADDITION TO THE VILLAGE (NOW CITY) OF PLAINWELL, MICHIGAN, AS RECORDED IN LIBER 4 OF PLATS ON PAGE 8, ALLEGAN COUNTY RECORDS.

BENCHMARK DATA

NAVD '88 AS DERIVED FROM GPS OBSERVATIONS UTILIZING KALAMAZOO CORS CONUS '09

BM #1 EL= 725.53' (NAVD '88 DATUM)
CUT "X" IN TOP OF LARGE SPOUT OF HYDRANT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF M-89 (ALLEGAN STREET) AND MICHIGAN AVENUE.

BM #2 EL= 723.50' (NAVD '88 DATUM)
CUT "X" IN EASTERLY MOST BOLT OF TRAFFIC LIGHT STATION LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF M-89 (ALLEGAN STREET) AND PRINCE STREET.

BM #3 EL= 725.72' (NAVD '88 DATUM)
CUT "BOX" IN THE NORTHEAST CORNER OF CONCRETE AIR CONDITIONER PAD LOCATED 7 FEET EAST OF THE SOUTHEAST CORNER OF THE WESCO BUILDING.

SURVEY CONTROL

HORIZONTAL GROUND COORDINATES BASED UPON MSPC (SOUTH) NAD 83 GROUND TO GRID CONVERSION FACTOR OF 0.99990662.

POINT NUMBER	NORTHING (MSPC GROUND)	EASTING (MSPC GROUND)	ELEVATION (NAVD '88)
2	347779.5479'	12776527.2937'	722.81'
3	347557.5494'	12776987.1771'	723.89'
4	347304.8721'	12776783.4970'	726.37'
5	347520.9337'	12776540.0431'	730.51'
6	347706.7861'	12776749.3947'	723.26'

SANITARY STRUCTURE DATA

MH A - RIM = 729.33
(NOT SHOWN-S ON PRINCE)
INV (N) 8" CLAY = 721.60
INV (E) 8" CLAY = 722.23
INV (S) 8" CLAY = 721.64

MH B - RIM = 722.72
INV (NNW) 8" CLAY = 716.77
INV (E) 8" CLAY = 717.22
INV (S) 8" CLAY = 716.82

MH C - RIM = 722.23
INV (NE) 8" CLAY = 714.73
INV (SSE) 8" CLAY = 714.78

MH D - RIM = 722.27
INV (NW) 12" PVC = 714.53
INV (SE) 12" PVC = 714.60
INV (SW) 8" CLAY = 714.61

MH E - RIM = 722.20
INV (NW) 12" CLAY = 714.49
INV (NE) 8" PVC = 714.55
INV (SE) 12" PVC = 714.59

MH F - RIM = 723.28
(NOT SHOWN-SE ON ALLEGAN)
INV (NW) 12" PVC = 715.18
INV (NE) 8" PVC = 715.23
INV (SE) 12" PVC = 715.28

STORM STRUCTURE DATA

MH #1 - RIM = 728.28
3'Ø PRECAST STRUCTURE
INV (N) 12" CONC = 723.98
INV (E) 12" CONC = 724.58
INV (W) 12" CONC = 724.43
BOTTOM = 723.98

CB #2 - RIM = 728.29
2'Ø BLOCK STRUCTURE
INV (E) 12" CONC = 726.34
BOTTOM = 726.34

CB #3 - RIM = 728.12
INACCESSIBLE

CB #4 - RIM = 722.42
2'Ø BLOCK STRUCTURE
INV (E) 12" CONC = 718.12
BOTTOM = 716.92

MH #5 - RIM = 722.39
4'Ø PRECAST STRUCTURE
INV (NNE) 18" CONC = 717.49
INV (NE) 12" CONC = 718.59
INV (S) 12" CONC = 718.59
INV (W) 12" CONC = 717.69
BOTTOM = 717.49

CB #6 - RIM = 721.83
2'Ø PRECAST STRUCTURE
INV (SW) 12" CONC = 719.53
BOTTOM = 719.33

MH #7 - RIM = 722.30
4'Ø PRECAST STRUCTURE
INV (NW) 12" CONC = 717.36
INV (SE) 12" CPP = 716.10
INV (SSW) 18" CONC = 716.90
BOTTOM = 715.85

MH #8 - RIM = 721.96
6'Ø PRECAST STRUCTURE
INV (N) 36" CONC = 714.36
INV (SE) 12" CPP = 715.96
INV (S) 24" CPP = 716.25
INV (NW) 12" CPP = 716.46
BOTTOM = 714.01

MH #9 - RIM = 721.73
4'Ø PRECAST STRUCTURE
INV (SE) 12" CPP = 716.78
INV (SSW) 12" CPP = 716.78
INV (N) 10" PVC = 718.73
BOTTOM = 716.58

MH #10 - RIM = 721.68
NO INVERT INFO OBTAINED

CB #11 - RIM = 721.54
NO INVERT INFO OBTAINED

MH #12 - RIM = 721.98
4'Ø PRECAST STRUCTURE
INV (N) 12" CPP = 717.18
INV (SW) 12" CPP = 717.18
BOTTOM = 716.83

MH #13 - RIM = 721.87
4'Ø PRECAST STRUCTURE
INV (NW) 12" CPP = 716.32
INV (N) 6" PVC = 717.27
INV (NE) 10" PVC = 719.82
INV (E) 6" PVC = 717.27
INV (SE) 12" CPP = 716.32
BOTTOM = 716.27

CB #14 - RIM = 721.70
INV (SW) 10" PVC = 719.95

CB #15 - RIM = 721.91
4'Ø PRECAST STRUCTURE
INV (NW) 12" CPP = 717.06
INV (N) 6" PVC = 717.71
INV (ENE) 6" PVC = 717.71
INV (SE) 12" CPP = 717.06
INV (SW) 12" CPP = 719.06
BOTTOM = 715.06

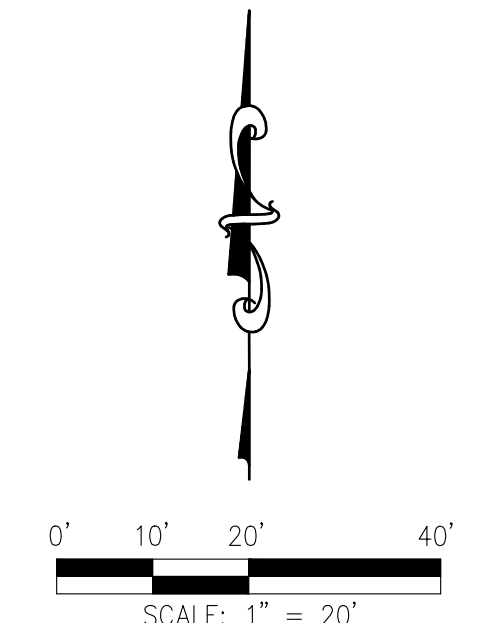
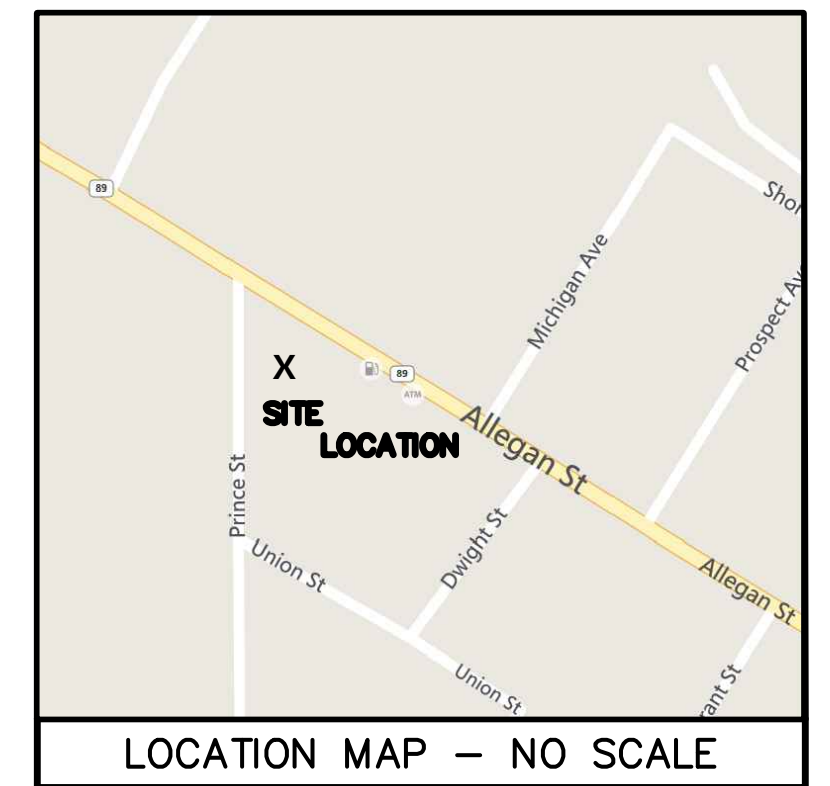
MH #16 - RIM = 722.01
2'Ø PRECAST STRUCTURE
INV (NE) 12" SL CPP = 719.06
BOTTOM = 718.76

CB #17 - RIM = 722.26
4'Ø PRECAST STRUCTURE
INV (NW) 12" SL CPP = 717.36
INV (SE) 12" CPP = 717.36
INV (SSE) 6" PVC = 717.81
BOTTOM = 715.36

CB #18 - RIM = 722.63
4'Ø PRECAST STRUCTURE
INV (NW) 12" CONC = 717.83
INV (NNW) 6" PVC = 718.13
INV (SSE) 6" PVC = 718.13
BOTTOM = 715.83

CB #19 - RIM = 722.57
4'Ø PRECAST STRUCTURE
INV (NW) 12" SL CPP = 716.92
INV (SE) 12" SL CPP = 717.02
BOTTOM = 714.87

MH #20 - RIM = 723.08
(NOT SHOWN)
4'Ø PRECAST STRUCTURE
INV (NW) 12" SL CPP = 717.68
INV (NE) 12" SL CPP = 718.08
INV (SE) 12" SL CPP = 717.68
BOTTOM = 717.38



LEGEND

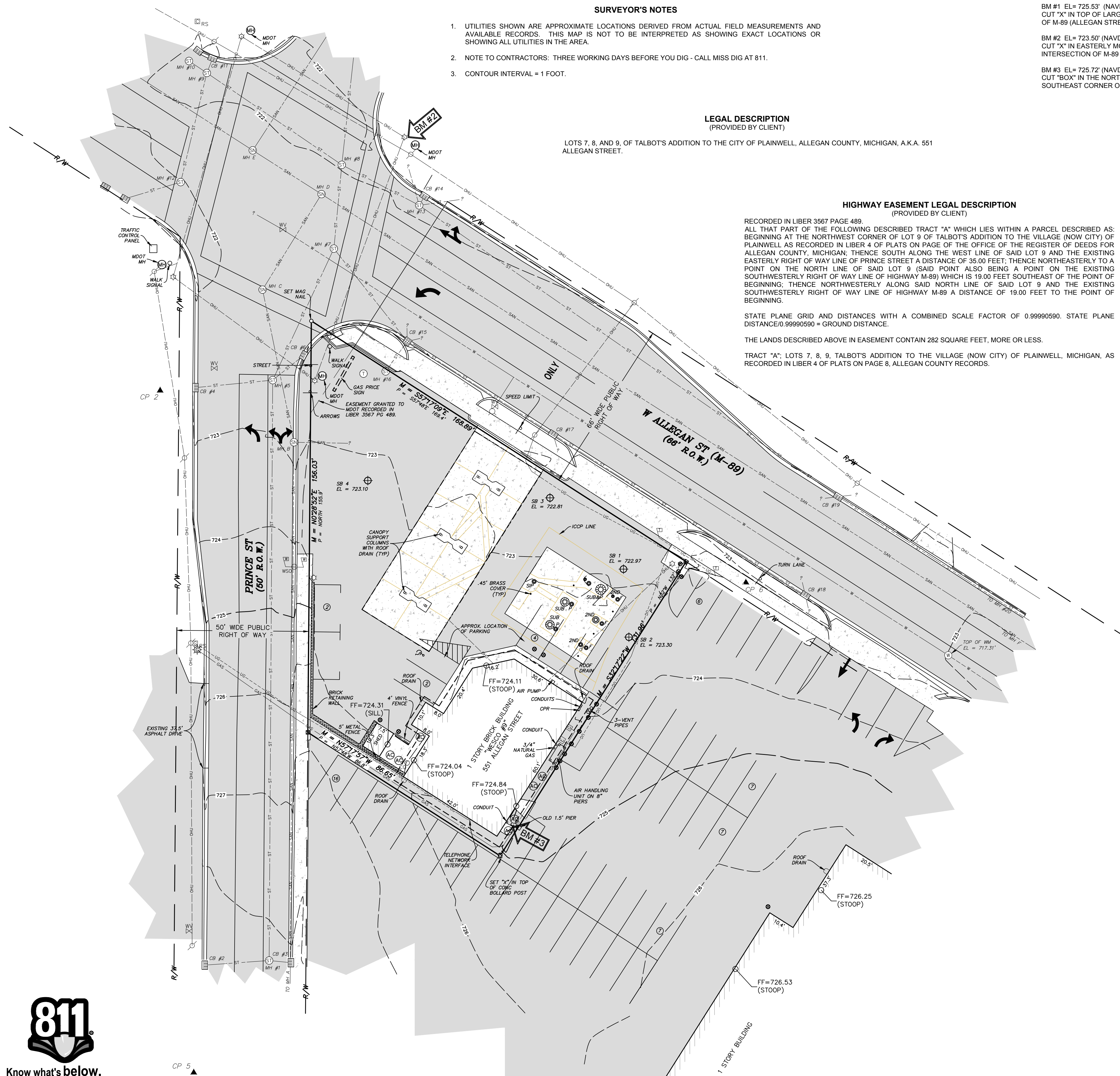
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MONUMENT FOUND
SET CAPPED REBAR #47948
FOUND IRON
SET CHISELED "X"
FOUND CHISELED "X"
CONTROL POINT
PLATED
DESCRIBED
MEASURED
RECORD

STORM SEWER MANHOLE
CATCH BASIN
SANITARY SEWER MANHOLE
CLEANOUT
WELL HEAD
FIRE HYDRANT
VALVE (WATER & GAS)
GAS METER
UTILITY RISERS
UTILITY POLE
LIGHT POLE
GUY ANCHOR
TRANSFORMER
HAND HOLE (ELECTRIC)
ELECTRIC METER
SIGN
SOIL BORING
BOLLARD POST
"MISS DIG" FLAG - ELECTRICAL
"MISS DIG" FLAG - GAS
"MISS DIG" FLAG - TELEPHONE
FENCE LINE
ELECTRIC
TELEPHONE
FIBER OPTIC
GAS LINE
EXISTING WATER LINE
EXISTING STORM SEWER
EXISTING SANITARY SEWER

BITUMINOUS SURFACE
CONCRETE SURFACE
GRAVEL SURFACE

CONIFEROUS TREE
DECIDUOUS TREE
ORNAMENTAL BUSH

FUEL TANK LEGEND
F FUEL FILL
SUB SUBMERSIBLE PUMP
P PROBE
2ND SECONDARY FILL
SIP SIPHON



File Name: N:\Kalamazoo\Projects\2014\14504722\A\14504722_TDR0.dwg Plot Scale: 7/12/2017 10:32:14 AM



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REVISIONS

NO.	DATE	DESCRIPTION
1	ADDED PRINCE RD. R.O.W. WIDTH 07-12-2017	

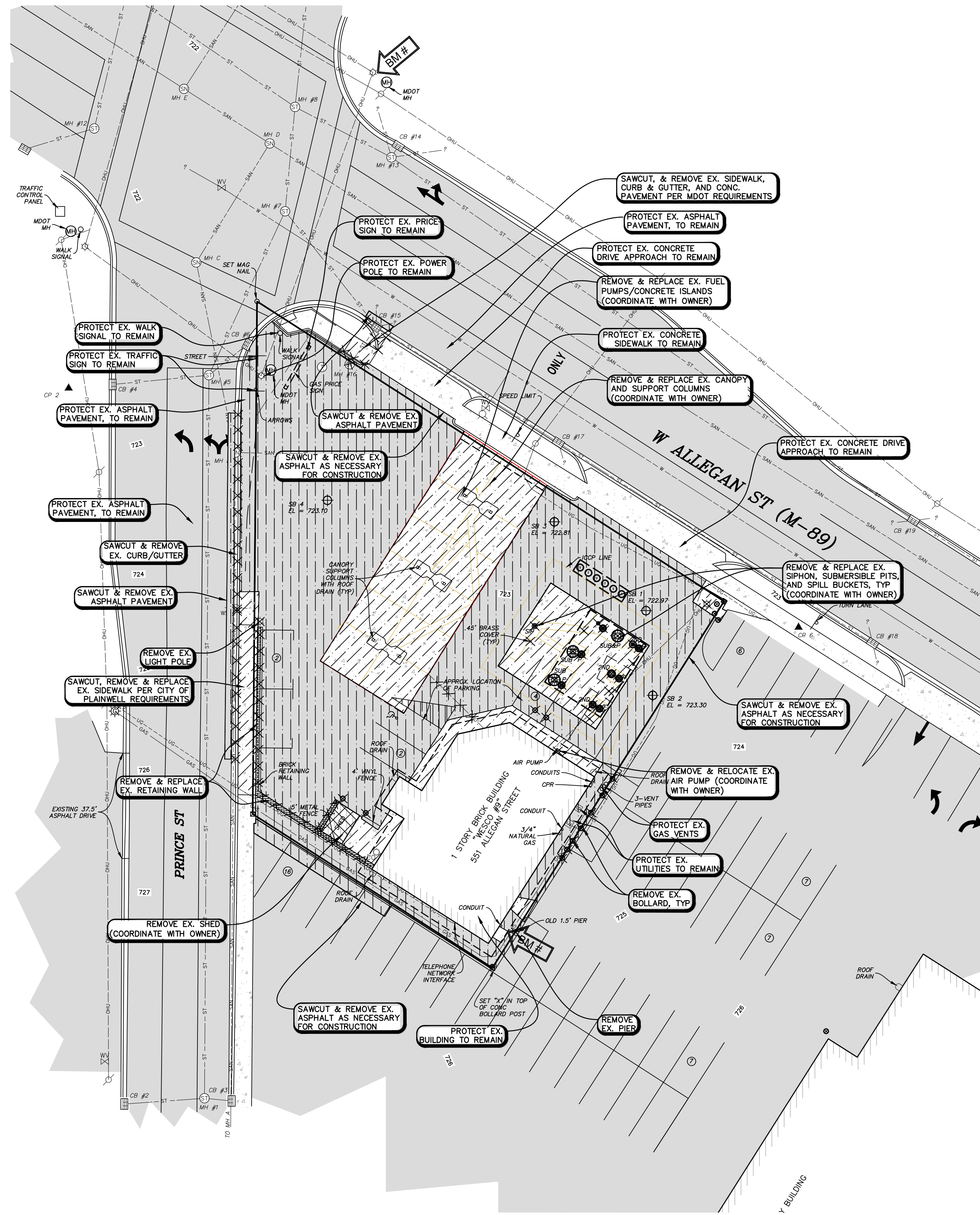
WESCO STORE #9
PLAINWELL TWP., ALLEGAN CO.
WESCO INC.
1460 WHITEHALL ROAD
MUSKEGON, MICHIGAN 49445

TOPOGRAPHIC/BOUNDARY SURVEY

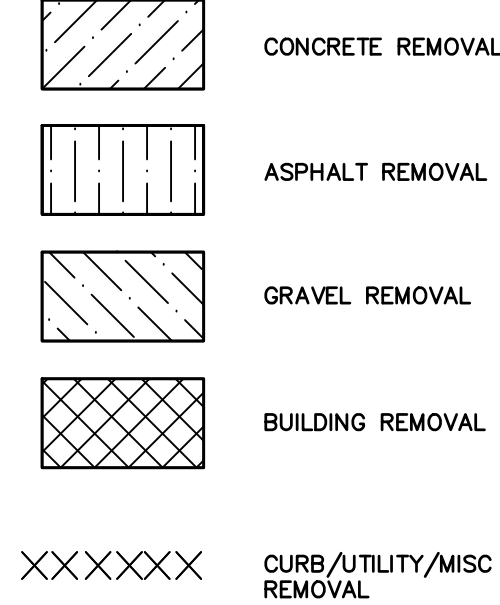
Designed By: TRAVIS KRENTZ
Drawn By: JPF
Checked By: [] Date: []
Plot: []
Scale: 1" = 20'
11-4-2014
Date: 1450472.5A
Job No.: []
Sheet No.: V-101
3 of 8

THE DESCRIPTION WAS GIVEN TO US BY THE PERSON CERTIFIED TO, OR WAS PREPARED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY THE PERSON CERTIFIED TO. SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS.

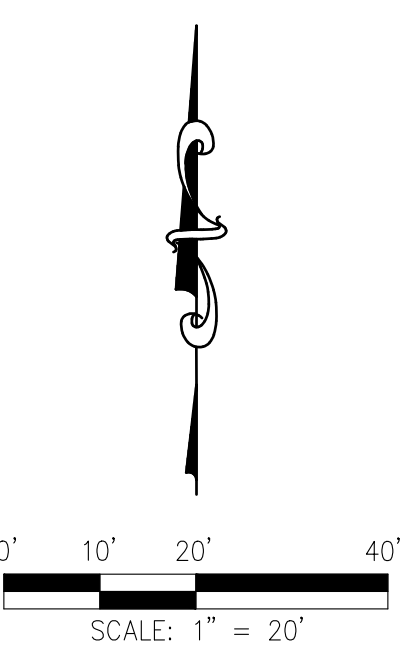
File Name: N:\Visuals\Projects\2017\1710060.1A_Wesco-09 (Plainwell)\DWG\1710060.1A_Site_8.dwg
 Last Saved: 7/17/2017 3:12:05 PM



REMOVAL LEGEND:



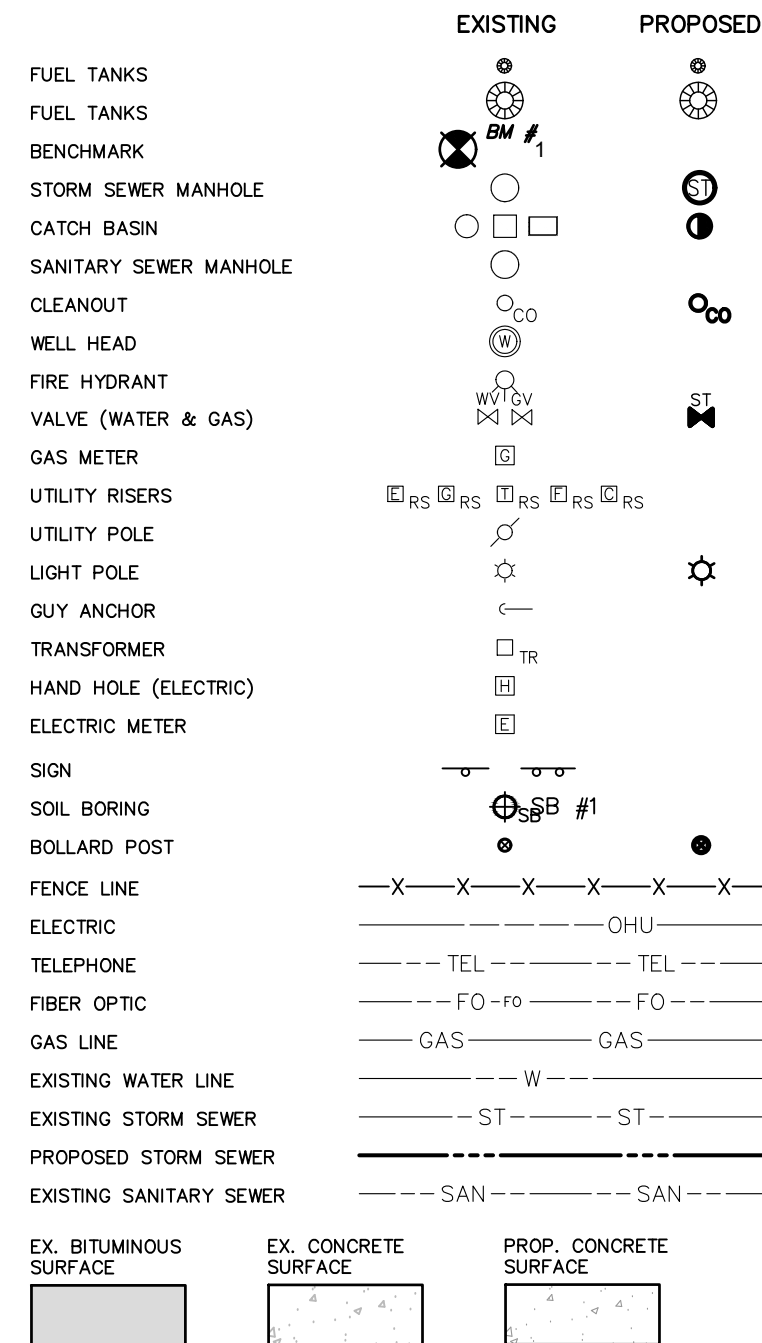
Know what's below.
 Call before you dig.



