

City of Plainwell



“The Island City”

Rick Brooks, Mayor
Lori Steele, Mayor Pro-Tem
Brad Keeler, Council Member
Roger Keeney, Council Member
Todd Overhuel, Council Member

Department of Administration Services
211 N. Main Street
Plainwell, Michigan 49080
Phone: 269-685-6821
Fax: 269-685-7282
Web Page Address: www.plainwell.org

Agenda Planning Commission July 19, 2017 7:00 PM

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Minutes: 06/07/17 Planning Meeting
5. Chairman’s Report
6. New Business:
 - A. Wesco– Site Plan Review
 - B. Sweetwaters – Site Plan Review
7. Old Business:
8. Public Comment
9. Reports and Communications:
 - A. 5/22, 6/12, 6/26/17 Council minutes
10. Staff Comments
 - A. City Updates
11. Commissioners Comments
12. Adjournment

The City of Plainwell is an equal opportunity provider and employer

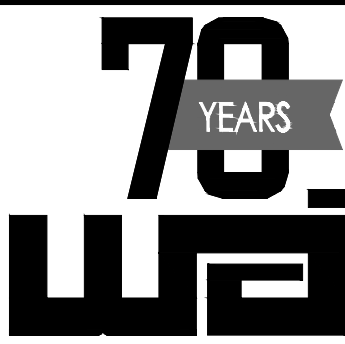
CITY OF PLAINWELL
MINUTES
Planning Commission
June 7, 2017

1. Call to Order at 7:01 p. m. by Chair Lubic
2. Pledge of Allegiance was given by all present.
3. Roll Call: Present: Jay Lawson, Lori Steele, Diana Lubic, Jim Higgs, Chris Slinkman, Chris Haas, Gary Sausaman
4. Approval of Minutes – 3/15/17 & 5/17/17
Higgs motioned to approve minutes as received seconded by Hass. Minutes approved.
5. Chairperson’s Report:
None
6. New Business:
A. Ace Hardware Site Plans Review – Ace hired Bci Construction for the renovations of the property, 135 N. Anderson. The Site plans were presented by Bci Construction. The closing on the property will be finalized after a phase 2 testing sample has been completed. Site Plans for the Ace Hardware store were recommended to move forward to City Council by Higgs and seconded by Hass.
7. Old Business:
None
8. Public Comment:
None
9. Reports and Communications:
A. Accepted the 3/13/17; 3/27/17; 4/24/17; & 5/08/17 Council Minutes. Minutes were accepted as presented.
10. Staff Comments:
None
11. Commissioner Comments:
None
12. Adjournment:
The meeting was adjourned at 7:54 p.m.

Minutes submitted by Denise Siegel, Community Development Manager

PLAINWELL 554, LLC

SWEETWATER'S SITE



WIGHTMAN & ASSOCIATES, INC.
AMERICAN COUNCIL OF ENGINEERING COMPANIES
★ FIRM OF THE YEAR ★

2303 Pipestone Road
Benton Harbor, MI 49022
Phone: (269) 927-0100

9835 Portage Road
Portage, MI 49002
Phone: (269) 327-3532

264 Western Avenue
Allegan, MI 49010
Phone: (269) 673-8465

www.wightman-assoc.com

NOTES

EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS OR IN THE PROPOSAL AND SUPPLEMENTAL SPECIFICATIONS CONTAINED THEREIN, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE 2012 MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.

THE PLACING OF PAVEMENT MARKINGS AND TRAFFIC CONTROL SIGNS SHALL BE DONE IN ACCORDANCE WITH THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AS AMENDED.