DEMOLITION NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL STANDARDS AND SPECIFICATIONS.
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC FROM CONSTRUCTION AREA.
- REMOVE ALL STRUCTURES, SUPPORT COLUMNS, FOOTINGS, ASPHALT PAVING, CONCRETE CURBS, SIDEWALKS, CONCRETE PADS, TREES, STUMPS, HEDGES, UTILITIES, AND OTHER EXISTING SITE FEATURES WITHIN LIMITS OF DEMOLITION. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE NOTED AND DISPOSED OF IN A MANNER ACCEPTABLE TO THE LOCAL AUTHORITY HAVING JURISDICTION.
- CALL "MISS DIG", 811, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING FOR NEW UTILITIES SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. ANY INTERRUPTION IN SERVICES MUST BE SCHEDULED WITH THE OWNER 48 HOURS PRIOR TO THE INTERRUPTION.
- ALL UTILITY LINES SHOWN "X" OUT SHALL BE PHYSICALLY REMOVED ALONG WITH STRUCTURES AND APPURTENANCES.
- PROTECT ALL TREES AND SHRUBS NOT SCHEDULED FOR REMOVAL. DO NOT OPERATE EQUIPMENT, STORE, STOCKPILE, OR PARK WITHIN DRIP LINE. HOLD NECESSARY DISTURBANCE TO A MINIMUM.
- REMOVAL ITEMS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO BE FULLY FAMILIAR WITH THE EXTENT OF REMOVAL ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REMOVALS NECESSARY TO COMPLETE CONSTRUCTION. QUESTIONS REGARDING ITEMS TO BE REMOVED SHALL BE DIRECTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
- ALL REMOVALS OF PAVEMENT, CONCRETE, CURB AND GUTTER, ETC. SHALL BE PERFORMED TO THE NEXT JOINT BEYOND THE LIMITS OF REMOVAL. ALL REMOVALS SHALL BE PERFORMED BY SAWCUTTING.
- CONTRACTOR SHALL INSTALL SOIL EROSION AND SEDIMENTATION CONTROL PRIOR TO BEGINNING DEMOLITION.
- CONTAMINATED SOILS, AS IDENTIFIED, SHALL BE HANDLED AND DISPOSED OF ACCORDING TO ALL APPLICABLE SITE-SPECIFIC ENVIRONMENTAL PLANS AND ENVIRONMENTAL REGULATIONS. REMOVE SOILS TO 20 INCHES BELOW IDENTIFIED CONTAMINATION.
- SEE OTHER SHEETS FOR ADDITIONAL INFORMATION.

LEGEND



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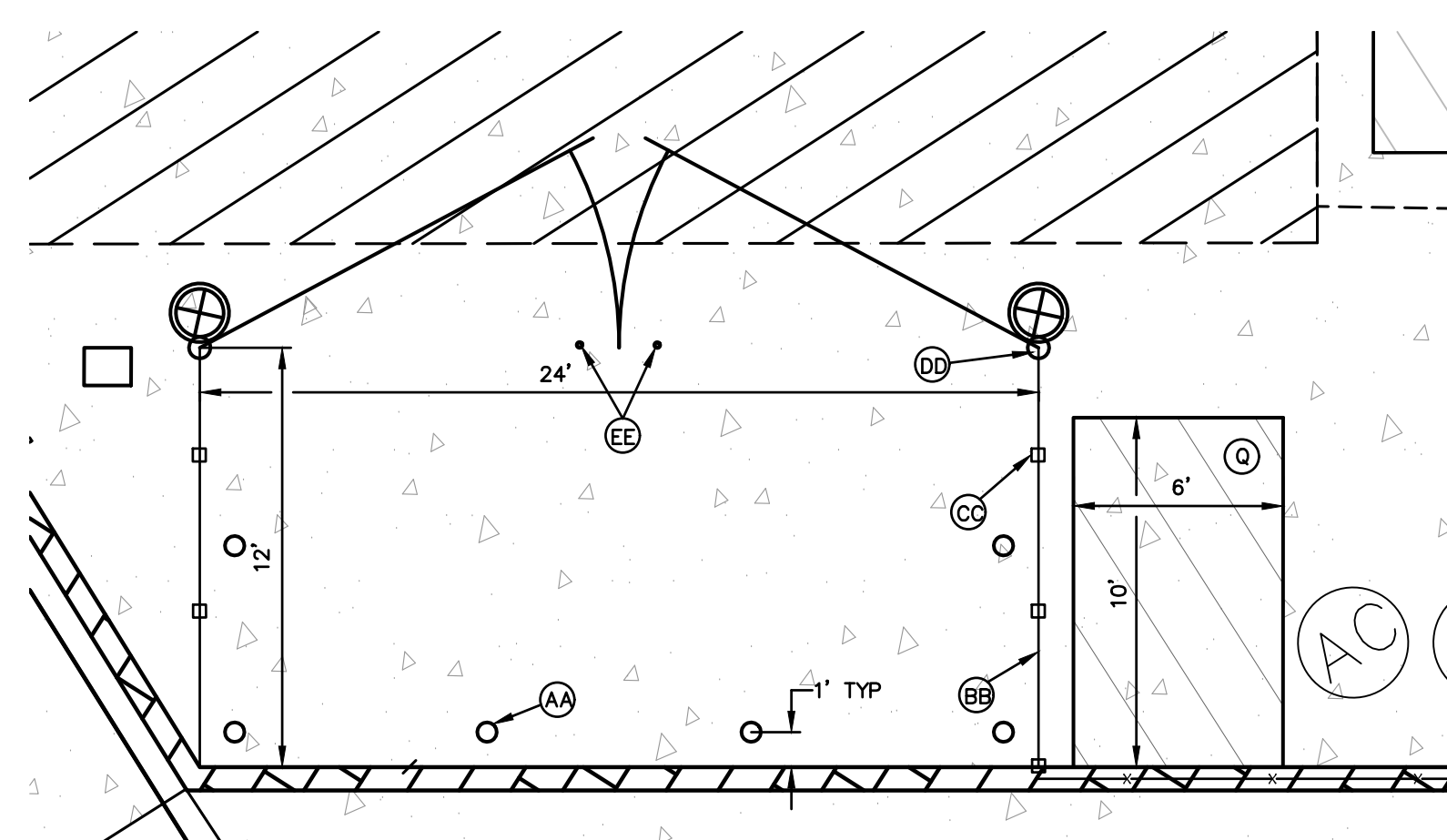
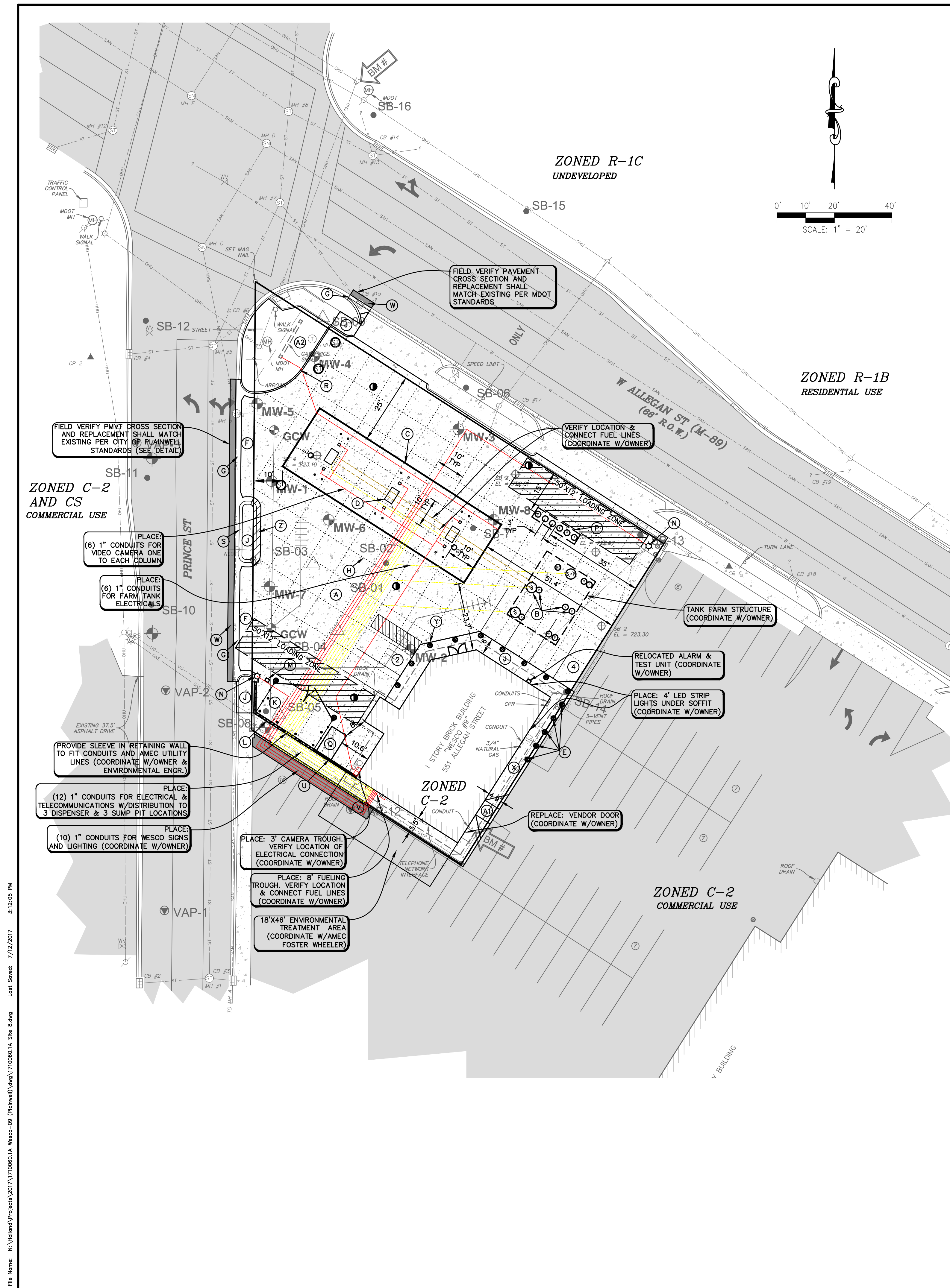
REVISIONS

NO.	DESCRIPTION
1	ISSUED FOR SITE PLAN APPROVAL 2017-07-12

WESCO #9 (PLAINWELL) IMPROVEMENTS
 SEC. 30, T01N, R11W CITY OF PLAINWELL, ALLEGAN CO. MICHIGAN
 WESCO, INC.
 1460 WHITEHALL ROAD, SUITE C
 MUSKEGON, MICHIGAN 49445
DEMOLITION PLAN

Designed By: JMT
 Drawn By: AQA
 Checked By: [Date]
 Plot:
 1"=20'
 Scale:
 07-12-2017
 Date:
 1710060.1A
 Job No.:

Sheet No.: **CD-101**
 4 of 8



DUMPSTER AND SHED DETAIL
NO SCALE

KEY NOTES:
 (AA) PROP. 4" DUMPSTER BOLLARD (TYP) (SEE DETAIL SHEET)
 (BB) VINYL FENCING (6' HEIGHT) (TYP.)
 (CC) VINYL CLAD FENCEPOST (TYP.)
 (DD) 6 3/8" GALVANIZED GATE POST
 (EE) 1" GATE SLEEVE HOLES - CORE BORE & SLEEVE THROUGH CONCRETE

- KEY NOTES:**
- (A) PROP. 8" REINFORCED CONCRETE PAVEMENT (SEE DETAIL)
 - (B) PROP. FUEL TANK COVER, TYP (COORDINATE W/OWNER)
 - (C) PROP. CANOPY WITH NEW COLUMN SUPPORTS (SEE DETAIL)
 - (D) PROP. 3'X5' CONCRETE FUEL PUMP ISLAND, TYP (SEE DETAIL)
 - (E) PROP. 6" STEEL BOLLARD, TYP (SEE DETAIL)
 - (F) PROP. CONC. DRIVE APPROACH PER CITY OF PLAINWELL REQUIREMENTS, TYP
 - (G) PROP. CURB & GUTTER, MDOT F4 (SEE DETAIL)
 - (H) PROP. CONCRETE JOINT PER WESCO REQUIREMENTS, TYP
 - (J) PROP. CONCRETE SIDEWALK (SEE DETAIL)
 - (K) PROP. 12'X24' DUMPSTER ENCLOSURE (PER CITY OF PLAINWELL REQUIREMENTS)
 - (L) PROP. 8" RETAINING WALL W/GUARD RAIL (SEE DETAIL)
 - (M) PROP. RELOCATED AIR PUMP (COORDINATE W/OWNER)
 - (N) PROP. LIGHTING (PER CITY OF PLAINWELL REQUIREMENTS)
 - (P) PROP. REMOTES LAYOUT (COORDINATE W/OWNER)
 - (Q) PROP. 6'X10' SHED (COORDINATE W/OWNER)
 - (R) PROP. HEAD CURB (SEE DETAIL)
 - (S) PROP. CURB & GUTTER, MDOT B2 (SEE DETAIL)
 - (T) PROP. 4" STEEL BOLLARD, TYP (SEE DETAIL)
 - (U) PROP. GUARD RAIL (COORDINATE W/OWNER)
 - (V) PROP. ASPHALT PAVT. (SEE DETAIL)
 - (W) PROP. ASPHALT PAVT. ON PRINCE STREET & M-89 (PER CITY OF PLAINWELL & MDOT REQUIREMENTS (SEE DETAIL))
 - (X) PROP. INTEGRAL SIDEWALK (SEE DETAIL)
 - (Y) PROP. 12" BOLLARD (COORDINATE W/OWNER) (SEE DETAIL)
 - (Z) PROP. CURB & GUTTER, INVERTED MDOT B2 (SEE DETAIL)
 - (A1) PROP. SIDEWALK RAMP (SEE DETAIL)
 - (A2) PROP. LANDSCAPING AREA (PER CITY REQUIREMENTS)

- GENERAL NOTES:**
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
 - DIMENSIONS TAKE PRECEDENCE OVER SCALE, CONTRACTOR TO VERIFY ALL DIMENSIONS.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2012 EDITION AND CITY OF PLAINWELL CONTRACT CONDITIONS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
 - FOR PROTECTION OF ALL ACTIVE UNDERGROUND UTILITIES THE CONTRACTOR SHALL CALL "MISS DIG" AT 811 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
 - ANY BITUMINOUS OR CONCRETE PAVEMENT, SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS THAT WILL BE LEFT UNATTENDED.
 - ALL EXTERIOR CONCRETE SHALL BE 4,000 PSI, AIR ENTRAINED, LIMESTONE AGGREGATE, BROOM FINISHED WITH CURING SEAL.
 - PROPOSED CONTROL JOINTS SHALL BE SPACED TO FORM 10' X 10' SECTIONS OR AT UNIFORM SPACING.
 - SEE ADDITIONAL SHEETS IN DRAWING SET FOR MORE INFORMATION.

- ENVIRONMENTAL LEGEND - WORK BY OTHERS:**
- PROPOSED GROUNDWATER CIRCULATION WELL
 - H—H—H— PROPOSED SVE TILES - SYSTEM PIPING
 - ⊕ GROUNDWATER MONITORING WELL AND SOIL BORING
 - ⊕ GROUNDWATER CIRCULATION WELL
 - SUB-SLAB VAPOR PIN LOCATION
 - ▲ SOIL BORING WITH GROUNDWATER SAMPLE
 - ▽ VERTICAL AQUIFER PROFILE SAMPLE

SITE NOTES

- ZONING REQUIREMENTS:**
 CURRENT ZONING: C-2 GENERAL COMMERCIAL
 MAXIMUM BUILDING HEIGHT: 3 STORES OR 40 FT
 PROPOSED CANOPY HEIGHT: 19 FT
 REQUIRED SETBACKS FOR BUILDING:
 FRONT YARD: NONE
 SIDE YARD: NONE (NOT ABUTTING RESIDENTIAL ZONING)
 REAR YARD: NONE (NOT ABUTTING RESIDENTIAL ZONING)
 PROVIDED SETBACKS FOR CANOPY:
 FRONT YARD: 10' (PRINCE ST.), 25' (ALLEGAN ST.)
 SIDE YARD: 4.9'
 REAR YARD: 5.5'
- SUMMARY OF PARKING:**
 SPACES PROVIDED - EXISTING CONDITION: 14
 SPACES PROVIDED - PROPOSED CONDITION: 12
 TOTAL SPACES REQUIRED: 23
 (2.5 PER PUMP STATION; 2.5X3=8 SPACES)
 (1/75 SF OF GFA DEVOTED TO RETAIL SALES;
 974/75=13 SPACES)
 (1/EMPLOYEE; 2 SPACES)
 ADDITIONAL PARKING IS PROVIDED ON ADJACENT PARCEL THROUGH AGREEMENT BETWEEN WESCO AND HARDINGS MARKET
- SUMMARY OF LAND:**
 GROSS LAND AREA: 16,862 SFT (0.39 AC)
 EXISTING BUILDING SIZE: 2,546 SFT
- IMPACT TO SURROUNDING PROPERTIES**
 USE OF PROPERTY WILL BE CONSISTENT WITH OTHER USES IN THIS ZONING DISTRICT AND IN THE SURROUNDING AREA. USE OF PROPERTY WILL NOT GENERATE ADVERSE LEVELS OF NOISE, VIBRATION, SMOKE, LIGHT, GLARE, OR OTHER POTENTIALLY PROBLEMATIC CONDITIONS.
- REFUSE/DUMPSTER AREA**
 A NEW DUMPSTER ENCLOSURE IS PROPOSED AT THE SOUTHWEST CORNER OF THE SITE.
- WETLANDS & FLOODPLAIN:**
 THERE ARE NO FLOODPLAIN OR WETLAND AREAS WITHIN THE SUBJECT PROPERTY. (PER FEMA FIRM MAP ON 260008 B)
- STORM DRAINAGE:**
 STORM WATER WILL BE COLLECTED IN STORM SEWER AND DISCHARGED INTO THE PUBLIC STORM SEWER SYSTEM VIA A CONNECTION TO THE EXISTING CATCH BASIN IN W. ALLEGAN STREET NEAR PRINCE STREET. A SHUTOFF VALVE ALONG WITH AN OIL WATER SEPARATOR TANK WILL BE INSTALLED TO PREVENT CONTAMINANTS FROM ENTERING THE PUBLIC STORM SEWER SYSTEM.
- LANDSCAPING & EXTERIOR LIGHTING:**
 LANDSCAPING WILL BE PROVIDED IN THE NORTHWEST CORNER OF THE SITE, CONSISTING OF A MULCHED PERENNIAL FLOWER BED THAT DOES NOT INTERFERE WITH MDOT CLEAR VISION AREA. LANDSCAPING WILL MAINTAINED AS PART OF NORMAL SITE OPERATIONS BY WESCO STAFF. LIGHT POLES WILL REMAIN CONSISTENT WITH OTHER USES AND ADHERE TO CITY OF PLAINWELL REQUIREMENTS.
- WATER/SEWER CONNECTIONS:**
 EXISTING WATER AND SEWER CONNECTIONS WILL BE UTILIZED WITH NO CHANGES.
- LOADING/UNLOADING:**
 DELIVERY OF PRODUCTS AND MERCHANDISE WILL BE DONE USING BULK TANKERS (FOR FUEL PRODUCTS) AND LOCAL DELIVERY TRUCKS FOR STORE MERCHANDISE. DELIVERIES WILL OCCUR 8 TIMES PER WEEK DURING NORMAL BUSINESS HOURS.

LEGEND

	EXISTING	PROPOSED
FUEL TANKS	⊕	⊕
BENCHMARK	BM #1	BM #1
STORM SEWER MANHOLE	⊕	⊕
CATCH BASIN	⊕	⊕
SANITARY SEWER MANHOLE	⊕	⊕
CLEANOUT	⊕	⊕
WELL HEAD	⊕	⊕
FIRE HYDRANT	⊕	⊕
VALVE (WATER & GAS)	⊕	⊕
GAS METER	⊕	⊕
UTILITY RISERS	⊕	⊕
UTILITY POLE	⊕	⊕
LIGHT POLE	⊕	⊕
GUY ANCHOR	⊕	⊕
TRANSFORMER	⊕	⊕
HAND HOLE (ELECTRIC)	⊕	⊕
ELECTRIC METER	⊕	⊕
SION	⊕	⊕
SOIL BORING	⊕	⊕
BOLLARD POST	⊕	⊕
FENCE LINE	—X—X—X—X—X—X—	—X—X—X—X—X—X—
ELECTRIC	—OHU—	—OHU—
TELEPHONE	---TEL---TEL---	---TEL---TEL---
FIBER OPTIC	---FO---FO---	---FO---FO---
GAS LINE	---GAS---GAS---	---GAS---GAS---
EXISTING WATER LINE	---W---	---W---
EXISTING STORM SEWER	---ST---	---ST---
PROPOSED STORM SEWER	---ST---	---ST---
EXISTING SANITARY SEWER	---SAN---	---SAN---
PROPOSED SANITARY SEWER	---SAN---	---SAN---
EX. BITUMINOUS SURFACE	▒	▒
EX. CONCRETE SURFACE	▒	▒
PROP. CONCRETE SURFACE	▒	▒



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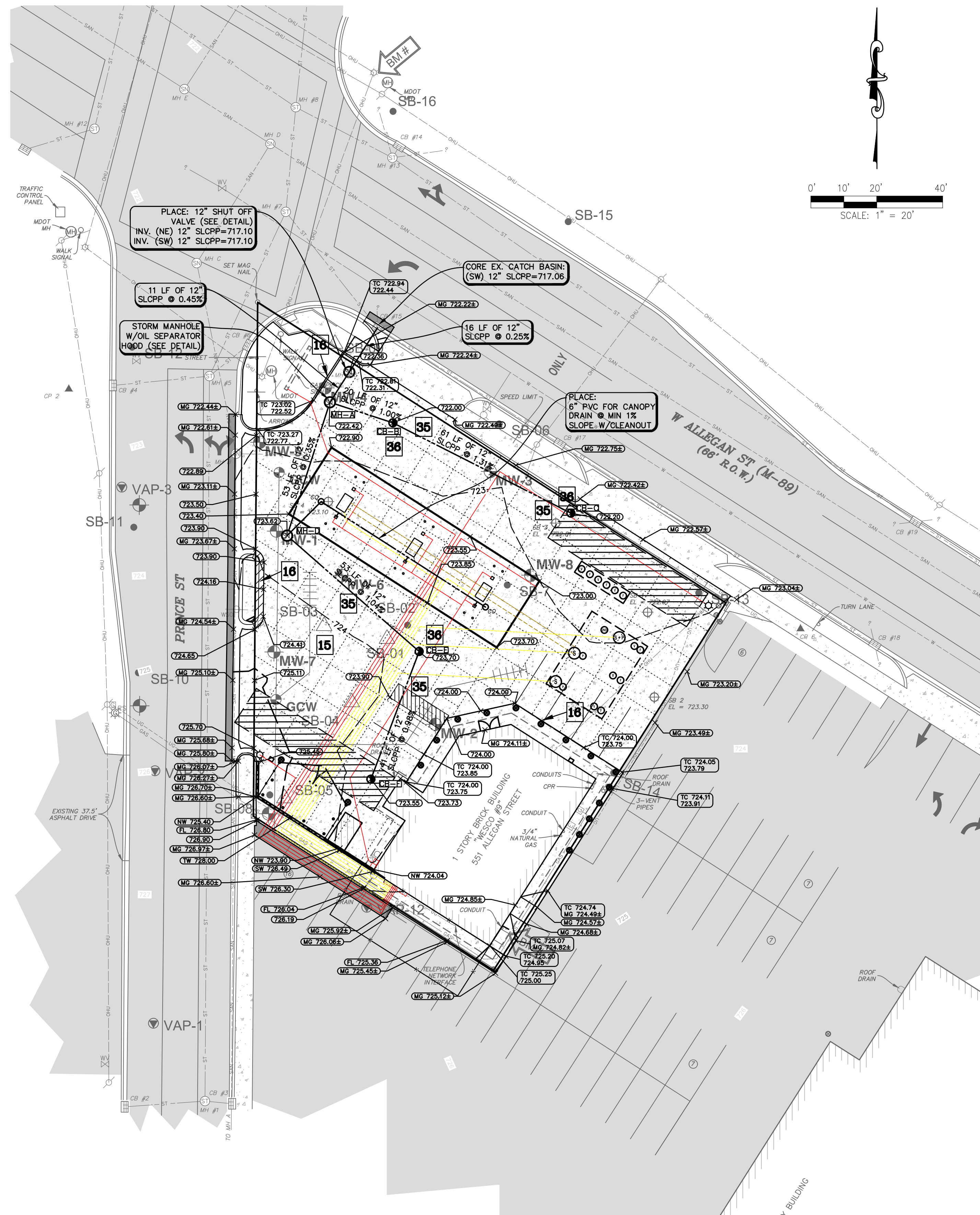
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GRADING LEGEND

PROP. FINISH GRADE ELEVATION	×(100.00)
TOP OF CURB ELEVATION	×(TC 100.00)
MATCH EX. GRADE ELEVATION	×(MG 100.00)
NORTH OF WALL ELEVATION	×(NW 100.00)
SOUTH OF WALL ELEVATION	×(SW 100.00)
TOP OF WALL ELEVATION	×(TW 100.00)
PROP. FLOW LINE ELEVATION	×(FL 100.00)

GRADING & STORM SEWER NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AGENCIES HAVING JURISDICTION.
- REFER TO EXISTING TOPOGRAPHIC SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION.
- CONTOUR INTERVAL = 1 FOOT
- ALL SOILS SHALL BE GRADED TO PROVIDE FOR SMOOTH CONTOURS AND POSITIVE DRAINAGE AWAY FROM BUILDINGS. PONDING OF WATER WILL NOT BE ALLOWED EXCEPT WHERE INDICATED.
- CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY PROVIDERS PRIOR TO STARTING ANY CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAKE AVAILABLE TO THE ENGINEER DIMENSIONS TO LOCATE UTILITY STUBS AND/OR ANY UTILITY CONDUIT STUBS INSTALLED.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM THE WORK AREA AND OFF PARKING AREAS BEFORE BITUMINOUS PAVING OR CONCRETE IS CURED.
- ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF ANY GRAVEL BASE.
- EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING FOR NEW UTILITIES SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- EXCEPT FOR THOSE UTILITIES NOTED TO BE PLUGGED OR REMOVED, RECONNECT ALL LINES ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH UTILITY PROVIDER.
- UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR THE RAISING OR LOWERING OF ALL EXISTING MANHOLES AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES AND CLEAN-OUTS TO MEET FINISH GRADES.
- ALL STORM SEWER STRUCTURES, INCLUDING SUMPS, WITHIN THE PROPERTY LIMITS SHALL BE INSPECTED AND CLEANED OUT AS NECESSARY. IF SOME SPECIFIC PROBLEM IS IDENTIFIED DURING THIS ACTIVITY, CONTACT THE ENGINEER FOR FURTHER INSTRUCTIONS.
- IN ALL AREAS OF NEW GRADING OR CONSTRUCTION, STRIP AND STOCKPILE EXISTING TOPSOIL AND PERFORM ALL GRADING AND EARTHWORK TO THE ELEVATION POINTS SHOWN. TOPSOIL SHALL BE RESPREAD WITH A 4" MINIMUM THICKNESS ON DESIGNATED AREAS OUTSIDE OF BUILDING AND PAVEMENT AREAS. TOPSOIL SHALL BE SEEDED AND MULCHED.
- ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR EXACT CANOPY DOWNSPOUT CONNECTION LOCATIONS. FIELD ADJUST AS NECESSARY.
- EVENLY GRADE CONCRETE SURFACE BETWEEN SPOT ELEVATIONS. WARP CONCRETE SURFACE TO MEET CASTING ELEVATIONS WITHIN ONE HORIZONTAL FOOT OF THE EDGE OF CASTING.
- SEE ADDITIONAL SHEETS IN DRAWING SET FOR MORE INFORMATION.

SESC NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE SOIL EROSION AND SEDIMENTATION CONTROL (SESC) PERMIT.
- PLACE EROSION CONTROL MEASURES AS INDICATED ON DRAWING PRIOR TO EARTH MOVING AND GRADING ACTIVITIES.
- CONTRACTOR SHALL AVOID THE UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER.
- INSTALL "SILT SACK" INLET SEDIMENT TRAPS IN ALL PROPOSED CATCH BASINS AS INDICATED ON THIS DRAWING. CLEAN "SILT SACK" ON A WEEKLY BASIS AT A MINIMUM.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY SWEEPING OF TRACKED MATERIALS ONTO ALL ROADWAYS. THE CONTRACTOR IS RESPONSIBLE TO IMMEDIATELY SWEEP ANY TRACKED MATERIAL OFF ALL ROADWAYS.
- ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE IMMEDIATELY PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
- THE MINIMUM AMOUNT OF SOIL EROSION & SEDIMENTATION CONTROLS ARE SHOWN ON THIS PLAN. DUE TO SITE ACTIVITIES AND SCHEDULES, ADDITIONAL CONTROLS WILL LIKELY BE REQUIRED TO MAINTAIN SITE ACCORDING TO APPLICABLE STATE AND FEDERAL GUIDELINES AT NO ADDITIONAL COST TO THE OWNER.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH STANDARDS AND REQUIREMENTS OF PERMITTING AGENCY HAVING JURISDICTION.
- EXCESS SOIL IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED.
- SEE ADDITIONAL SHEETS IN DRAWING SET FOR MORE INFORMATION.

SESC KEY:

15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VOLUME AND VELOCITY. IRREGULAR SURFACE WILL HELP SLOW VELOCITY.
16	CURB & GUTTER	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACES. COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGEWAY.
35	STORM SEWER	SYSTEM REMOVES COLLECTED RUNOFF FROM SITE, PARTICULARLY FROM PAVED AREAS. CAN ACCEPT LARGE CONCENTRATIONS OF RUNOFF. CONDUCTS RUNOFF TO MUNICIPAL SEWER SYSTEM OR STABILIZED OUTFALL LOCATION. USE CATCH BASINS TO COLLECT SEDIMENT.
36	CATCH BASIN, DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATION RUNOFF. MAY USE FILTER CLOTH OVER INLET.

PROPOSED STORM STRUCTURE DATA

MH-A (5' DIA. MANHOLE) W/EJW 1040-A FRAME & COVER RIM=722.42 INV (NE) 12" SLOPP=717.15 INV (E) 12" SLOPP=717.15 INV (SW) 12" SLOPP=717.15 INSTALL OIL SEPARATOR HOOD	MH-D (4' DIA. MANHOLE) W/EJW 1040-A FRAME & COVER RIM=723.62 INV (NNE) 12" SLOPP=717.30 INV (NE) 6" PVC=719.30 INV (SE) 12" SLOPP=718.65
CB-B (4' DIA. CATCH BASIN) W/EJW 1040-M1 FRAME & COVER RIM=723.00 INV (NW) 12" SLOPP=719.20 INV (SW) 12" SLOPP=719.20	CB-E (4' DIA. CATCH BASIN) W/EJW 1040-M1 FRAME & COVER RIM=723.70 INV (NW) 12" SLOPP=719.20 INV (SW) 12" SLOPP=719.20
CB-C (2' DIA. CATCH BASIN) W/EJW 1040-M1 FRAME & COVER RIM=722.20 INV (NW) 12" SLOPP=718.20	CB-F (2' DIA. CATCH BASIN) W/EJW 1040-M1 FRAME & COVER RIM=719.60 INV (NE) 12" SLOPP=719.60

LEGEND

FUEL TANKS	EXISTING	PROPOSED
FUEL TANKS	BM	BM
BENCHMARK	BM	BM
STORM SEWER MANHOLE	SM	SM
CATCH BASIN	CB	CB
SANITARY SEWER MANHOLE	SM	SM
CLEANOUT	CO	CO
WELL HEAD	WH	WH
FIRE HYDRANT	FH	FH
VALVE (WATER & GAS)	V	V
GAS METER	GM	GM
UTILITY RISERS	UR	UR
UTILITY POLE	UP	UP
LIGHT POLE	LP	LP
GUY ANCHOR	GA	GA
TRANSFORMER	TR	TR
HAND HOLE (ELECTRIC)	HH	HH
ELECTRIC METER	EM	EM
SIGN	S	S
SOIL BORING	SB	SB
BOLLARD POST	BP	BP
FENCE LINE	FL	FL
ELECTRIC	OHU	OHU
TELEPHONE	TEL	TEL
FIBER OPTIC	FO	FO
GAS LINE	GAS	GAS
EXISTING WATER LINE	W	W
EXISTING STORM SEWER	ST	ST
PROPOSED STORM SEWER	ST	ST
EXISTING SANITARY SEWER	SAN	SAN
EX. BITUMINOUS SURFACE	EX. BITUMINOUS SURFACE	PROP. CONCRETE SURFACE
EX. CONCRETE SURFACE	EX. CONCRETE SURFACE	PROP. CONCRETE SURFACE
PROP. CONCRETE SURFACE	PROP. CONCRETE SURFACE	PROP. CONCRETE SURFACE



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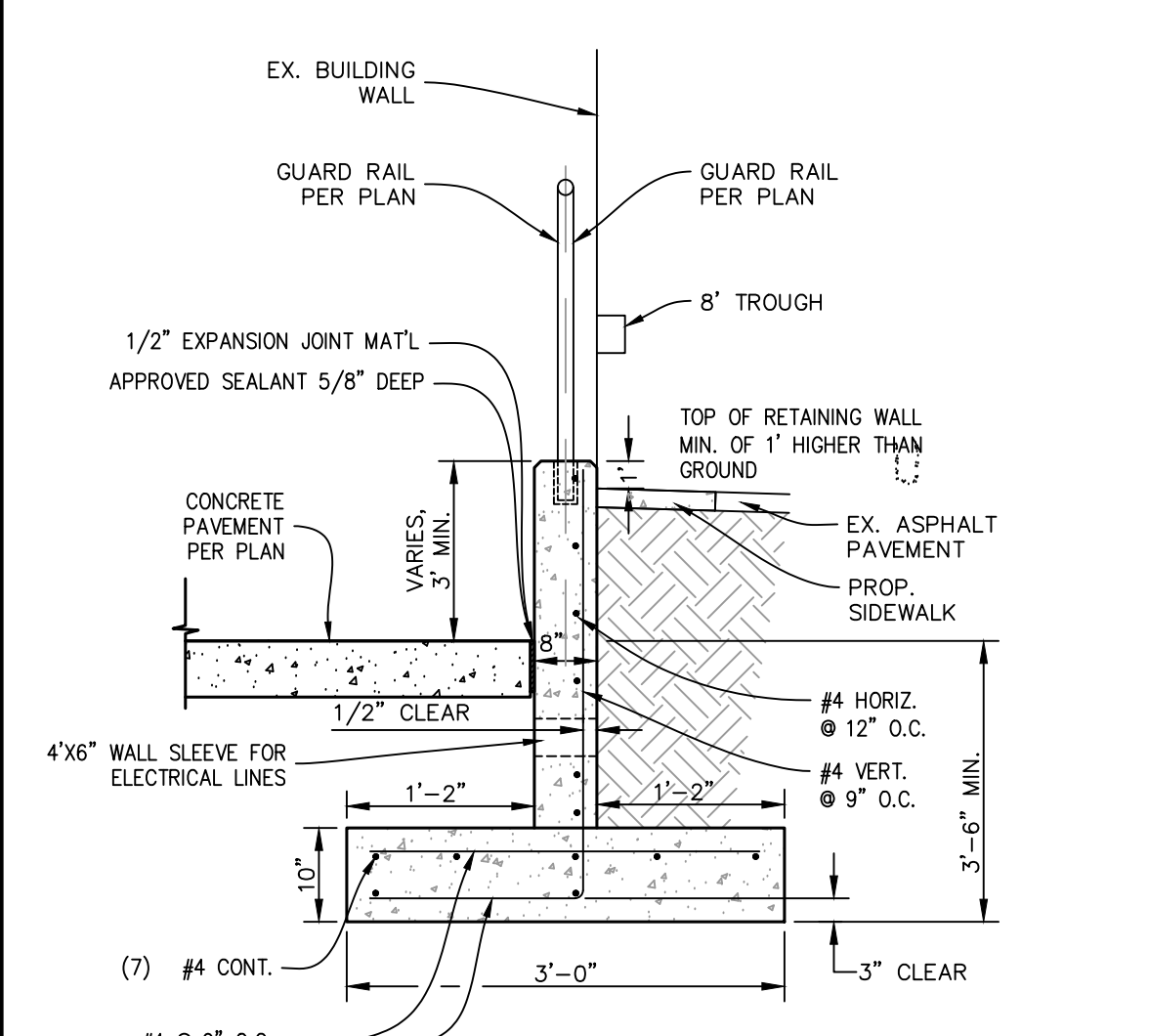
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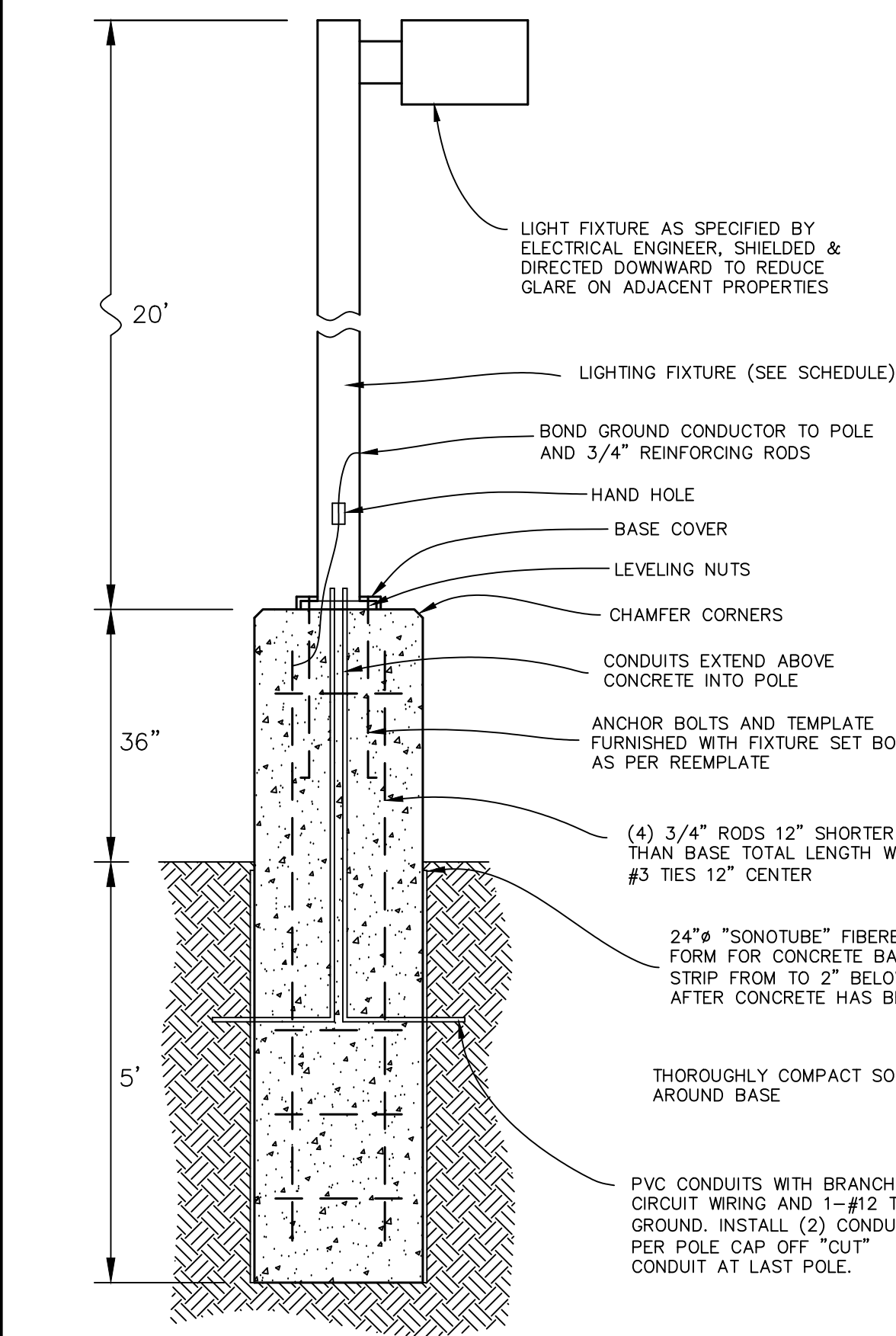
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GRADING, STORM SEWER, AND SESC PLAN

Designed By: JMT
 Drawn By: AQA
 Checked By: [Date]
 Plot:
 1"=20'
 Scale:
 07-12-2017
 Date:
 1710060.1A
 Job No.:
 Sheet No.:

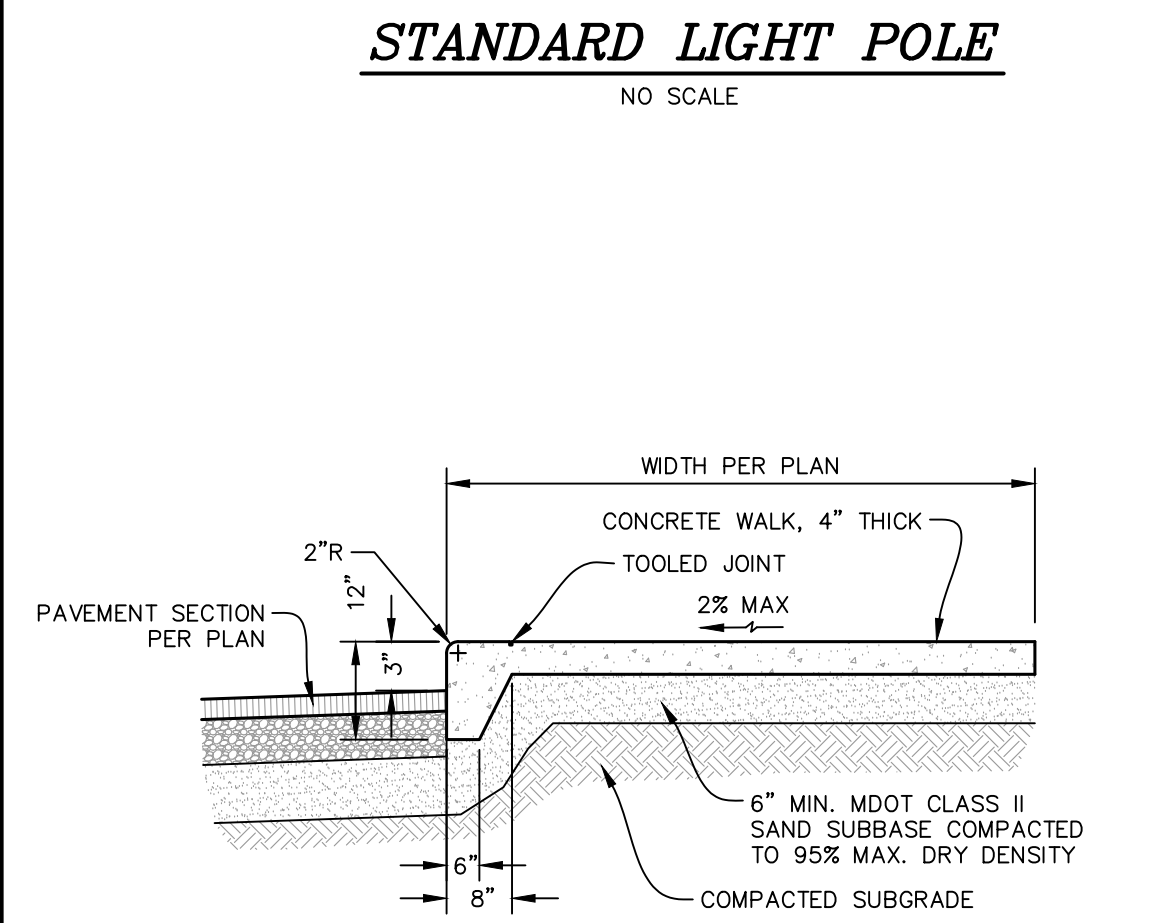
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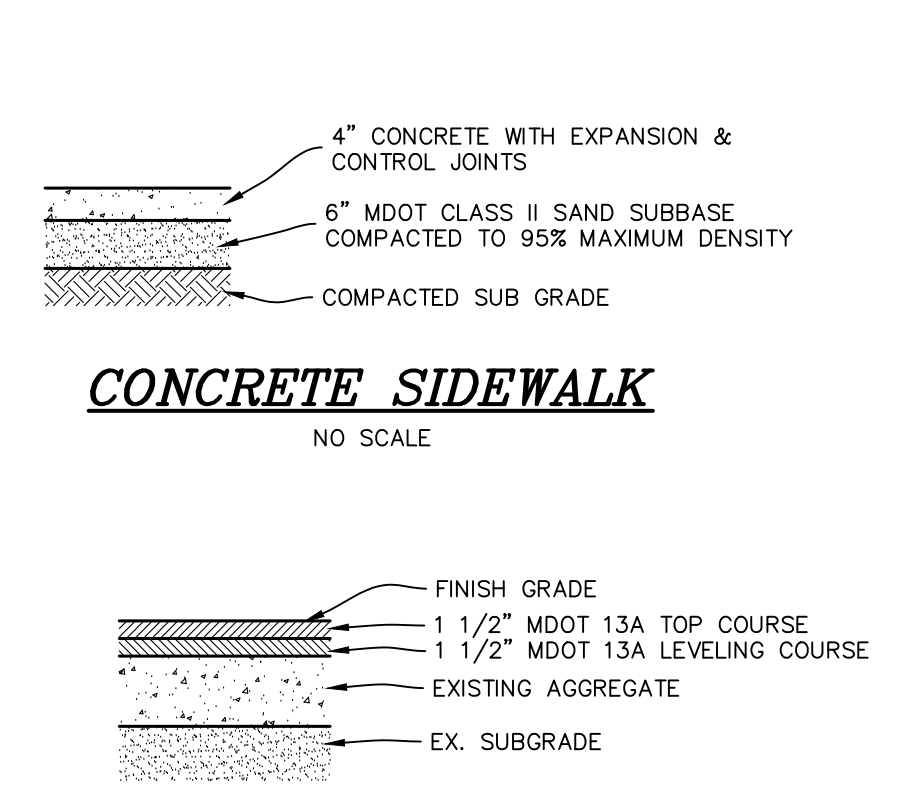
8" RETAINING WALL SECTION
NO SCALE