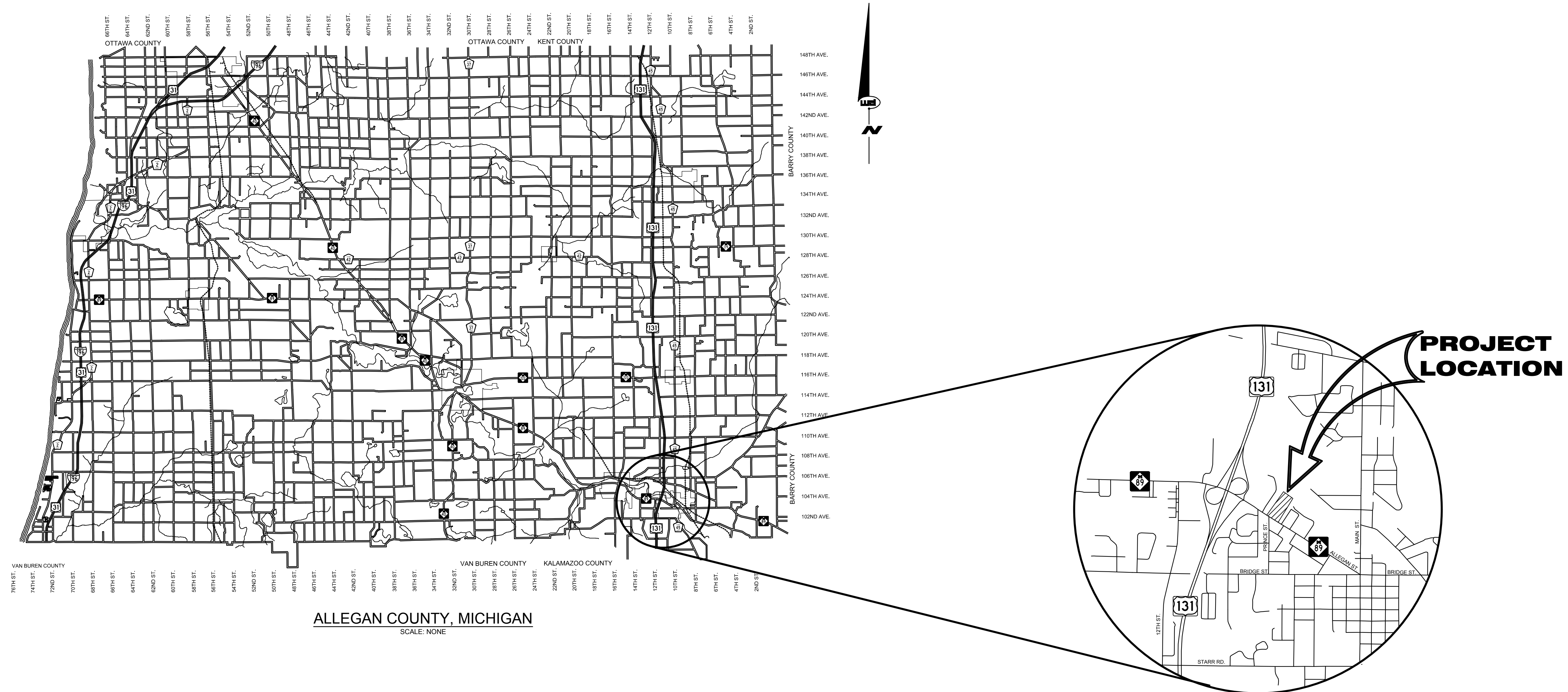
IN CONFORMANCE WITH PUBLIC ACT 174 OF 2013, ALL CONTRACTORS SHALL CALL MISS DIG @ 811 OR 800-482-7171 FOR PROTECTION OF UNDERGROUND UTILITIES A MINIMUM OF THREE FULL WORKING DAYS (EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS) PRIOR TO BEGINNING EACH EXCAVATION IN ANY AREA. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