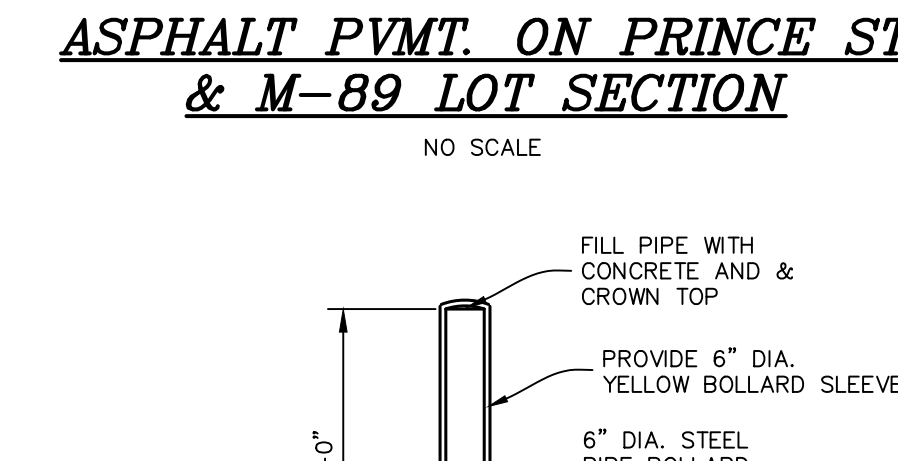
STANDARD LIGHT POLE
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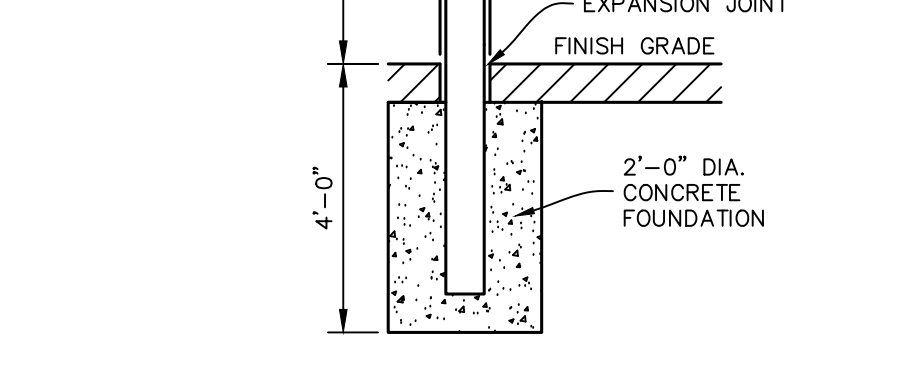
SIDEWALK WITH INTEGRAL CURB
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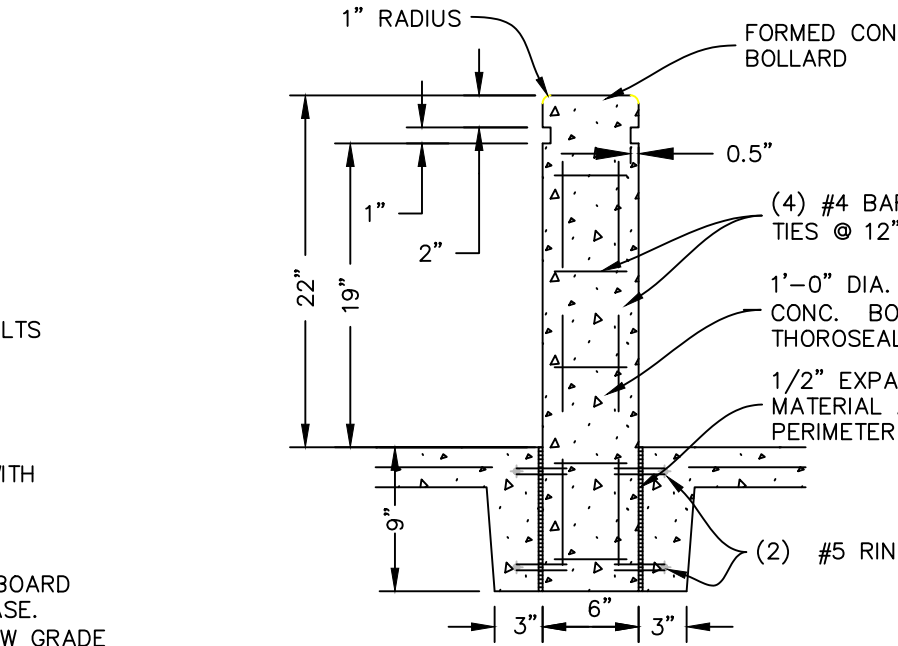
CONCRETE SIDEWALK
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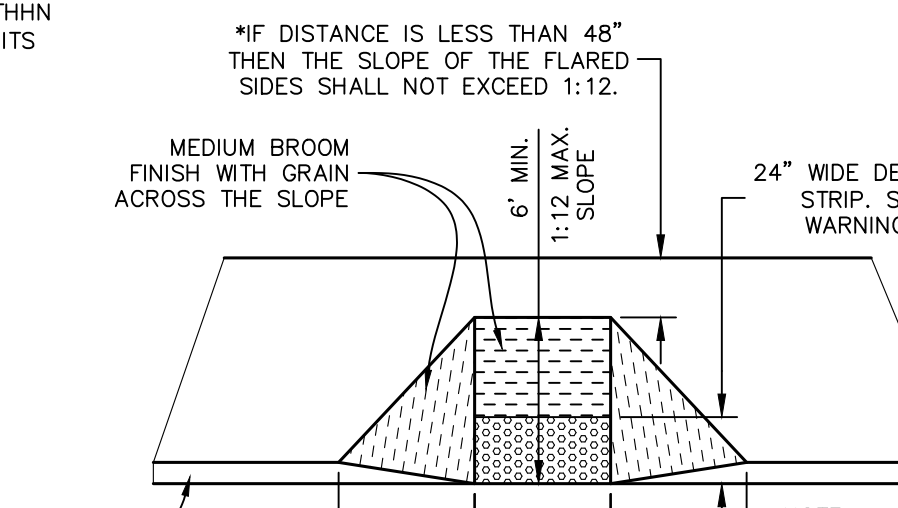
ASPHALT PVMT. ON PRINCE ST. & M-89 LOT SECTION
NO SCALE



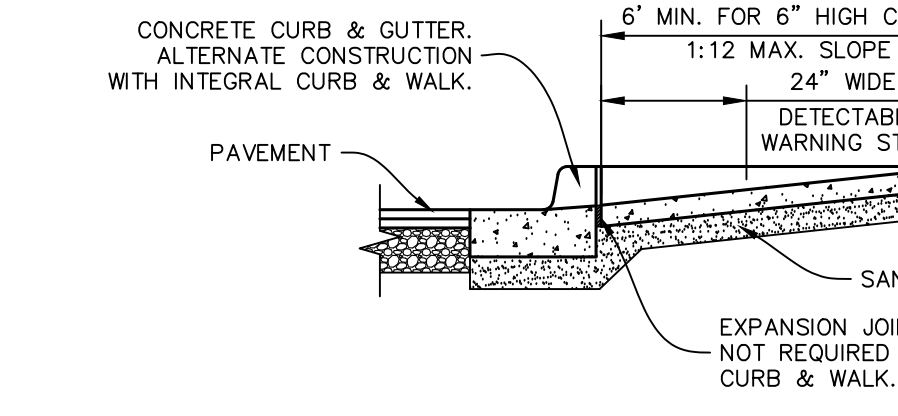
6" STEEL BOLLARD
NO SCALE



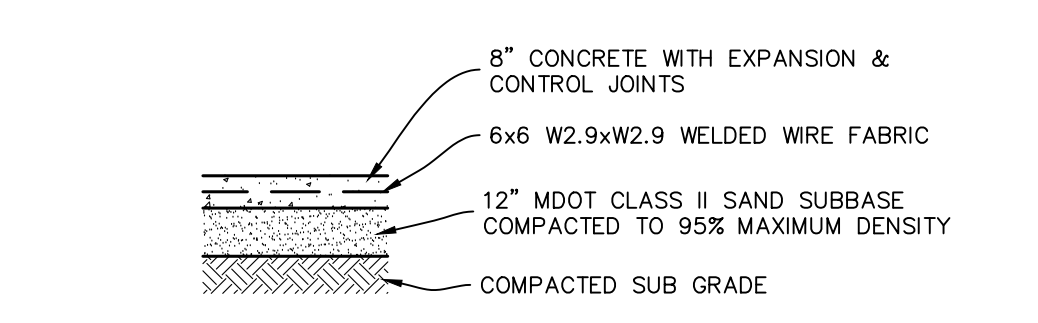
12" CONCRETE BOLLARD
NO SCALE



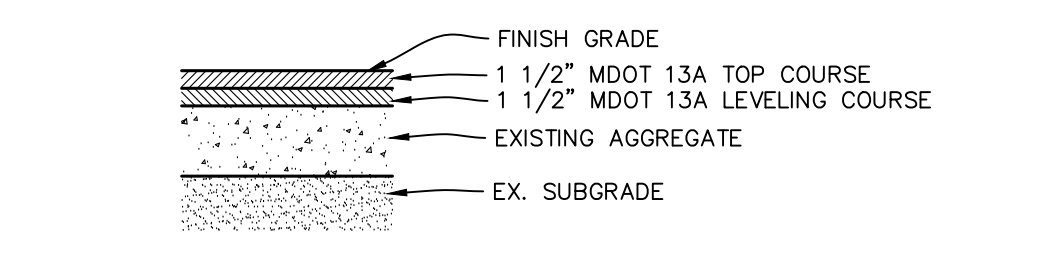
SIDEWALK RAMP
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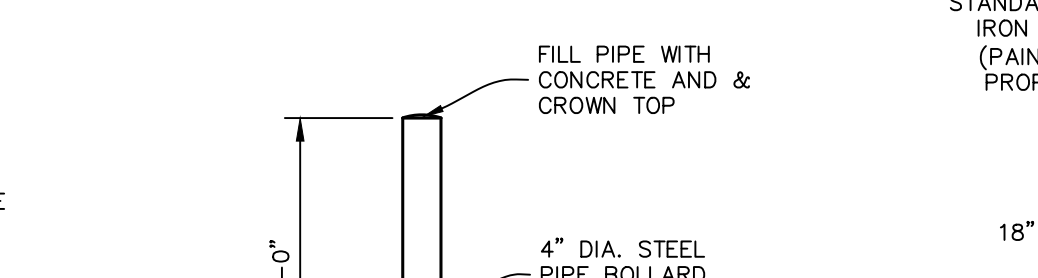
SECTION THROUGH RAMP
NO SCALE



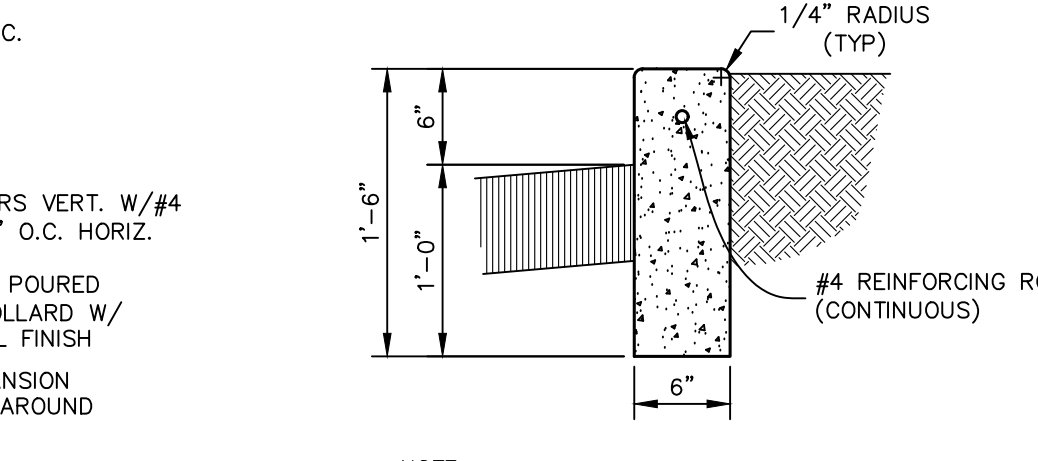
8" REINFORCED CONCRETE PAVEMENT
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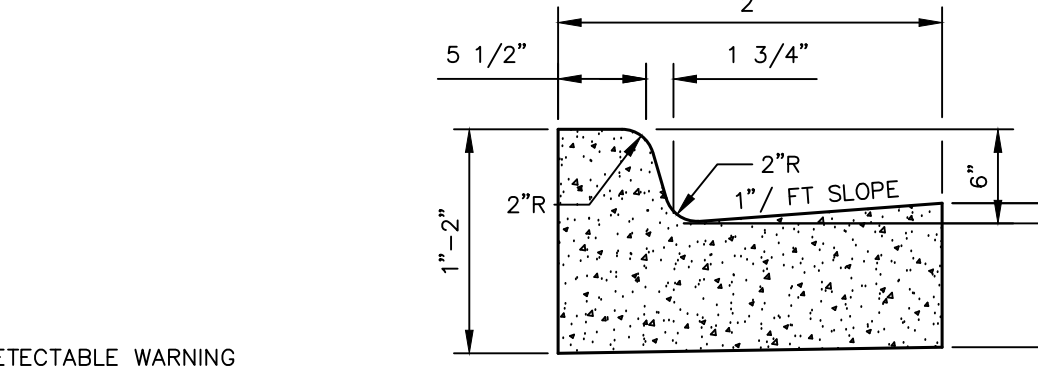
PARKING LOT SECTION
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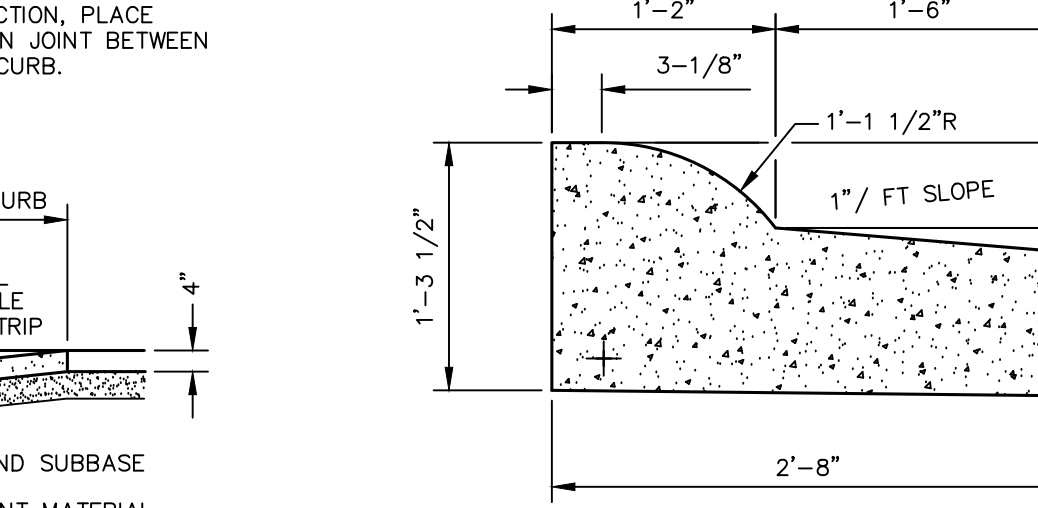
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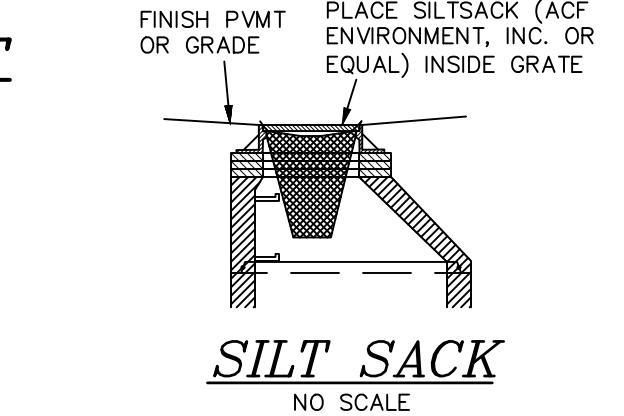
6" HEAD CURB
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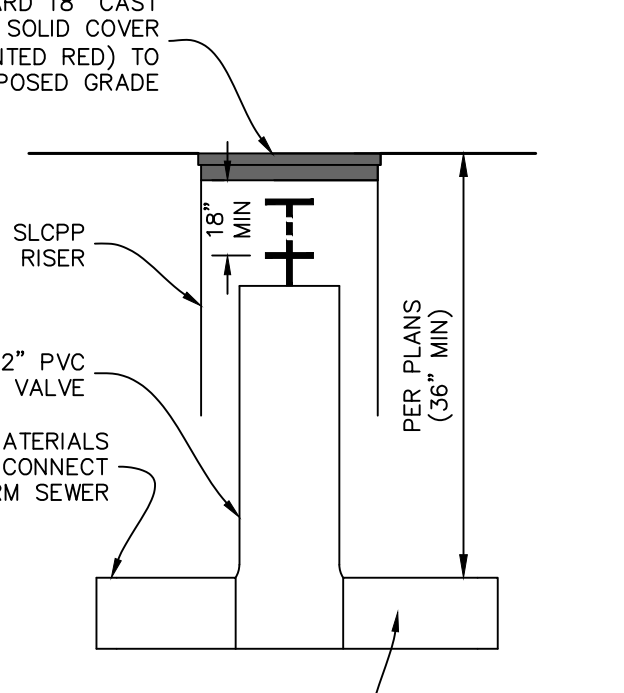
CURB & GUTTER - MDOT DETAIL F4 MODIFIED
NO SCALE



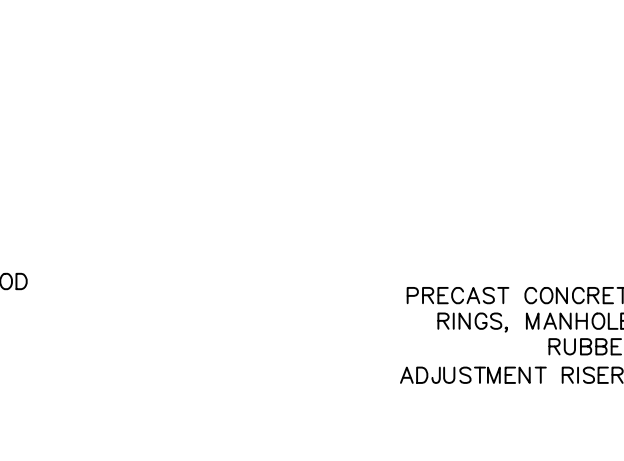
CURB & GUTTER - INVERTED MDOT DETAIL B2
NO SCALE



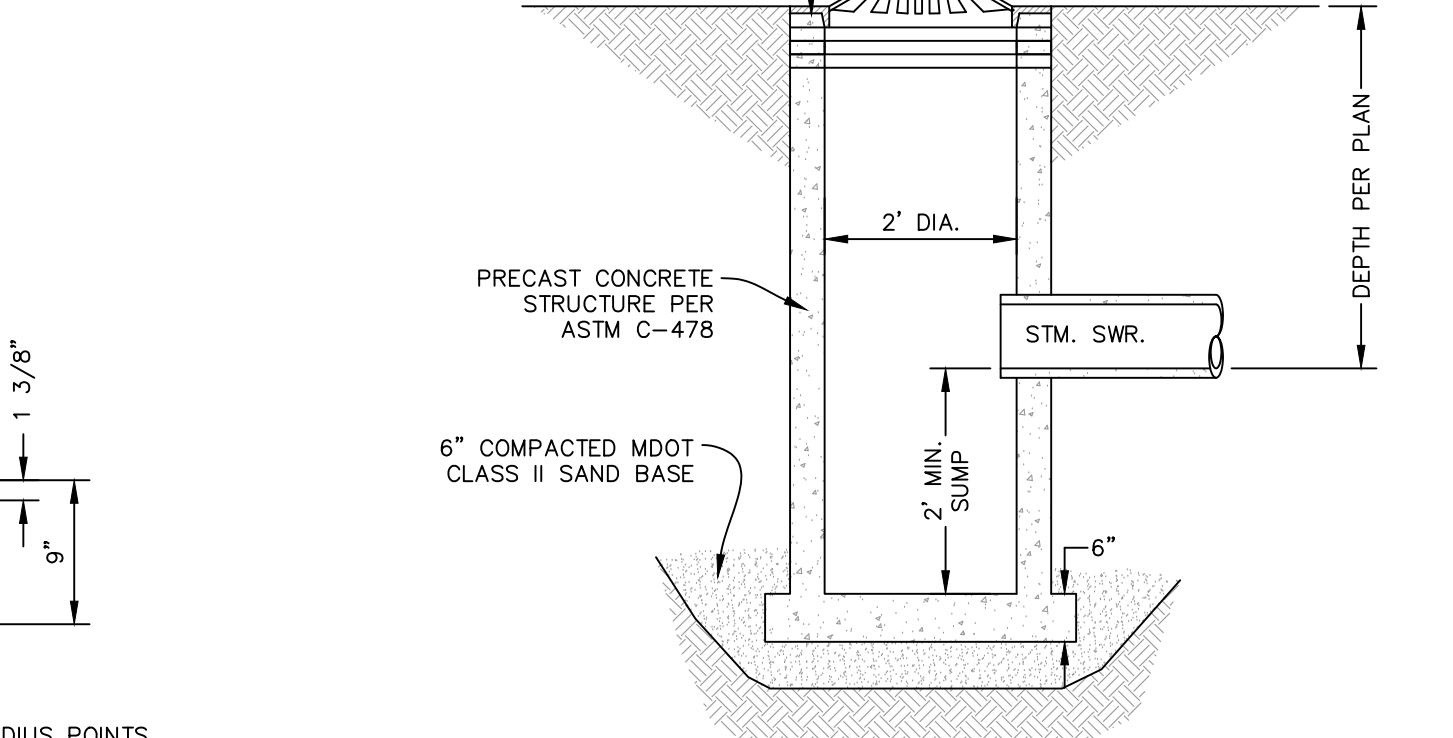
SILT SACK
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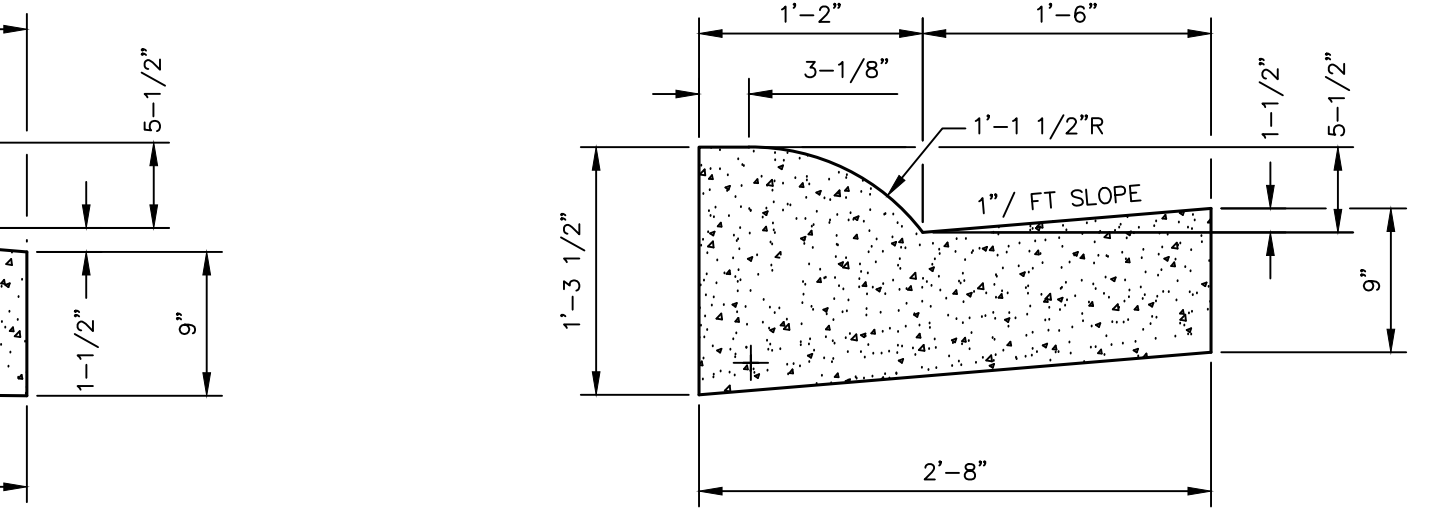
18" RISER W/SHUT OFF VALVE
NO SCALE



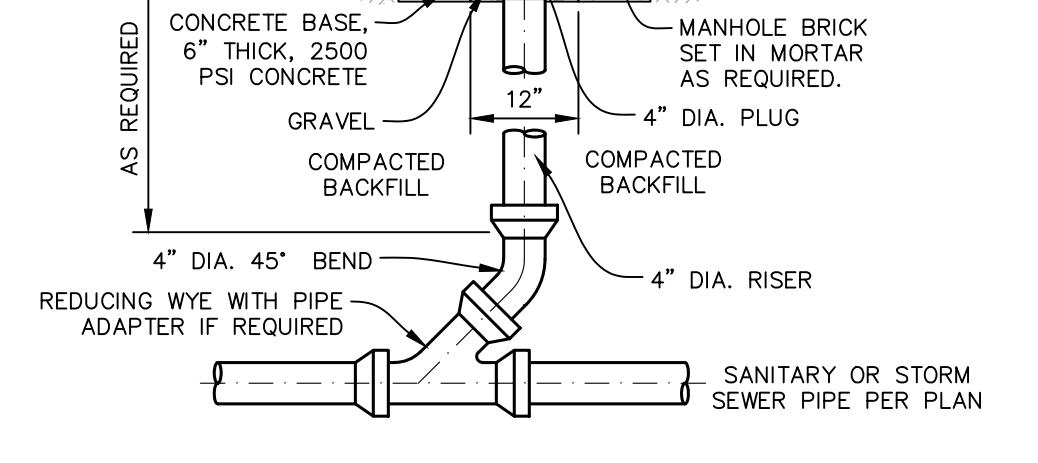
CLASS B PIPE BEDDING
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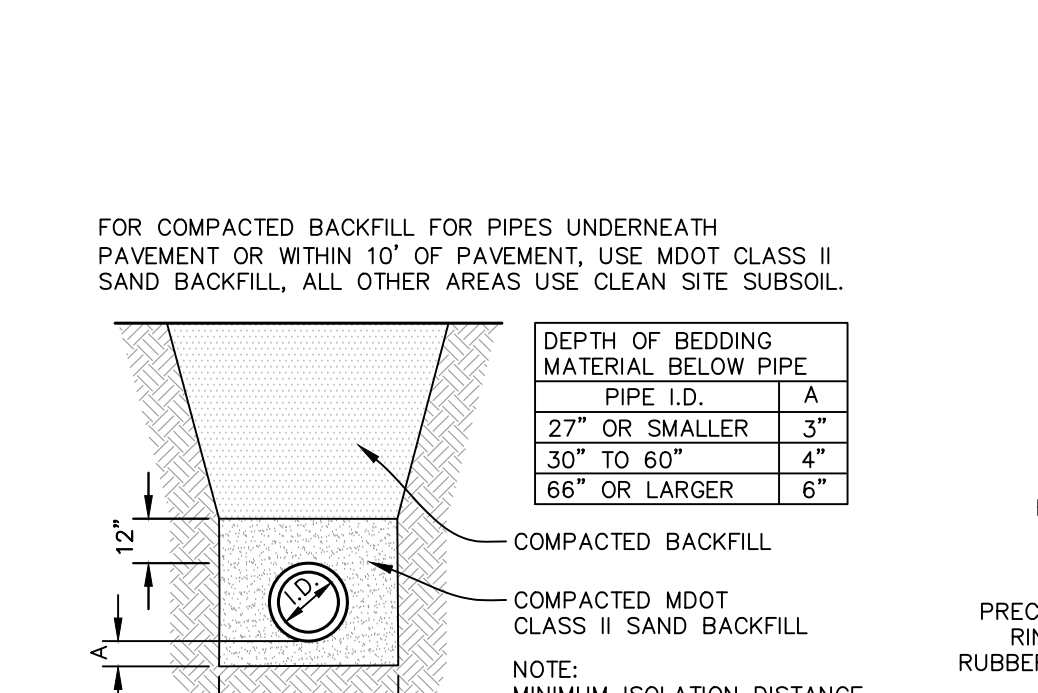
24" CATCH BASIN
NO SCALE



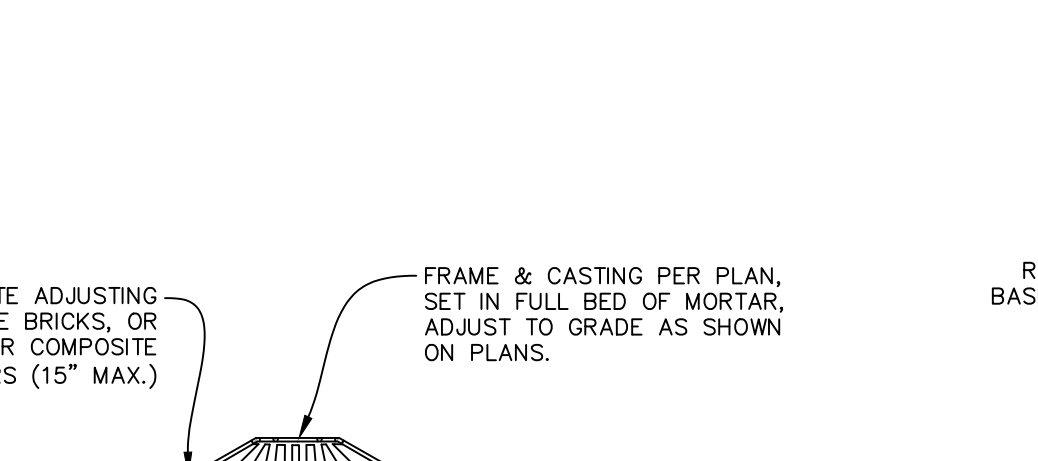
CURB & GUTTER - MDOT DETAIL B2
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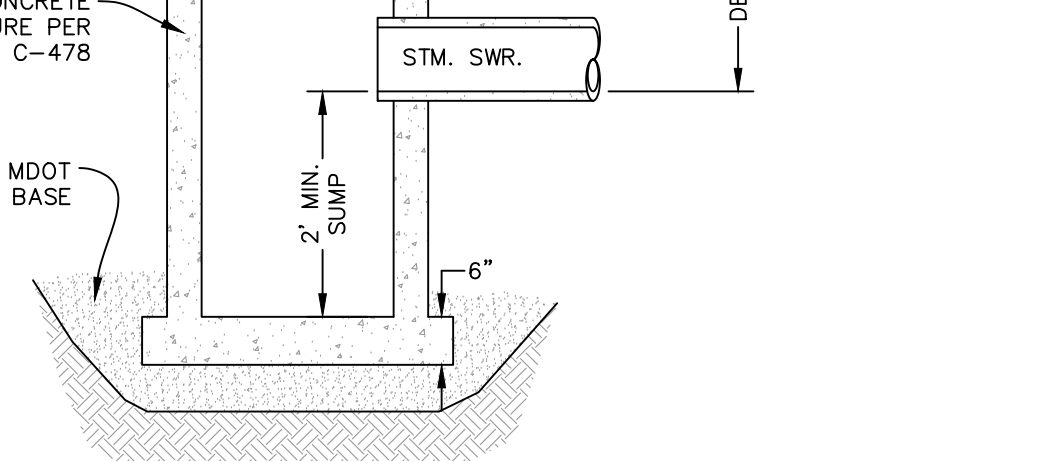
STORM CLEANOUT
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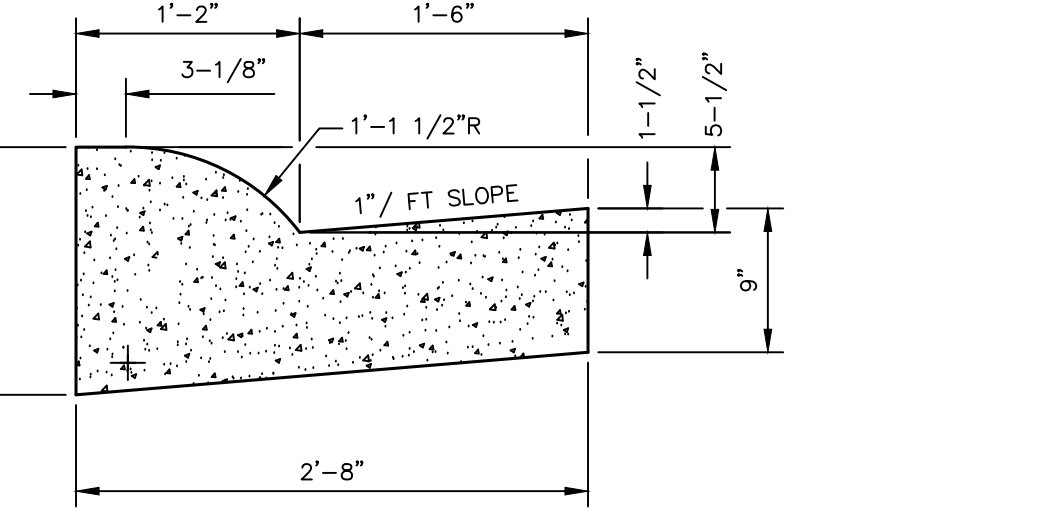
18" RISER W/SHUT OFF VALVE
NO SCALE



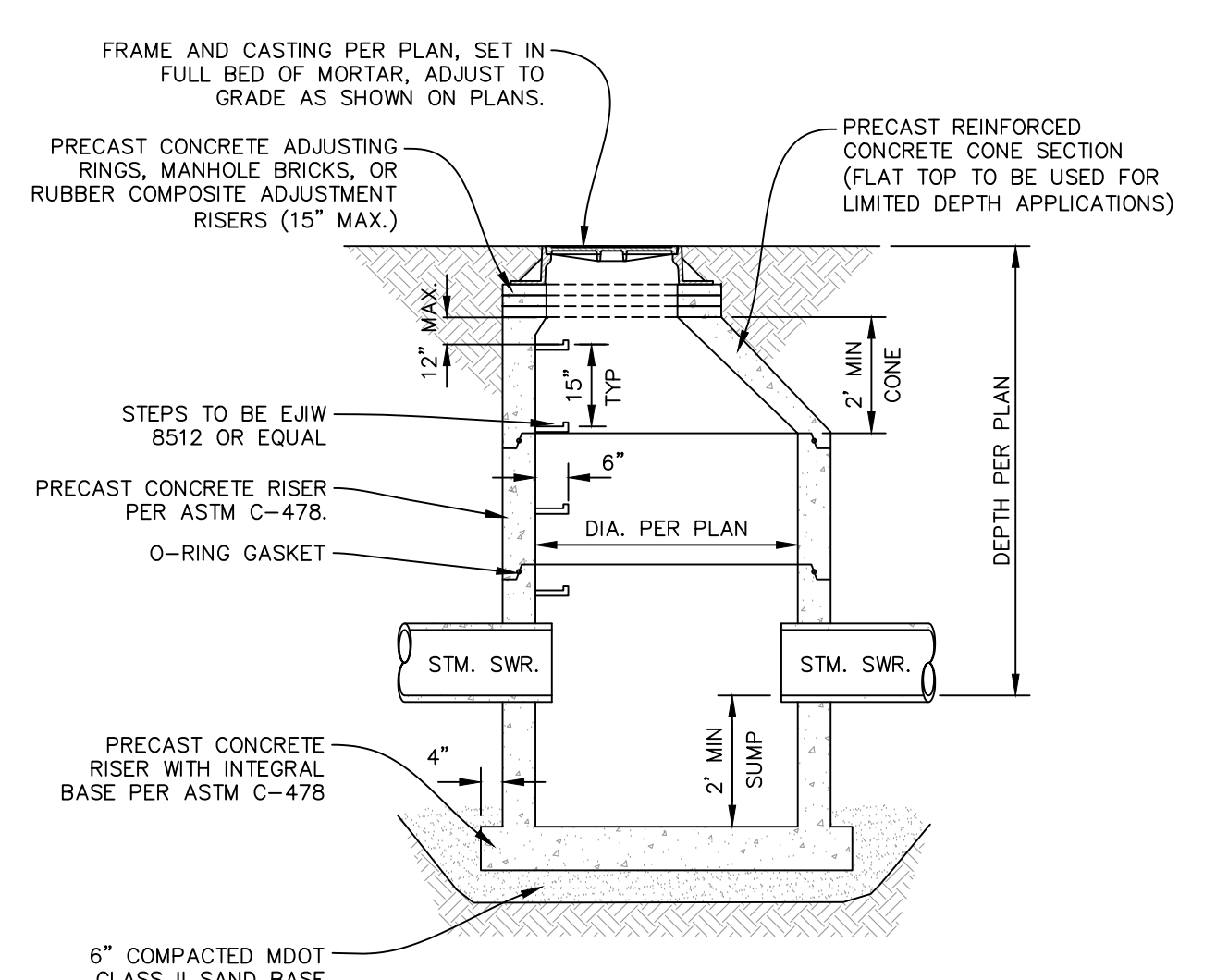
STORM MANHOLE W/OIL SEPARATOR HOOD
NO SCALE



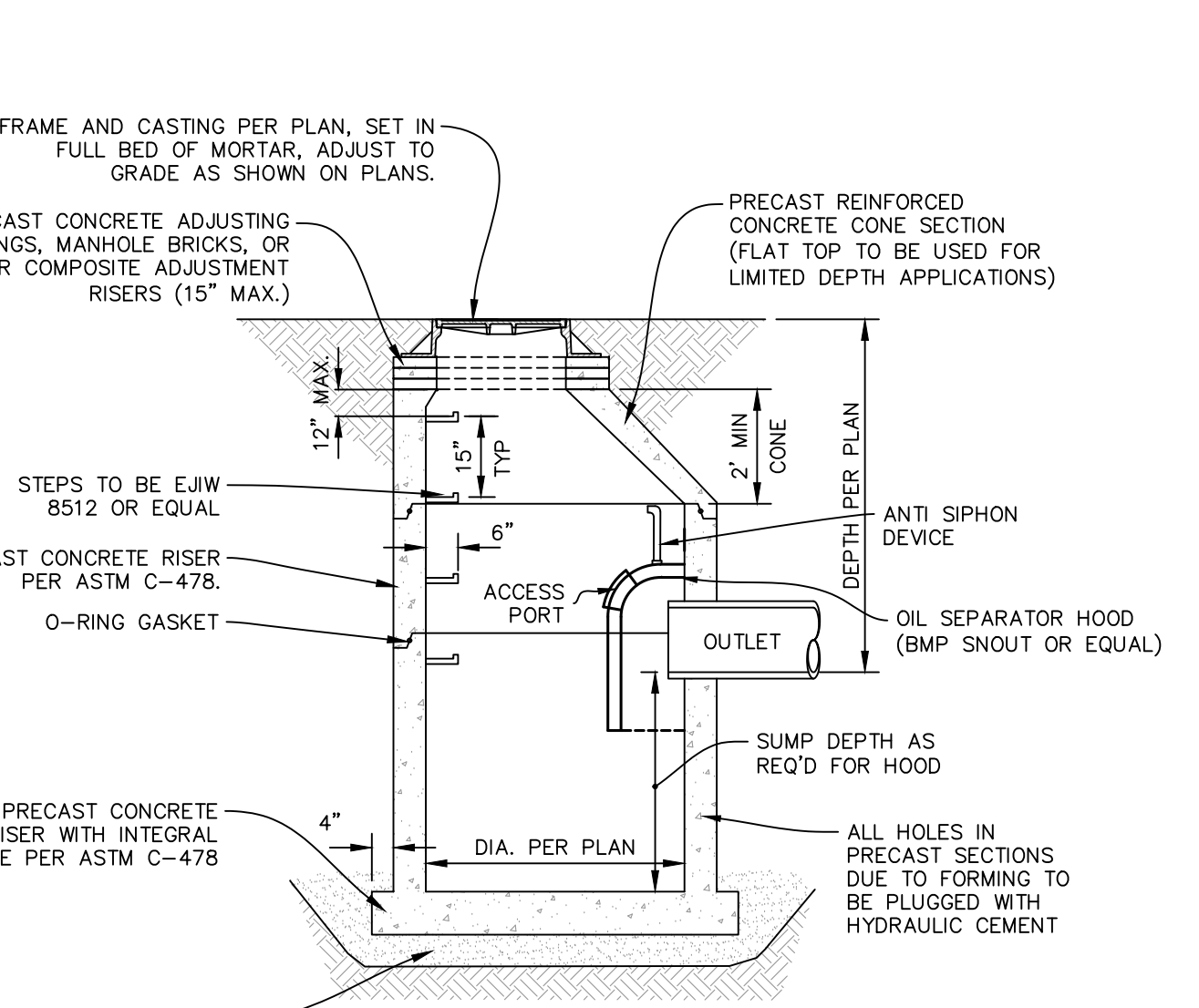
24" CATCH BASIN
NO SCALE



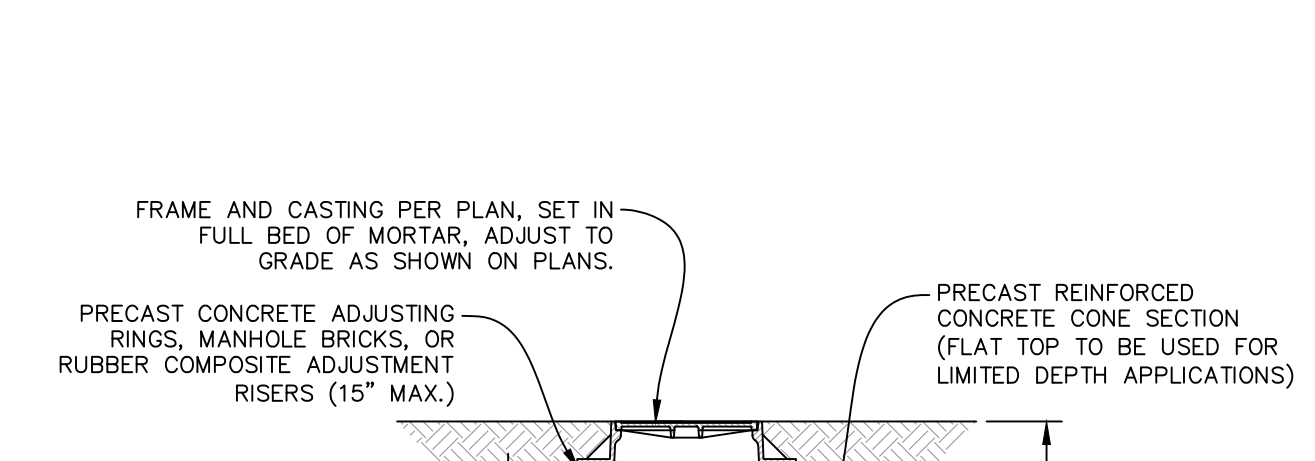
STORM MANHOLE
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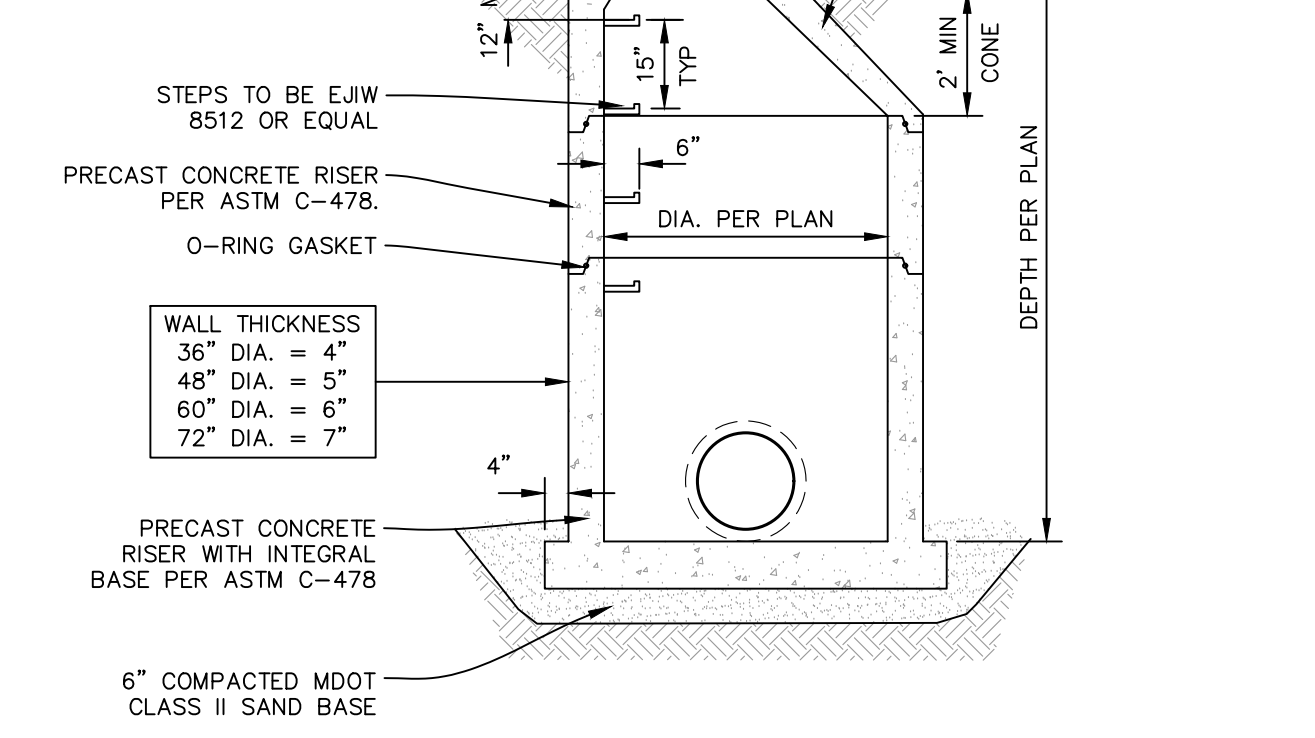
CATCH BASIN
NO SCALE



STORM MANHOLE W/OIL SEPARATOR HOOD
NO SCALE



STORM MANHOLE
NO SCALE



STORM MANHOLE
NO SCALE

ISSUED FOR APPROVAL

DRIESENGA & ASSOCIATES, INC.
 Engineering • Surveying • Testing
 1460 WHITEHALL ROAD, SUITE C
 MUSKEGON, MICHIGAN 49445
 Kalamazoo, MI - 269-544-1455
 Holland, MI - 616-396-0255
 Grand Rapids, MI - 616-249-3800
 Detroit, MI - 616-336-0255

REVISIONS

NO.	DESCRIPTION
1	ISSUED FOR SITE PLAN APPROVAL 2017-07-12

WESCO #9 (PLAINWELL) IMPROVEMENTS
 CITY OF PLAINWELL, ALLEGAN CO.
 WESCO, INC.
 SEC. 30, TOWN, RIW
 1460 WHITEHALL ROAD, SUITE C
 MUSKEGON, MICHIGAN 49445

Designed By: JMT
 Drawn By: AQA
 Checked By: _____ Date: _____
 Plot: _____
 Scale: 1"=20'
 Date: 07-12-2017
 Job No.: 1710060.1A
 Sheet No.: _____
C-501
 7 of 8



July 17, 2017

Ms. Denise Siegel
Community Development Manager
City of Plainwell
Planning & Zoning Department
211 N. Main Street
Plainwell, MI 49080

**Re: Wesco #9 – 551 W. Allegan Street: Site Plan
Response to Review Comments for Site plan approval**

Dear Ms. Denise:

We are submitting a revised set of civil engineering drawings for the above referenced project. D&A and Wesco Inc. met with City of Plainwell DPW Superintendent Rick Updike on July 5, 2017, to discuss the possibility of eliminating the proposed underground storm water detention basin. Following our meeting with the city DPW, new revisions to the site plan have occurred as listed:

- The proposed underground detention basin has been eliminated per agreement at the DPW meeting.
- Revisions to proposed storm sewer system occurred to reflect changes in storm management.
- Proposed site grading was also revised following the update to the storm water management system.
- New service door ramp is being proposed east of the existing Wesco Store.

In response to the site plan review comments from Maxwell Dillivan with Williams & Works on June 22, 2017, see below indicated in italicized font below each comment

1. Provide outstanding checklist items.

The site plan has been revised to adhere to the city of Plainwell zoning ordinance requirement per Section 53-128 B & C.

2. Revise site plan to include an accessory structure to be compliant per Section 53-105 E.

New 6'x10' accessory structure is proposed to be compliant per Section 53-105 E and it's indicated on sheet C-101.

3. Demonstrate proposed parking for the site is sufficient to handle the parking demand. A waiver may be considered if Planning Commission feels provided parking is sufficient.

As indicated on the site notes on sheet C-101 additional parking is provided on adjacent parcel through agreement between Wesco and Harding's Market.

4. Provide method, hours, and type of vehicle used for delivery of products and merchandise to be sold inside the main gas station building. A waiver may be considered if Planning Commission does not feel a loading space is required.

A Loading/unloading note is place in the site notes table on sheet C-101.



Mr. Lou Canfield
CITY OF GRAND RAPIDS – DEVELOPMENT CENTER
January 31, 2017
Page 2 of 2

5. Provide landscaping per Planning Commission requirements.
A designated "Landscape Area" is provided and it's indicated on page C-101 to meet the city of Plainwell requirements. Due to site limitations and required space for vehicular movements, pump canopy, underground tanks, etc, no other space is available for landscaping.

6. Secure approval from the Fire Department and City Engineer.
It is our understanding that you are in the process of securing approval from the Fire department and City Engineer.

Please feel free to contact me at (616) 396-0255 or alvina@driesenga.com if you have any questions. Thank you.

Sincerely,

DRIESENKA & ASSOCIATES, INC.

Alvin Aquino
Staff Engineer

enclosure

pc: Stacey Whalen – Wesco Inc. (via email only)
File

N:\Holland\Projects\2017\1710060.1A Wesco-09 (Plainwell)\docs\Municipal-Zoning Info & Permits\Response Letter To City Per Site Plan Comments 2017-07-17.docx

CITY OF PLAINWELL



PROJECT / SITE PLAN REVIEW FORM

Rev. 8/2005

Today's Date: 6/22/17

Parcel Number: 55-340-004-00

Project Site Address: 551 W. Allegan

Owner(s) w/Contact Information: Wesco, Inc. 1460 Whitehall Rd. Muskegon, MI 49445

Contractor(s) w/Contact Information: Accurate Excavators, LLC 2821 Central Rd. Muskegon, MI 49445

Current Zoning: C-2

Wellhead Protection/Flood Hazard District? NO/NO

Description of Proposed Project: Replacement of existing fueling canopy and dispensers, construction of new driveways, improvements of existing pavements, and replacement of existing retaining wall.

Dispenser Rebranding is noted on sheet C-502. Is that possible without replacing existing underground storage tanks? The legend on sheet G-002 shows identical graphics for existing and proposed tanks. That graphic is not apparent on sheet G-002. Sheet 1 of 1 and sheet CD-101 use the existing and proposed tank graphic. C-102 shows a proposed Triton Underground Storage Chamber. Sounds like a tank but it does not have a proposed tank graphic. Please explain what a Triton Underground Storage Chamber is. Are new gasoline storage tanks a part of this project? A cover sheet explaining the project should accompany plans that are this complicated.

1. Is the Project a Permitted Use? YES If No, Is Proposed Use a Permitted Use After Special Approval?

2. Have All The Necessary Copies Of The Proposed Project Been Submitted (PDF Format)? YES

3. Zoning Permit has Been Completed? Yes

4. Is the Site Plan Accompanied By:

- Legal description- YES
- Gross land area with north point- NO (missing gross land area)
- Zoning classification- YES
- Zoning and land use of abutting lots, w/structures and improvements indicated- YES
- Name and address of person preparing the site plan- YES
- Scale- YES
- Structure location(s)- YES
- Dimensions of lot and property lines- YES
- Location of all structures on subject and abutting properties- YES
- Location of each proposed structure, w/use(s), w/number of stories, gross building area- YES
- Distances between structures and lot lines, setback lines- NO (setback lines not shown)
- Occupancy type-
- Fire exits- NA to this site plan

5. Parking (and Paving)

- Proper number of parking spots/handicap? No (6 spaces; no barrier-free spaces provided; 15 required for pumps plus employee and 1 for every 75 SF devoted to retail) [PC can recommend modifications to parking req's; Section 53-175]
- Location of loading docks/zone? Unknown; no loading zone shown [Section 53-179] What type of truck? Hours? Applicant should provide information. Loading zone may be waived if applicant demonstrates a loading zone is unnecessary.

- Adequate loading space? NO, 1 required [Section 53-179] Non-conforming but proposal is not changing the nature of the use in this regard. Applicant to demonstrate hours, size of trucks, and no adverse effects.
- Asphalt or gravel requirement met? YES, concrete and asphalt proposed

6. Landscaping

- Location and volume meets requirement? [Section 53-124 B]
 - Minimum 15% total lot area: NO;
 - One tree or shrub per 1,000 SF + one tree for every 1,500 SF of landscaped area: NO
 - Min. 33% of req. landscape area located between any building and street: NO
 - Site is in non-conformance with the zoning code.

7. Lighting

- Exterior lighting kept substantially on property? UNKNOWN; Lighting proposed installed onto canopy covered and tilted down toward interior of site.
- Appears to be flush-mounted, cut-off, not shining on adjacent properties (recommend submittal of photometric plan)

8. Traffic Flow (vehicular and pedestrian)

- Driveway permit needed? YES
- Does traffic circulation provide safe vehicular and pedestrian flow? YES (traffic circulation improved by delineating ingress/egress points along Prince St.)
- Public safety vehicle access? YES
- Fire lanes needed? Fire Chief review required / According to Bill No not needed

9. Storm Water Retention

- Location of proposed storm collection area shown? YES, catch basin
- Adequate size? City Engineer review required? YES

10. Dumpster

- Location and screening? Located as to not conflict with off-street parking. Material and height meets standard [Section 53-126]

11. Water and Sewer Lines (hookups)

- Will permits be needed? NO
- Size and location of water connections/meter(s)?
- Is a backflow preventer required? Yes, existing
- Size and location of sewer connections? 4" east of store
- Hydrant location: w/in MDOT ROW adjacent to site on sidewalk
 - In front of business
 - #521, #517 behind building SE corner Union at Prince St

12. Noise, Odor, Particulate, Vibration, Combustible or Hazardous Material Concerns: N/A

13. Signage Plan

- Describe plan: Master sign plan submitted? COMPLIES. Two (2) LED fuel price sign installed on canopy (6' x 3'). Vinyl "Wesco" sign (6' by 3'). Existing gas price pole sign located near the corner of Prince St and Allegan St will remain. [Section 52-10 D. 1]

14. Outside Storage

- Will outside storage be required? NO
- Proper screenage and distances met? N/A

15. Is Minimum/Maximum Lot Width Requirement Met? N/A

16. Is Minimum/Maximum Lot Area Requirement Met? N/A

17. Is Minimum/Maximum Height Requirement Met? YES

18. Setback Requirements – YES

- Front – N/A (none provided)
- Rear – N/A
- Side – 10 feet

19. Phase Construction (if applicable) YES – 3 Phases

- Description of each phase:
 - Phase 1 – Removal and replacement of concrete, dumpster, sidewalk, and brick retaining wall along the western edge of the site and around the outside of the existing building.
 - Phase 2 – Removal and replacement of gas pump canopy, fuel dispensers, concrete, and fuel tanks.
 - Phase 3 – Finish repaving of site with concrete

20. Fire Suppression Considerations (if applicable)

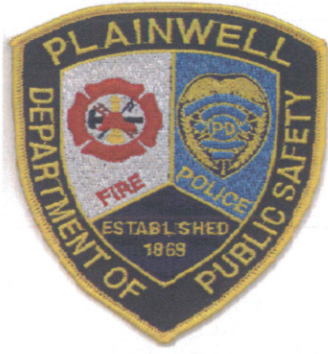
- Is sprinkler needed or recommended- *No*
- Fire Pump needed (3 stories or more)- *No*

Rick

Bill

Denise

Williams and Works /Max (Highlighted)



Plainwell Department of Public Safety

June 2017 Monthly Report



Submitted By: Director Bill Bomar

A handwritten signature in blue ink, appearing to be "B.B." or similar initials.



June 2017 Report Summary

Community Events:

There were two parades back to back, a 5K foot race, along with the festival activities this month which we were heavily involved in. All of our activities involved great opportunities for great public relations. All of the officers involved received abundant support from the community. Many of the officers received thanks from the public as they were performing their duties.

Training:

This month's training was scheduled for Evidence Tech, Hand Gun Qualifications, and Use of Force Review. The fire training and part of the police training were canceled due to the festival schedule.

Foot Patrol

The officers completed 33 hours of foot patrol this month that included the festival schedule. The officers had hundreds of citizens' contacts just during the festival schedule alone.

Traffic Issue:

There were many traffic issues; most had to do with the added traffic due to the festival.

Notable Incidents:

On June 14th we responded to a basement fire at 505 Allegan Street. During the incident a Public Safety Officer had a serious medical issue. Officers performed CPR, and the PSO was transported to Bronson Hospital. The Officer is currently recovering from the incident. The fire was extinguished with minimal damage to the residence. We were assisted by Gun Plain and Otsego Fire Departments.

Investigations:

There were several ongoing investigations this month. The most serious was a case of domestic abuse involving strangulation and assault over a three day period where the victim was held against her will. The suspect was arrested and charged with Unlawful Imprisonment, CSC 3rd, Felonious Assault, and Strangulation.

Miscellaneous:





PLAINWELL PUBLIC SAFETY

Police, Fire and Medical First Responder Services

MONTHLY REPORT

June 2017

Prepared by Director Bill G. Bomar

Plainwell Department of Public Safety

Scheduled Hours By Activity for June 2017

The categories listed below are based on law enforcement related activities and the hours that scheduled road patrol personnel spend in the 4 major areas.

Total Hours
1,003

Percentage of Total Hours

TOTAL ROAD PATROL HOURS SCHEDULED FOR THE MONTH

The Hours officers are scheduled for road patrol or other uniformed functions. These are fixed shifts which generally carry assigned duties.

Totals of all the below mentioned areas.

HOURS SPENT INVESTIGATING OR HANDLING CRIMINAL COMPLAINTS

106 10.58%

The Hours Scheduled for criminal investigations of complaints that are in violation of a criminal law that an individual could be arrested and jailed for.

Examples include: Burglaries, Robberies, Drunk Driving, All Sex Offenses, Alcohol Offenses, Larcenies, Etc.

HOURS SPENT INVESTIGATING OR HANDLING NON-CRIMINAL COMPLAINTS

222 22.12%

The Hours Scheduled for Calls for Service or Complaints that require investigation but are not criminal in nature.

Examples include: Auto Accidents, Accidental Fires, Traffic Citations, Property Inspections, Etc.

HOURS SPENT ON SUPPORT OR PERIPHERAL ACTIVITIES

394 39.28%

The Hours Scheduled for required duties however are not criminal or non-criminal in nature and are supporting functions.

Examples include: Report Writing, Court, Directed Patrol, Foot Patrol, On Duty Training, Transport of Paperwork to the Court, Evidence to the Crime Lab, Etc.

TOTAL UNOBLIGATED PATROL HOURS

281 28.03%

The Hours of Scheduled Road Patrol left over that officers are not assigned to an activity or working on a complaint.

Examples include: General Preventive Patrol, Building Security Checks, Etc.

Note: This also includes any break time the officers take during their shift.

TOTAL HOURS OBLIGATED TO DUTIES, COMPLAINTS, INVESTIGATIONS, ETC.

722 71.97%

It is recommended by the International Association of Chiefs of Police (IACP) that no more than 65% to 70% of an officers time on duty, be obligated to complaints, investigations, activities or assigned responsibilities. The rationale behind this is to assure that officers are available for emergencies without unreasonable delay and provide for preventive and traffic patrol duties.

Plainwell Department of Public Safety

Complaints/Activities for June 2017

ARRESTS

CUSTODIAL ARRESTS	7	<i>An individual taken into custody for a criminal offense and jailed for that offense.</i>
ARREST COUNTS	19	<i>Criminal complaints or cases cleared by the custodial arrest or issuance of a warrant(s).</i>

TRAFFIC ENFORCEMENT & CITATIONS

HAZARDOUS CITATIONS	7	<i>Uniform Law Citations issued by officers to individuals for moving traffic violations. (Drag racing, Speeding, etc.)</i>
NON-HAZARDOUS CITATIONS	6	<i>Uniform Law Citations issued by officers to individuals for NON-moving traffic violations. (Registration, Equipment, Etc.)</i>
DRUNK DRIVING CITATIONS	0	<i>This is an activity that we specifically monitor that would normally be considered a hazardous citation.</i>
PARKING CITATIONS	0	<i>Citations issued in violation of city ordinance. This would include Overnight Parking, Time Limitation Parking, etc.</i>
VERBAL WARNINGS	13	<i>Traffic enforcement where no citation was issued but warnings were given.</i>
TOTAL TRAFFIC CITATIONS/WARNINGS	26	

COMPLAINTS

ORIGINAL DISPATCH COMPLAINTS	235	<i>Complaints that are call in or the officer is dispatched to by Allegan County Central Dispatch (911) or our business office.</i>
PATROL INITIATED COMPLAINTS	18	<i>Complaints observed by the officer while on patrol or came to their attention by personal observation.</i>
TOTAL COMPLAINTS	253	

OTHER ACTIVITIES

MOTORISTS ASSISTS	89	<i>Motorist contacts caused by mechanical breakdown or similar problem.</i>
PROPERTY INSPECTIONS	0	<i>Checks of homes or business specifically requested by a home or business owner.</i>
MOTOR VEHICLE ACCIDENTS	6	<i>Total motor vehicle accidents both on public roads or private property.</i>
COMMERCIAL BUILDING SECURITY CHECK	5,737	<i>Nightly security inspections of business' conducted by officers to assure windows and doors are locked.</i>
FOUND UNSECURED	2	<i>The number of business' found unlocked or unsecured.</i>

Classification of Crimes Reported

File Class	CRIMES AGAINST PERSON	June	Year to Date
900	Murder and Non-Negligent Manslaughter	0	0
1000	Kidnapping	0	0
1100	Sexual Assault	0	5
1200	Robbery	0	1
1300	Aggravated & Non-Aggravated Assault	6	30
PROPERTY CRIMES			
2000	Arson	0	0
2100	Extortion	0	0
2200	Burglary	0	8
2300	Larceny	1	30
2400	Motor Vehicle Theft	0	0
2500	Forgery/Counterfeiting	0	0
2600	Fraudulent Activities	1	12
2700	Embezzlement	0	0
2800	Stolen Property - Buying, receiving	0	0
2900	Damage to Property	6	16
3500	Violation of Controlled Substances Act	0	5
MORALS/DECENCY CRIMES			
3600	Sex Offenses (Other than Sexual Assault)	0	0
3700	Obscenity	0	0
3800	Family Offenses	0	1
4100	Liquor Violations	0	3
PUBLIC ORDER CRIMES			
4800	Obstructing Police - Offenses Which Interfere with Investigations	0	0
4900	Escape/Flight - Fleeing and Eluding a Officer's Custody	0	0
5000	Obstructing Justice	4	29
5200	Weapons Offenses	1	5
5300	Public Peace	4	30
5400	Traffic Investigations - Any Criminal Traffic Complaints	5	27
5500	Health and Safety	1	16
5600	Civil Rights	0	0
5700	Invasion of Privacy	2	10
6200	Conservation Law Violation	0	0
7300	Miscellaneous Criminal Offense	0	0
GENERAL NON-CRIMINAL			
9100	Juvenile/Minor/School Complaints	0	0
9200	Civil Custody	0	0
9300	Traffic Non-Criminal (Reports Only - Does not include Citations Issued)	15	69
9400	False Alarm Activation	8	27
9500	Fires (Other than Arson)	4	15
9700	Accidents, All Other	0	9
9800	Inspections, Unfounded FIRS	35	215
9900	General Assistance (All Except Other Police Agencies)	77	361
9911 & 9912	General Assistance (Other Police Agencies)	54	277
FIRS	Medical First Responder	29	156



June Reports for Plainwell Department of Public Safety

PRIORITY 1 ASSISTS OUTSIDE OF JURISDICTION

The Plainwell Department of Public Safety was dispatched to 54 calls for assistance outside the city limits of Plainwell by Allegan County Central Dispatch.

These calls were classified as priority 1 assists.

Fire Suppression/Call Out Incident Report

Date	Dispatch Time	Arrival Time	Location	Incident Type	Actions taken	Apparatus	PSO	POC
06/09/17	1656	1703	120 Starr Road	Medical	Medical	E-11	1	4
06/11/17	1418	1423	1242 Keith Street	Lift assist	Lift assist	E-63	1	4
06/14/17	2213	2222	505 Allegan Street	Structure fire	Extinguish	E-11, E-17, E-63	6	6
06/18/17	0738	0746	622 Allegan Street	Medical	Medical	Patrol vehicle	2	4
06/25/17	1244	1246	404 W. Bridge Street	Wire down	Secure area, notify other	E-11, E17	2	3

Calls for Service at Plainwell Schools

Plainwell High School: 2
684 Starr Road

Gilkey School: 5
707 S. Woodhams Street

Plainwell Middle School: 2
720 Brigham Street

Starr Elementary: 0
601 school Drive

Early Childhood Development: 0
307 E. Plainwell Street

Renaissance School: 0
422 Acorn Street

Admin, Maintenance & Bus Garage: 0
600 School Drive

Minutes
Plainwell DDA, BRA and TIFA:
July 11, 2017

1. Call to Order - Meeting called to order at 7:32 a.m. by Rizzo
2. Pledge of Allegiance
3. Roll Call
Members Present: Jim Turley, Paul Rizzo, Zelda Schippers, & Tracee Dunlop, Mayor Rick Brooks, Adam Hopkins, Erik Wilson & EJ Hart
Excused: Nick Larabel
4. Approval of Minutes of 06/13/2017 minutes
5. General Public: None
6. Chairman's Report: None
7. BRA Action Items
 - A. **Motion to accept accounts payable for June of \$8,325.15 was made by Hopkins and seconded by Rizzo. Motion carried.**
 - B. Update on SKEO report was given by Wilson. Larabel and Wilson reviewed the report that generated technical questions for the cleanup. Weyerhaeuser is finishing the design for clean-up. Next steps will be for Larabel and Wilson to create a memo addressing the technical questions to Weyerhaeuser.
8. DDA Action Items
 - A. **Motion to accept accounts payable for the month of June of \$1,509.67 was made by Schippers and seconded by Dunlop. Motion carried.**
9. TIFA Action Items
 - A. **Motion to accept accounts payable for the month of June of \$111.88 was made by Hart and seconded by Dunlop. Motion carried.**
 - B. The location and look of a Hiring Now sign at the entrance of the Industrial Park was discussed. Placement of the sign will be next to the Entrance Sign; Look of the sign, see if it can correspond with the look of entrance sign. **A motion by Rizzo and supported by Turley was made to allow the Community Development Manager to spend up to \$700 on the Hiring Now Sign.**
10. Communications:
6/12/17 and 06/26/17 Council Minutes and Financial Report/summary as of 06/30/17 was approved and placed on file.
11. Public Comments: None
12. Staff Comments: Ace Hardware, \$40,000 of improvements for paving Bannister was approved at Council. City is splitting the cost of the phase 2 Sampling with Ace Hardware. Sweetwaters is working on their site plans; a retention pond will be required.
Member Comments: Hart commented on how nice the flowers look in Plainwell and how well the Plainwell Days Festival went.

Adjournment: A Motion by Rizzo supported by Wilson to adjourn the meeting at 8:26 a.m. was made and passed.

Submitted by Denise Siegel, Community Development Manager

DRAFT

**CITY OF PLAINWELL
MINUTES
Planning Commission
July 19, 2017**

1. Call to Order at 7:00 p. m. by Chair Lubic
2. Pledge of Allegiance was given by all present.
3. Roll Call: Present: Jay Lawson, Lori Steele, Diana Lubic, Jim Higgs, Chris Haas, Gary Sausaman
Excused: Chris Slinkman
4. Approval of Minutes – 6/07/17
Higgs motioned to approve minutes as received seconded by Sausaman. Minutes approved.
5. Chairperson’s Report:
None
6. New Business:
 - A. **Wesco Site Plans** – presented by John Tenpas of Driesenga & Associates, Inc. Removal and Replacement of existing fueling dispensers and 1,800 sq. feet canopy. Construction of new curbs and driveways
Repaving of the site
Replacement of existing retaining wall
Installation of dumpster enclosure and accessory building
Motion to approve the site plan for recommendation to the City Council was made by Higgs and seconded by Sausaman.
 - B. **Sweetwater Site Plans** – presented by Rick Schell & Chris Olson
Clearing and excavation of the site
Construction of a 4,125 sq. foot building
Landscaping
Construction of driveways (2), curbing, and parking lot (52 spaces)
Construction of a storm water retention area.
City Manager Wilson explained that the city is responsible for 90’ of road (extension of Prince Street west of M89) and the 4-way traffic light. A USDA grant in the amount of \$65,000 was received for the road to extend 300’ onto the Mill Site, thus allowing a paved access into Sweetwaters from both driveways entrances.
Motion to approve the site plan, excluding the signage plan, for recommendation to City Council was made by Sausaman and seconded by Higgs.
7. Old Business:
The closing of the Harding’s Building took place on July 18, 2017.
8. Public Comment:

None

9. Reports and Communications:

A. Accepted the 5/22, 6/12, 6/26/17 Council Minutes. **Minutes were accepted as presented.**

10. Staff Comments:

None

11. Commissioner Comments:

None

12. Adjournment:

The meeting was adjourned at 8:00 p.m.

Minutes submitted by Denise Siegel, Community Development Manager



"The Island City"

MEMORANDUM

211 N. Main Street
Plainwell, Michigan 49080
Phone: 269-685-6821
Fax: 269-685-7282

TO: Erik J. Wilson, City Manager
FROM: Brian Kelley, City Clerk/Treasurer
DATE: July 21, 2017
SUBJECT: Accounts Payable Register

ACTION RECOMMENDED: The City Council should consider approving the Invoice Approval Register and the Off-Cycle Payment Authorization reports, as presented.

The City Council reviews and approves the Accounts Payable total at each Council Meeting, which includes an Invoice Approval Register and an Off-Cycle Payment Authorization report. The Invoice Approval Register lists the regular billings issued to the city and consists, primarily, of paper checks. The Off-Cycle Payment Authorization report includes automated clearing house (ACH) payments, paper checks and electronic funds transfer (EFT) payments.

The attached documents cover the period from July 3 through July 31, 2017 and includes the following breakdown:

Paper checks in regular bill listing:	\$ 45,570.91
Other paper checks issued off-cycle:	120.00
ACH payments for property taxes:	75,019.65
ACH payments for city business:	-
EFT payments (auto-pay payments):	27,431.09
Total Accounts Payable	<u>\$ 148,141.65</u>

07/19/2017 INVOICE APPROVAL BY INVOICE REPORT FOR CITY OF PLAINWELL
 EXP CHECK RUN DATES 07/25/2017 - 07/25/2017
 BOTH JOURNALIZED AND UNJOURNALIZED
 BOTH OPEN AND PAID

Vendor Code	Vendor Name	Description	Amount
002439	AMERICAN LEGAL PUBLISHING CORPORATI 0117066	PLAINWELL ORDINANCES	266.55
TOTAL FOR: AMERICAN LEGAL PUBLISHING CORPORATI			266.55
000461	BOB'S HARDWARE 44698	KENYON PARK IRRIGATION PARTS	5.23
TOTAL FOR: BOB'S HARDWARE			5.23
001423	BORGESS MEDICAL CENTER 128778C10634	SEASONAL PHYSICAL/PRE-SCREEN	93.00
TOTAL FOR: BORGESS MEDICAL CENTER			93.00
003097	CAPITAL EQUIPMENT & SUPPLY 168598	MOWER REPAIR	250.52
TOTAL FOR: CAPITAL EQUIPMENT & SUPPLY			250.52
002365	C-COMM 17084	BATTERY FOR FIRE DEPT	42.00
	17087	FIRE DEPT BATTERY TESTING REPAIRS	104.50
TOTAL FOR: C-COMM			146.50
001925	CENTURYLINK JUNE 2017	JUNE 2017 LONG DISTANCE	3.27
TOTAL FOR: CENTURYLINK			3.27
002219	CLARK TECHNICAL SERVICES 179 B	JUNE 2017 COMPUTER SUPPORT	1,100.00
TOTAL FOR: CLARK TECHNICAL SERVICES			1,100.00
000009	CONSUMERS ENERGY 2017-06A	6/1/17 - 6/30/17 ELECTRIC BILLS	3,273.65
TOTAL FOR: CONSUMERS ENERGY			3,273.65
002142	CORRPRO WATERWORKS INC/AEGION 444690	INSPECTION OF TANK	850.00
TOTAL FOR: CORRPRO WATERWORKS INC/AEGION			850.00
001610	DALE W. HUBBARD, INC (CLEAN EARTH) 2-10698	WR ANNUAL CLEANING OF TANKS & LIFT STATION	4,915.88
TOTAL FOR: DALE W. HUBBARD, INC (CLEAN EARTH)			4,915.88
000295	DAN NEESON 16/17 SHOE ALLOWANCE 16/17 SHOE ALLOWANCE		193.35
TOTAL FOR: DAN NEESON			193.35
000166	FISHER SCIENTIFIC 2916735	WR	183.95
TOTAL FOR: FISHER SCIENTIFIC			183.95
000153	FLEIS & VANDENBRINK INC 46626	5/27/17 - 6/23/17 WR CONSULTING	888.05
TOTAL FOR: FLEIS & VANDENBRINK INC			888.05
002659	FONTAINE URBAN DESIGN LLC 2017-05	EPA COMMUNITY INPUT LETTER	625.00
TOTAL FOR: FONTAINE URBAN DESIGN LLC			625.00

002650	FUEL MANAGEMENT SYSTEM PACIFIC PRID		
	1718101	ALL PD GAS 6/30/17	477.58
TOTAL FOR: FUEL MANAGEMENT SYSTEM PACIFIC PRID			477.58

002281	HOME DEPOT		
	2017-06	JUNE 2017 STATEMENT	1,275.19
TOTAL FOR: HOME DEPOT			1,275.19

000203	HONEYTREE ARBORIST SERVICES		
	367	TREAT ASH TREES FOR ASH BORER	3,600.00
TOTAL FOR: HONEYTREE ARBORIST SERVICES			3,600.00

001815	JEFF GILLILAND		
	16/17 A SHOE ALLOWNC	16/17 A SHOE ALLOWANCE (BALANCE)	51.63
TOTAL FOR: JEFF GILLILAND			51.63

002818	JIM MARTIN TIRE		
	24534	SERVICE FOR FIRE TRUCK	120.00
TOTAL FOR: JIM MARTIN TIRE			120.00

001854	MODEL FIRST AID,SAFETY & TRAINING		
	117466	DPW MEDICAL/SAFETY SUPPLIES	233.13
TOTAL FOR: MODEL FIRST AID,SAFETY & TRAINING			233.13

004769	MOORE ELECTRICAL SERVICES INC		
	102508	INSTALL POWER TO CHLORINE BLDG	1,422.00
TOTAL FOR: MOORE ELECTRICAL SERVICES INC			1,422.00

002582	PLAINWELL REDI MIX - COSGROVE ENTER		
	6343	751 N MAIN ST	158.00
TOTAL FOR: PLAINWELL REDI MIX - COSGROVE ENTER			158.00

004221	R.W.LAPINE INC MECHANICAL CONTRACTO		
	50060853	APRIL & OCTOBER 2017 MAINTENANCE	653.32
TOTAL FOR: R.W.LAPINE INC MECHANICAL CONTRACTO			653.32

000042	RS TECHNICAL SERVICES		
	20042	NEW HORN FOR CL2 ALARM WR	825.43
TOTAL FOR: RS TECHNICAL SERVICES			825.43

002545	SAFE HARBOR CHILDREN'S ADVOCACY CEN		
	17-16	CHILD ADVOCACY 6/15/17	200.00
TOTAL FOR: SAFE HARBOR CHILDREN'S ADVOCACY CEN			200.00

000991	SAFETY SERVICES INC		
	7769	WR	107.55
TOTAL FOR: SAFETY SERVICES INC			107.55

000971	SUPERIOR SWEEPING SERVICE INC		
	26902	FY 16/17 SWEEPING CONTRACT	3,950.00
TOTAL FOR: SUPERIOR SWEEPING SERVICE INC			3,950.00

001536	WASHWELL-STADIUM DRIVE GROUP-SOAP		
	1835	JUNE 2017 PD DRYCLEANING	59.50
TOTAL FOR: WASHWELL-STADIUM DRIVE GROUP-SOAP			59.50

TOTAL - ALL VENDORS			25,928.28

INVOICE AUTHORIZATION

Person Compiling Report

I verify that to the best of my knowledge the attached invoice listing is accurate and the procedures in place to compile this invoice listing has been followed.

Insert Signature:

**Cheryl
Pickett**

Digitally signed by Cheryl Pickett
DN: c=US, st=Michigan, l=Plainwell,
o=City of Plainwell, ou=CoP, cn=Cheryl
Pickett, email=cpickett@plainwell.org
Date: 2017.07.19 11:25:42 -04'00'

Brian Kelley, City Clerk/Treasurer

I verify that I have reviewed the expenditures attributed to my department and to the best of my knowledge the attached invoice listing is accurate and complies with the City's purchasing policy.

Insert Signature:

Brian Kelley

Digitally signed by Brian Kelley
DN: c=US, st=MI, l=City of Plainwell,
o=Internet Widgits Pty Ltd, cn=Brian
Kelley, email=bkelley@plainwell.org
Date: 2017.07.20 15:02:03 -04'00'

Bryan Pond, Water Renewal Plant Supt.

I verify that I have reviewed the expenditures attributed to my department and to the best of my knowledge the attached invoice listing is accurate and complies with the City's purchasing policy.

Insert Signature:

Bill Bomar, Public Safety Director

I verify that I have reviewed the expenditures attributed to my department and to the best of my knowledge the attached invoice listing is accurate and complies with the City's purchasing policy.

Insert Signature:

Bill Bomar

Digitally signed by Bill
Bomar
Date: 2017.07.20
10:06:42 -04'00'

Rick Updike, Public Works Supt.

I verify that I have reviewed the expenditures attributed to my department and to the best of my knowledge the attached invoice listing is accurate and complies with the City's purchasing policy.

Insert Signature:

Erik J. Wilson, City Manager

I verify that I have reviewed the expenditures attributed to my department and to the best of my knowledge the attached invoice listing is accurate and complies with the City's purchasing policy.

Insert Signature:

Erik Wilson

Digitally signed by Erik Wilson
DN: c=US, st=Michigan, l=Plainwell,
o=City of Plainwell, ou=CoP, cn=Erik
Wilson, email=ewilson@plainwell.org
Date: 2017.07.21 12:59:28 -04'00'

07/19/2017 INVOICE APPROVAL BY INVOICE REPORT FOR CITY OF PLAINWELL
 POST DATES 07/24/2017 - 07/24/2017
 BOTH JOURNALIZED AND UNJOURNALIZED
 BOTH OPEN AND PAID

Vendor Code	Vendor Name	Description	Amount
002476	AARON BIRD	17/18 SHOE ALLOWANCE	158.99
TOTAL FOR: AARON BIRD			158.99
000461	BOB'S HARDWARE	45177 WELL #4 EXHAUST VENT REPAIR PARTS	13.16
		45297 WR	60.47
TOTAL FOR: BOB'S HARDWARE			73.63
002116	CHARTER COMMUNICATIONS (SPECTRUM)	0014163070917 7/19/17 - 8/18/17 DPS INTERNET/PHONE/TV	512.39
TOTAL FOR: CHARTER COMMUNICATIONS (SPECTRUM)			512.39
002391	CYBERMIND INC	NET-473986 7/1/17 - 8/1/17 WEBSITE FEES	49.95
TOTAL FOR: CYBERMIND INC			49.95
002030	DRUG SCREEN PLUS INC	17QTR3.1339 DRUG SCREENS JULY 2017	49.00
TOTAL FOR: DRUG SCREEN PLUS INC			49.00
002889	EJ USA, INC (EAST JORDAN IRON WOR)	110170050822 CASTINGS FOR THE FY 17/18 STREET PAVING PROJECT	8,290.52
TOTAL FOR: EJ USA, INC (EAST JORDAN IRON WOR)			8,290.52
000164	ETNA SUPPLY CO INC	S102245934.001 VALVE BOXES FOR H20 MAIN STREET PROJECT	1,356.00
TOTAL FOR: ETNA SUPPLY CO INC			1,356.00
000134	HAROLD ZEIGLER INC	266489 PD EXPLORER BRAKES/TIRE	420.43
TOTAL FOR: HAROLD ZEIGLER INC			420.43
000203	HONEYTREE ARBORIST SERVICES	375 GYPSY MOTH CONTROL/PRUNING @ PELL PARK	40.00
TOTAL FOR: HONEYTREE ARBORIST SERVICES			40.00
002301	JOYFUL CLEANING - SID TUBBS	878 JULY 2017 CLEANING	964.00
TOTAL FOR: JOYFUL CLEANING - SID TUBBS			964.00
001993	KERKSTRA PORTABLE RESTROOMS INC	109070 AIRPORT RESTROOMS FOR 4TH OF JULY 2017	785.00
TOTAL FOR: KERKSTRA PORTABLE RESTROOMS INC			785.00
002743	LERMA INC.	2017-08 J. SAUSAMAN 9/13/17 - 9/15/17 CONFERENCE	85.00
TOTAL FOR: LERMA INC.			85.00
000014	MICHIGAN GAS UTILIITIES CORP.	2017-07 6/08/17 - 7/11/17 GAS BILLS	1,127.26
TOTAL FOR: MICHIGAN GAS UTILIITIES CORP.			1,127.26
REFUND UB	MILLER JESSICA	07/19/2017 UB refund for account: 06-00092300-00	11.40
TOTAL FOR: MILLER JESSICA			11.40

004769	MOORE ELECTRICAL SERVICES INC		
	102509	WIRING CHLORINE PUMP	395.16
TOTAL FOR: MOORE ELECTRICAL SERVICES INC			395.16

002708	MORGAN BIRGE' & ASSOCIATES		
	28539	JULY 2017 PHONE MAINTENANCE	130.00
TOTAL FOR: MORGAN BIRGE' & ASSOCIATES			130.00

REFUND UB	OSTERBROCK, TOM		
	07/19/2017	UB refund for account: 04-00062000-00	57.43
TOTAL FOR: OSTERBROCK, TOM			57.43

000334	PLANNING & ZONING NEWS		
	2017-2018	NOV 2017 - OCT 2018	185.00
TOTAL FOR: PLANNING & ZONING NEWS			185.00

000964	RAPA ELECTRIC INC		
	S0121804	WR MOTOR	223.80
TOTAL FOR: RAPA ELECTRIC INC			223.80

004830	RICHMOND, MICHAEL J		
	2017-07	ASSESSING SERVICES	1,300.00
	2017-08	AUGUST 2017 ASSESSING	1,300.00
TOTAL FOR: RICHMOND, MICHAEL J			2,600.00

000897	SHERWIN WILLIAMS		
	0097805	WR PAINT	924.20
TOTAL FOR: SHERWIN WILLIAMS			924.20

002402	STEENSMA LAWN & POWER EQUIPMENT		
	446619	BLADE	159.90
	446983	BLADE FOR CONCRETE SAW	99.95
	447174	#75 MOWER REPAIR	943.62
TOTAL FOR: STEENSMA LAWN & POWER EQUIPMENT			1,203.47

TOTAL - ALL VENDORS			19,642.63

INVOICE AUTHORIZATION

Person Compiling Report

I verify that to the best of my knowledge the attached invoice listing is accurate and the procedures in place to compile this invoice listing has been followed.

Insert Signature:

**Cheryl
Pickett**

Digitally signed by Cheryl Pickett
DN: c=US, st=Michigan, l=Plainwell,
o=City of Plainwell, ou=CoP, cn=Cheryl
Pickett, email=cpickett@plainwell.org
Date: 2017.07.19 12:18:51 -04'00'

Brian Kelley, City Clerk/Treasurer

I verify that I have reviewed the expenditures attributed to my department and to the best of my knowledge the attached invoice listing is accurate and complies with the City's purchasing policy.

Insert Signature:

Brian Kelley

Digitally signed by Brian Kelley
DN: c=US, st=MI, l=City of Plainwell,
o=Internet Widgits Pty Ltd, cn=Brian
Kelley, email=bkkelley@plainwell.org
Date: 2017.07.20 15:21:54 -04'00'

Bryan Pond, Water Renewal Plant Supt.

I verify that I have reviewed the expenditures attributed to my department and to the best of my knowledge the attached invoice listing is accurate and complies with the City's purchasing policy.

Insert Signature:

Bill Bomar, Public Safety Director

I verify that I have reviewed the expenditures attributed to my department and to the best of my knowledge the attached invoice listing is accurate and complies with the City's purchasing policy.

Insert Signature:

Bill Bomar

Digitally signed by Bill
Bomar
Date: 2017.07.20
10:53:21 -04'00'

Rick Updike, Public Works Supt.

I verify that I have reviewed the expenditures attributed to my department and to the best of my knowledge the attached invoice listing is accurate and complies with the City's purchasing policy.

Insert Signature:

Erik J. Wilson, City Manager

I verify that I have reviewed the expenditures attributed to my department and to the best of my knowledge the attached invoice listing is accurate and complies with the City's purchasing policy.

Insert Signature:

Erik Wilson

Digitally signed by Erik Wilson
DN: c=US, st=Michigan, l=Plainwell,
o=City of Plainwell, ou=CoP, cn=Erik
Wilson, email=ewilson@plainwell.org
Date: 2017.07.21 13:02:48 -04'00'

07/20/2017

CHECK REGISTER FOR CITY OF PLAINWELL
CHECK DATE FROM 07/03/2017 - 07/31/2017

Check Date	Bank	Check	Vendor Name	Description	Amount
Bank APPNC PNC Accounts Payable Checking					
Check Type: EFT Transfer					
07/31/2017	APPNC	449(E)	PNC BANK (SERVICE CHARGE)	JUNE 2017 PNC SERVICE CHARGE PAID IN JUL	111.42
Total EFT Transfer:					<u>111.42</u>
APPNC TOTALS:					
Total of 1 Checks:					111.42
Less 0 Void Checks:					0.00
Total of 1 Disbursements:					<u>111.42</u>
Bank CBGEN Chemical Bank - General AP Account					
Check Type: ACH Transaction					
07/14/2017	CBGEN	1101(A)	ALLEGAN COUNTY TREASURER	2017 SUMMER TAX COLLECTED W/E 07/08/2017	20,976.04
07/14/2017	CBGEN	1102(A)	RANSOM DISTRICT LIBRARY	2017 SUMMER TAX COLLECTED W/E 07/08/2017	1,790.91
07/21/2017	CBGEN	1108(A)	ALLEGAN COUNTY TREASURER	2017 SUMMER TAX COLLECTED W/E 07/15/2017	45,750.59
07/21/2017	CBGEN	1109(A)	RANSOM DISTRICT LIBRARY	2017 SUMMER TAX COLLECTED W/E 07/15/2017	6,502.11
Total ACH Transaction:					<u>75,019.65</u>
Check Type: EFT Transfer					
07/03/2017	CBGEN	1103(E)	CHEMICAL BANK	JUNE 2017 BANK SERVICE CHARGES - CHEMICA	98.09
07/31/2017	CBGEN	1104(E)	USDA RURAL DEVELOPMENT	DEBT SERVICE - USDA LOAN - PUBLIC SAFETY	22,195.49
07/12/2017	CBGEN	1106(E)	PNC BANK (CREDIT CARD)	JUNE 2017 STATEMENT	3,010.09
07/11/2017	CBGEN	1107(E)	SILVERSCRIPT INSURANCE COMPANY	MONTHLY SCRIPT PREMIUM - WHITNEY	29.70
07/21/2017	CBGEN	1108(E)	PNC BANK (CREDIT CARD)	JULY 2017 STATEMENT	1,986.30
Total EFT Transfer:					<u>27,319.67</u>

Check Type: Paper Check

07/10/2017 CBGEN 11125 MURK TERRY

STENCILS FOR BIKE GRAPHIC

120.00

Total Paper Check:

120.00

CBGEN TOTALS:

Total of 10 Checks:

102,459.32

Less 0 Void Checks:

0.00

Total of 10 Disbursements:

102,459.32

REPORT TOTALS:

Total of 11 Checks:

102,570.74

Less 0 Void Checks:

0.00

Total of 11 Disbursements:

102,570.74

Off Cycle Payment Authorization

Brian Kelley, City Clerk/Treasurer

I verify that I have reviewed the off-cycle payments listed above and to the best of my knowledge the listing is accurate and complies with the City's purchasing policy.

Insert Signature:

Brian Kelley

Digitally signed by Brian Kelley
DN: c=US, st=MI, l=City of Plainwell,
o=Internet Widgits Pty Ltd, cn=Brian
Kelley, email=bkelley@plainwell.org
Date: 2017.07.20 15:22:49 -04'00'

Erik J. Wilson, City Manager

I verify that I have reviewed the off-cycle payments listed above and to the best of my knowledge the listing is accurate and complies with the City's purchasing policy.

Insert Signature:

Erik Wilson

Digitally signed by Erik Wilson
DN: c=US, st=Michigan, l=Plainwell,
o=City of Plainwell, ou=CoP, cn=Erik
Wilson, email=ewilson@plainwell.org
Date: 2017.07.21 12:58:38 -04'00'

M-40/M-89 CORRIDOR COMMITTEE

July 25, 2017

10:00 a.m.

**Allegan County Road Commission
1308 Lincoln Road, Allegan, Michigan 49010.**

AGENDA

1. Welcome and Introductions
2. Review of Minutes (Enclosed)
3. Guest Speaker – Nora Balgoyen-Williams, Director of Economic Development, Allegan County
4. Michigan Department of Transportation Update
5. Allegan County Road Commission Update
6. West Michigan Regional Planning Commission Update
7. Macatawa Area Coordinating Council
8. Local Businesses – Issues & Concerns
9. Discussion of long and short-term projects (Current list enclosed)
10. Round Table/Corridor Issues
11. Future Meeting Dates
12. Future Agenda Items
13. Other Business
14. Adjournment

EPA Proposes Cleanup for Area 2 of Kalamazoo River

Allied Paper/Portage Creek/Kalamazoo River Site

Kalamazoo, Michigan

June 2017

You are invited

EPA invites you to discuss the proposed cleanup plan for Area 2 of the Kalamazoo River site.

EPA will hold a public meeting **Tuesday, July 25, at 6 p.m.**, at Otsego District Public Library, 401 Dix St. EPA representatives will present details of the plan and accept written comments while oral comments will be recorded by a court reporter.

Public comment period

You may comment on the proposed plan from July 1 through Aug. 30, 2017.

There are several ways to offer comments:

- Fill out and mail the enclosed comment form to the following address:
**1300 Bluff St., Suite 140
Flint, MI 48504**
- Attend the public meeting on **Tuesday, July 25, 6-8 p.m.**, at **Otsego District Public Library**, and submit a written or oral statement.
- Go to:
www.epa.gov/superfund/allied-paper-kalamazoo.

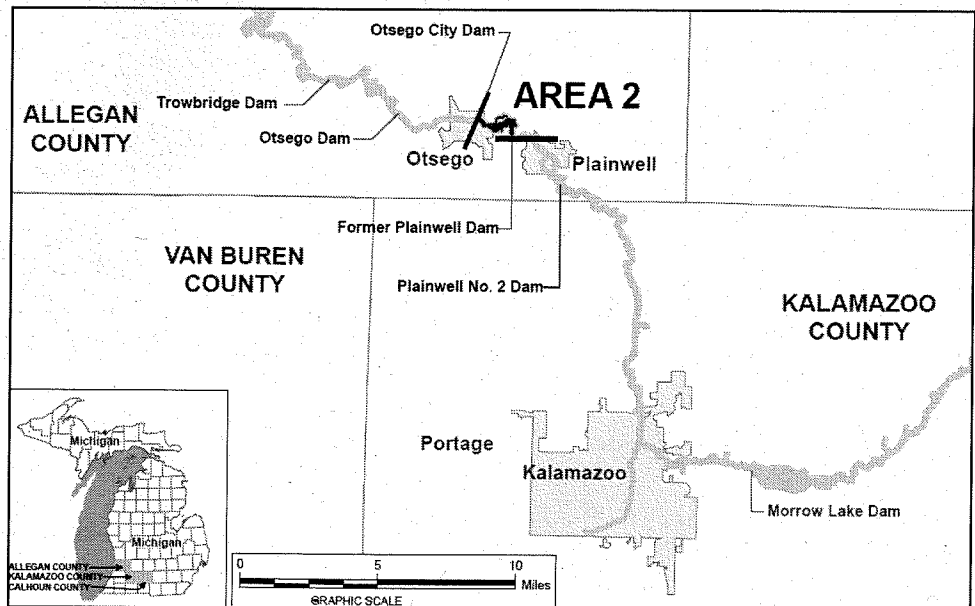
EPA may modify the plan or select another solution based on new information or public comments, so your opinion is important.

U.S. Environmental Protection Agency, with the Michigan Department of Environmental Quality, plans to clean up PCB contamination in the part of the Kalamazoo River known as Area 2 (see map, below and on Page 3). Area 2 is a 1.9-mile stretch of the Kalamazoo River between the former Plainwell Dam to the Otsego City Dam.

Your comments are needed

EPA will accept comments on the proposed cleanup plan from July 1 through Aug. 30, 2017 (see box, left). This fact sheet provides background information, describes cleanup options and explains EPA's recommendations.¹ You can find more details at www.epa.gov/superfund/allied-paper-kalamazoo and at the information repositories listed on Page 2.

EPA will review all comments before making a final decision on a cleanup plan and will respond to comments in a document called a responsiveness summary. This will be part of the final cleanup plan called the record of decision.



Map showing Area 2 of the Kalamazoo River.

¹Section 117(a) of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA, known as the Superfund law) requires public notice about this proposed cleanup plan through a meeting, comment period and newspaper announcement. This fact sheet summarizes information contained in the feasibility study and other documents that can be reviewed at the information repositories listed on Page 2.

Background

Starting in the 1950s, several paper mills along the Kalamazoo River and Portage Creek recycled various types of paper stock. This included carbonless paper that contained polychlorinated biphenyls, or PCBs, that were released into the mills' waste streams and eventually to the Kalamazoo River.

In 1990, the site was added to the National Priorities List, or NPL, due to the presence of PCBs in the sediment, fish, and surface water of the Kalamazoo River. Since then, the paper mill companies have completed several investigations of the Kalamazoo River. The NPL is a roster of the nation's most contaminated waste sites eligible for cleanup under EPA's Superfund program.

In 2007, Georgia-Pacific and Millennium Holdings LLC agreed with EPA to conduct additional studies to

Contact EPA

Jim Saric

Remedial Project Manager
312-886-0992
saric.james@epa.gov

Diane Russell

Community Involvement Coordinator
989-395-3493
russell.diane@epa.gov

determine the nature and extent of contamination and determine potential cleanup options for the site.

Current conditions

Since 1998, EPA has conducted several cleanups at the site to control the PCB sources. So far, the Agency has removed nearly 450,000 cubic yards of contaminated material and cleaned up and restored nearly 7 miles of the river and its banks.

EPA conducted a study of potential risks to public health and the environment. The study evaluated potential current and future risks to people who live nearby or engage in recreational activities near the Kalamazoo River and its floodplains in Area 2. PCBs are the primary contaminant of concern. The study determined that PCB contamination may pose unacceptable risks to people who may eat fish caught from the Kalamazoo River.

Also, potential exposure to high levels of PCBs, dioxin and furans in soil may pose unacceptable risks to residents and those who partake in recreational activities along the river; however, these risks are lower than those for people who eat fish from the river.

Why is a cleanup needed?

EPA has studied the risks to human health and the environment. Based on its studies, the Agency determined PCB contamination might pose unacceptable hazards and risks to people who may eat fish caught from the Kalamazoo River. Fish advisories are currently in place to warn residents and anglers about the risks associated with eating fish from the river. There are currently no restrictions in place to control human exposure to sediment, soil, or surface water.

For more information

You can read documents related to the Allied Paper/Portage Creek/Kalamazoo River site at www.epa.gov/superfund/allied-paper-kalamazoo, or at these information repositories:

U.S. EPA Record Center
77 W. Jackson Blvd., 7th Floor
Chicago

Charles Ransom Library
180 S. Sherwood
Plainwell

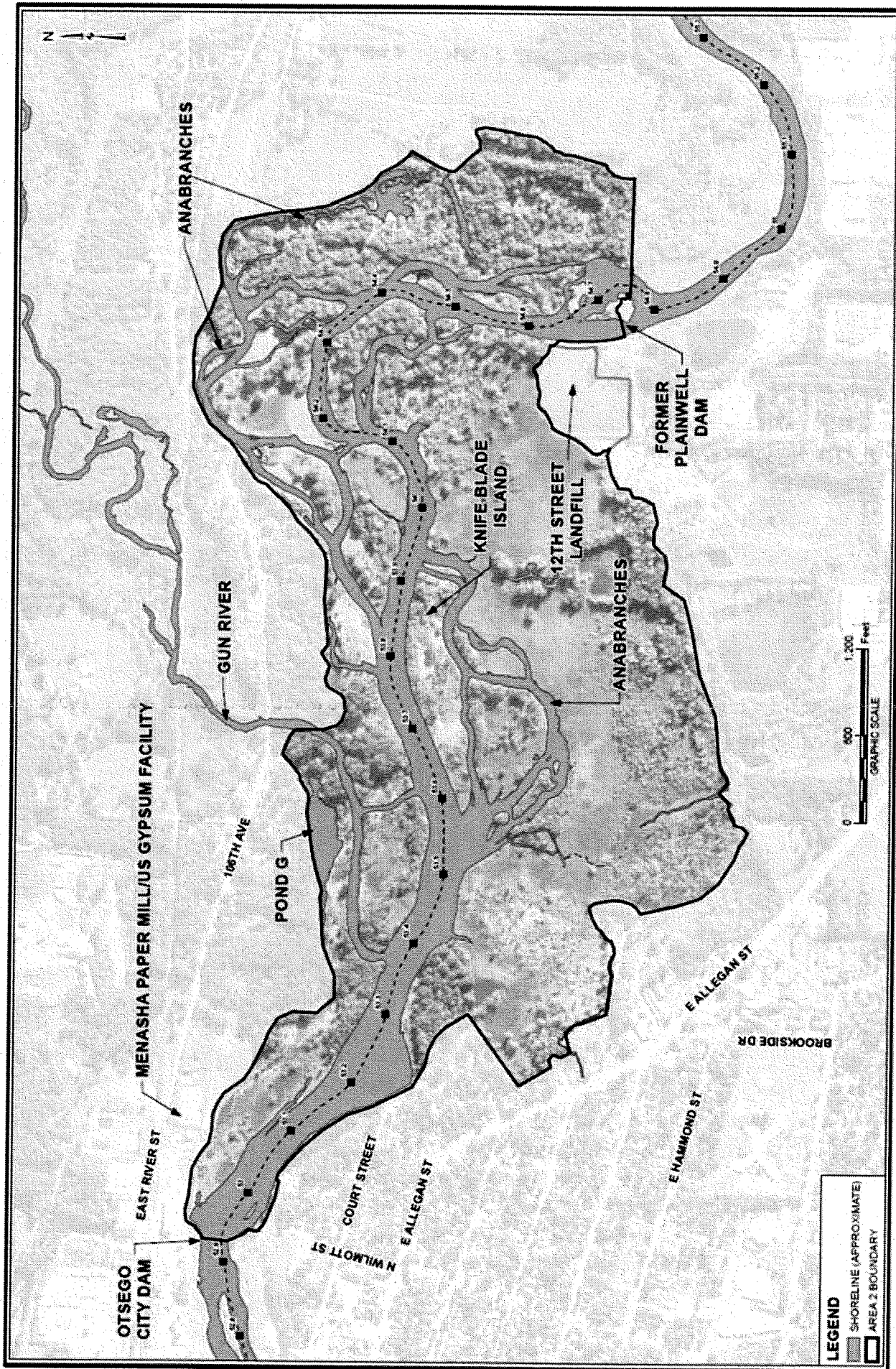
Kalamazoo Public Library
315 S. Rose
Kalamazoo

Allegan Public Library
331 Hubbard St.
Allegan

Otsego District Library
219 S. Farmer St.
Otsego

Saugatuck-Douglas Library
10 Mixer St.
Douglas

Waldo Library
Western Michigan University
1903 W. Michigan Ave.
Kalamazoo



Map Showing Area 2

EPA's Evaluation Criteria

These criteria guide EPA as it weighs different cleanup alternatives. These criteria are separated into three categories: Threshold, Balancing, and Modifying Criteria. **Threshold Criteria** determine if a cleanup alternative protects human and environmental health and complies with all Applicable or Relevant and Appropriate Requirements (**ARARs**). More generally, ARARs are the federal and

state regulations that EPA has to follow during a cleanup. In cases where the federal and state regulations are slightly different, EPA will follow the stricter regulations. **Balancing Criteria** are used to identify trade-offs between cleanup alternatives. **Modifying Criteria** are based on public comments, and can prompt modifications to the preferred cleanup alternative (*see Page 7*).

Threshold Criteria
must be met for an alternative to be eligible.

Balancing Criteria
determines relative strengths and weaknesses among the criteria that meet threshold.

Modifying Criteria
implemented once all public comments are evaluated. They may prompt modifications to the preferred alternative to achieve the end result of a preferred alternative for cleanup in which EPA and the community can be confident.



1. Overall protection of human health and the environment.

- Is it protective?
- How are risks eliminated, reduced, or controlled?



2. Compliance with ARARs.

- Does it meet environmental laws or provide grounds for a waiver?



3. Long-term effectiveness and permanence.

- Does it provide reliable protection over time?



4. Reduction of toxicity, mobility, or volume through treatment.

- Does it use a treatment technology?
- This is preferred, if possible.



5. Short-term effectiveness.

- Will the remedy be implemented fast enough to address short-term risks, and will there be adverse effects (human health or environmental) during construction/ implementation?



6. Implementability.

- How difficult will it be to implement (e.g. availability of materials or coordination of Federal, State, and local agencies)?



7. Cost effectiveness.

- What are the estimated capital and operation and maintenance costs in comparison to other, equally-protective alternatives?



8. State acceptance.

- Does the State agree with, oppose, or have no comment on it?



9. Community acceptance.

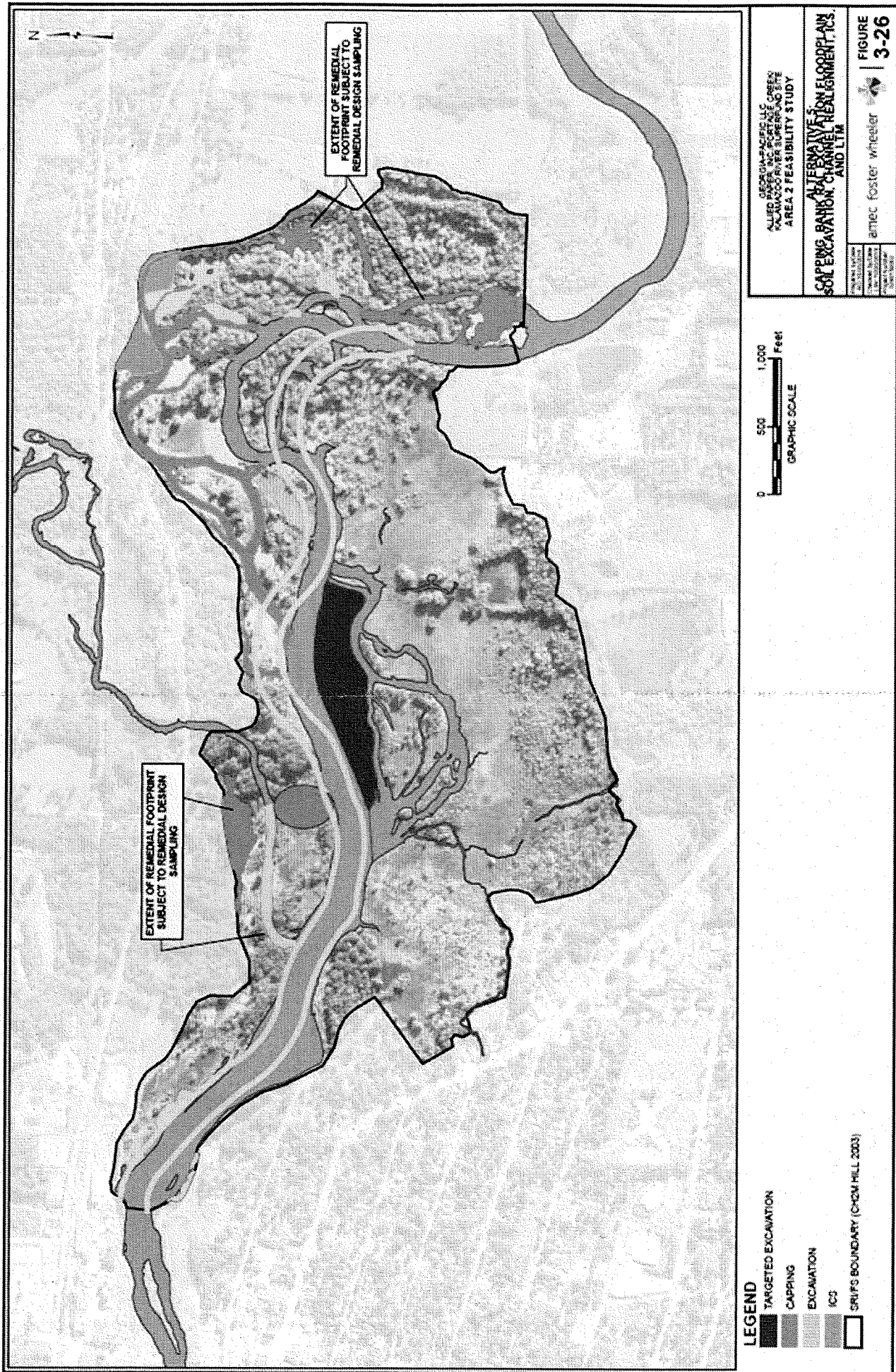
- Does the community support, have reservations about, or oppose it?

Cleanup Alternatives Comparison Table

Cleanup Alternatives	Description	Protection	Years to reach cleanup goals	Short-term Impacts	Total Cost (in millions)
A-1: No Action	Natural processes. Required by EPA to compare with other alternatives.	No	35	N/A	\$0
A-2: Monitored Natural Recovery, or MNR; Institutional Controls, or ICs; and Long-term Monitoring, or LTM	No physical cleanup; relies on natural processes and site restrictions.	No	35	Bed and bank erosion following dam removal	\$12.5
A-3: Capping; Channel Realignment; Gun River Excavation; Knife Blade Island, or KBI, Targeted Excavation; ICs; and LTM	Capping, channel protection in the northeast anabranches, Pond G, and floodplain soil exceeding RAL of 20 mg/kg PCBs; main river channel realignment to stabilize channel and protect floodplains.	Yes	32	Erosion prevention, temporary impact to habitat areas	\$43.8
A-4: Capping; Channel Realignment; Bank Remedial Action Level, or RAL/Gun River Excavation; KBI Targeted Excavation; ICs; and LTM	Same as A-3 with addition of bank soil excavation above a RAL.	Yes	32	Erosion prevention, temporary impact to habitat areas	\$44.4 - \$45.2
A-5: Anabranch Capping, Channel Realignment, Bank RAL/Floodplain Soil/Gun River Excavation, KBI Targeted Excavation, ICs, and LTM	Same as A-4 except floodplain soils above RAL 20 mg/kg will be excavated.	Yes	32	Erosion prevention, temporary impact to habitat areas	\$45.6 - \$46.4
A-6: Floodplain Capping, Channel Realignment, Bank RAL/Floodplain Soil/Anabranch/Gun River Excavation, KBI Targeted Excavation, ICs, and LTM	Same as A-4 except anabranch areas will be excavated.	Yes	32	Increase frequency of flooding and erosion; more extensive impact to habitat and wildlife	\$66.9 - \$67.7
A-7: Floodplain, Anabranch, Bank RAL Excavation, Channel Realignment, Gun River Excavation, KBI Targeted Excavation, ICs, and LTM	Excavation with backfilling to restore grade and riparian habitat restoration in: former anabranches, Pond G, floodplain soil > RAL 20 outside channel realignment footprint, and soil > 2.5 mg/kg on the private parcel in the northeast portion of the area.	Yes	32	Same as A1-A6, plus more difficult to implement	\$74.5 - \$75.3
A-8: Area-Wide Aggressive Excavation, ECs, ICs, and LTM	Area-wide removal of sediment and floodplain soil exceeding 0.33 mg/kg, achieving the sediment PRG throughout the floodplain and without channel realignment.	Yes	40	Substantial impact and lengthy recovery time to habitat and wildlife	\$325

Definitions:

ECs - Engineering Controls LTM - Long-term Monitoring ICs - Institutional Controls KBI - Knife Blade Island
 RAL - Remedial Action Level mg/kg - milligram per kilogram MNR - Monitored Natural Recovery



Graphic showing EPA's preferred cleanup Alternat ve A-5.

Cleanup alternatives evaluation criteria comparison

Options	Overall protection of human health and the environment	Compliance with ARARs	Long-term effectiveness and permanence	Reduction of toxicity, mobility, or volume through treatment	Short-term effectiveness	Implementability
A-1	Undocumented	Undocumented	Undocumented	○	○	NA
A-2	○	●	●	○	○	●
A-3	●	●	●	○	●	●
A-4	●	●	●	○	●	●
*A-5	●	●	●	○	●	●
A-6	●	●	●	○	●	●
A-7	●	●	●	○	●	●
A-8	●	⊙	○	○	○	●

● = fully meets criteria ⊙ = partially meets criteria ○ = Does not meet criteria NA = Not applicable

* = EPA's recommended alternative ARARs = Applicable or Relevant and Appropriate Requirements.

Cleanup alternatives

EPA considered eight options for cleaning up Area 2. They are summarized in the table on Page 5. EPA developed these alternatives using combinations of different technologies and evaluated each option in detail against criteria established by federal law (*see Page 4*).

The last two criteria, state and community acceptance, will not be evaluated until after the comment period and public meeting.

EPA's recommended alternative

Based on the criteria, EPA recommends Alternative A-5. A-5 includes capping, bank excavation, floodplain soil excavation, channel realignment, Gun River excavation, targeted excavation on Knife Blade Island, institutional controls, and long-term monitoring. This alternative has less impact to habitat and surrounding properties than other options, protects against erosion and would help maintain flow in the river channel. It is less costly than alternatives A-6, A-7 and A-8, protects human health and the environment, and provides short- and long-term effectiveness while complying with applicable or relevant and appropriate requirements, known as ARARs.

Next steps

EPA, with input from Michigan Department of Environmental Quality and the community, will make the final decision on what cleanup alternative will be implemented. Public comments are important and could encourage EPA to modify or change its preliminary cleanup decision. EPA will review and compile responses to public comments in a document called a responsiveness summary. The final cleanup plan will be published in a document called "record of decision" or ROD, and available for public review in the site's administrative record. The responsiveness summary and administrative record will be available for review at www.epa.gov/superfund/allied-paper-kalamazoo and at the information repositories shown on Page 2.

EPA Proposes Cleanup Plan for Area 2; Seeks Public Comments

Public Meeting
Tuesday, July 25
6 p.m.

Otsego District Public Library
401 Dix St.

If you will need special accommodations at the meeting, contact:
Diane Russell, Community Involvement Coordinator, 989-395-3493, russell.diane@epa.gov



ALLIED PAPER/PORTRAGE CREEK/KALAMAZOO RIVER SITE: Proposed Cleanup Plan for Area 2

BRIAN KELLEY CLERK
CITY OF PLAINWELL
211 N MAIN ST
PLAINWELL MI 49080

RETURN SERVICE REQUESTED

FIRST CLASS

Community Information Office
1300 Bluff St., Suite 140
Flint, MI 48504

United States
Environmental Protection
Agency



WILKINSON
MI 532
03 JUL 17
PM 7 11



STATE OF MICHIGAN
BEFORE THE MICHIGAN PUBLIC SERVICE COMMISSION
NOTICE OF HEARING
FOR THE NATURAL GAS CUSTOMERS OF
MICHIGAN GAS UTILITIES CORPORATION
CASE NO. U-18269

RECEIVED
JUL 13 2017

Plainwell City Clerk's Office

- Michigan Gas Utilities Corporation requests Michigan Public Service Commission approval of its Energy Waste Reduction (“EWR”) plan, alternative compliance payments and surcharges for the 24-month period ending December 31, 2019, pursuant to MCL 460.109.
- The information below describes how a person may participate in this case.
- You may call or write Michigan Gas Utilities Corporation, 899 South Telegraph Road, Monroe, Michigan 48161, (800) 401-6402 for a free copy of its application. Any person may review the application at the offices of Michigan Gas Utilities Corporation.
- The first public hearing in this matter will be held:

DATE/TIME: **Thursday, August 10, 2017, at 9:30 a.m.**
This hearing will be a prehearing conference to set future hearing dates and decide other procedural matters.

BEFORE: Administrative Law Judge **Mark D. Eyster**

LOCATION: Michigan Public Service Commission
7109 West Saginaw Highway
Lansing, Michigan

PARTICIPATION: Any interested person may attend and participate. The hearing site is accessible, including handicapped parking. Persons needing any accommodation to participate should contact the Commission's Executive Secretary at (517) 284-8090 in advance to request mobility, visual, hearing or other assistance.

The Michigan Public Service Commission (Commission) will hold a public hearing to consider Michigan Gas Utilities Corporation’s (MGUC) June 27, 2017 application which requests that the Commission 1) find and determine that the alternative EWR payments for 2018 are \$2,650,726, and for 2019 they are projected to be \$2,733,549, to be paid in equal monthly installments by the 10th day of each calendar month during the applicable year, beginning with January 1, 2018; 2) authorize MGUC, beginning with January 1, 2018, to implement the EO surcharges set forth in the supporting testimony and exhibits; and 3) other relief.

All documents filed in this case shall be submitted electronically through the Commission's E-Dockets website at: michigan.gov/mpscedockets. Requirements and instructions for filing can be found in the User Manual on the E-Dockets help page. Documents may also be submitted, in Word or PDF format, as an attachment to an email sent to: mpscedockets@michigan.gov. If you require assistance prior to e-filing, contact Commission staff at (517) 284-8090 or by email at: mpscedockets@michigan.gov.

Any person wishing to intervene and become a party to the case shall electronically file a petition to intervene with this Commission by August 3, 2017. (Interested persons may elect to file using the traditional paper format.) The proof of service shall indicate service upon MGUC's attorney, Sherri A. Wellman, Miller, Canfield, Paddock and Stone, P.L.C., One Michigan Avenue, Suite 900, Lansing, Michigan 48933.

Any person wishing to appear at the hearing to make a statement of position without becoming a party to the case may participate by filing an appearance. To file an appearance, the individual must attend the hearing and advise the presiding administrative law judge of his or her wish to make a statement of position. All information submitted to the Commission in this matter becomes public information, thus available on the Michigan Public Service Commission's website, and subject to disclosure. Please do not include information you wish to remain private.

Requests for adjournment must be made pursuant to the Michigan Administrative Hearing System's Administrative Hearing Rules R 792.10422 and R 792.10432. Requests for further information on adjournment should be directed to (517) 284-8130.

A copy of MGUC's request may be reviewed on the Commission's website at: michigan.gov/mpscedockets, and at the office of Michigan Gas Utilities Corporation. For more information on how to participate in a case, you may contact the Commission at the above address or by telephone at (517) 284-8090.

Jurisdiction is pursuant to 1909 PA 300, as amended, MCL 462.2 et seq.; 1919 PA 419, as amended, MCL 460.54 et seq.; 1939 PA 3, as amended, MCL 460.1 et seq.; 1969 PA 306, as amended, MCL 24.201 et seq.; and the Michigan Administrative Hearing System's Administrative Hearing Rules, 2015 AC, R 792.10401 et seq.

July 10, 2017

Reports & Communications:

A. Appointment to Parks & Trees Commission:

Current member Marcus Taylor has moved out of the city and has resigned from the Parks & Trees Commission. Applicant Gina DeHart has attending a P&T meeting and is willing to serve. Mr. Taylor's term expires in December 2017.

Recommended action: Consider confirming the Mayor's appointment of Gina DeHart to the Parks & Trees Commission to serve out the term of a member who moved out of the city.

B. Site Plan Review – Sweetwater's Donuts:

The Planning Commission reviewed the Site Plan for Sweetwater's Donuts at its July 19, 2017 meeting. The documents are included in the Council Packet and the Planning Commission recommends approval.

Recommended action: Consider approving the Site Plan for Sweetwater's Donuts as presented.

C. Site Plan Review - Wesco:

The Planning Commission reviewed the Site Plan for Wesco at its July 19, 2017 meeting. The documents are included in the Council Packet and the Planning Commission recommends approval.

Recommended action: Consider approving the Site Plan for Wesco as presented.

Reminder of Upcoming Meetings

- July 27, 2017 – Allegan County Board of Commissioners – 1pm
- August 8, 2017 – Plainwell DDA/BRA/TIFA Board – 7.30am
- August 2, 2017 – Plainwell Planning Commission – 7pm
- August 14, 2017 – Plainwell City Council – 7pm

Non-Agenda Items / Materials Transmitted

- M-40/M89 Corridor Committee – Allegan County Road Commission – July 25, 2017 10am
- EPA Public Comment Meeting – Otsego District Library – July 25, 2017 6pm
- Notice of Hearing – Michigan Gas Utilities – August 10, 2017 9:30 am