INDEX OF PLANS

G001	COVER SHEET
G002	GENERAL DETAILS
CS101	EXISTING CONDITIONS
CP101	SITE LAYOUT
CG101	GRADING AND UTILITIES PLAN

PROJECT NAME:
SWEETWATER'S SITE

PLAINWELL 554, LLC
3313 STADIUM DRIVE
KALAMAZOO, MI 49008



03/07/2017 REV. PER CITY'S COMMENTS BSD

02/07/2017 CITY PLANNER SUBMITTAL PAD

01/07/2017 OWNER SUBMITTAL PAD

00/04/2017 PRELIMINARY - NOT FOR CONSTRUCTION PAD

REVISIONS

DATE: JUNE, 2017

SCALE:

COVER SHEET

172026
G001

PROJECT NOTES

THE "2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND "STANDARD PLANS" BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) ARE HEREBY INCORPORATED INTO THESE CONTRACT DOCUMENTS. COPIES OF THESE STANDARDS ARE AVAILABLE FOR INSPECTION AT THE OFFICE OF THE ENGINEER.

THE PLACING OF TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE DONE IN ACCORDANCE WITH THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTC), AS AMENDED.

ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND/OR PLANS PREPARED BY OTHERS, IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING ALL BONDS AND INSURANCE CERTIFICATES.

THE CONTRACTOR SHALL LOCATE ALL ACTIVE UNDERGROUND UTILITIES PRIOR TO STARTING WORK AND SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE ENGINEER AND LINCOLN TOWNSHIP TO NOTIFY THEM THAT WORK IS COMMENCING.

FILL SHALL BE PLACED AND ADEQUATELY KEYED INTO STRIPPED AND SCARIFIED SOILS PER THE MDOT 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION. ALL FILL MATERIAL SHOULD BE AT APPROXIMATELY THE OPTIMUM MOISTURE CONTENT DURING COMPACTION. FURTHERMORE, FILL MATERIAL SHOULD NOT BE FROZEN NOR BE PLACED ON A FROZEN BASE. IT IS RECOMMENDED THAT ALL EARTHWORK AND SITE PREPARATION ACTIVITIES BE CONDUCTED UNDER ADEQUATE SUPERVISION.

ALL FILL FOR THIS PROJECT MUST BE OBTAINED AND FURNISHED BY THE CONTRACTOR. ALL REQUIRED FILL SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER, OR MDOT CLASS II GRANULAR MATERIAL FROM BORROW. EXCESS FILL SHALL BE REMOVED FROM SITE BY THE CONTRACTOR. NOTE: NO BORROW OR SOIL REMOVAL ARRANGEMENTS HAVE BEEN PREARRANGED FOR THIS PROJECT, AND SHALL BE THE TOTAL RESPONSIBILITY OF THE CONTRACTOR.

THE SOIL BORINGS WERE TAKEN BY WIGHTMAN & ASSOCIATES, INC. 2303 PIPESTONE ROAD, BENTON HARBOR, MI 49022 IN JUNE 2017.

THE TEST BORINGS REPRESENT POINT INFORMATION AND MAY NOT HAVE ENCOUNTERED ALL THE TYPES AND MATERIALS WHICH ARE PRESENT AT THE SITE. THESE BORING LOGS DO NOT CONSTITUTE A GUARANTEE OF THE SOIL OR GROUNDWATER CONDITIONS, OR THAT THE TEST BORINGS ARE AN EXACT REPRESENTATION OF THE SOIL OR GROUNDWATER CONDITIONS AT ALL POINTS ON THE SITE. SEE PLANS FOR SOIL BORING DATA.

THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT, AS REQUIRED.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING DRAINAGE PATTERNS, AND SHALL RESOLVE ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH MAY RESULT FROM THE CONTRACTOR'S ACTIVITIES.

ADEQUATE DUST CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER IN THE FIELD, TO BE INCLUDED IN THE VARIOUS ITEMS OF WORK.

MATERIAL FOR AGGREGATE BASE SHALL BE MDOT 21AA TYP. GRAVEL, SLAG, LIMESTONE, OR RECYCLED CONCRETE.

NAVD88 IS THE DATUM USED FOR THE TOPO.

SPOT ELEVATIONS WITHIN VICINITY OF PROPOSED CONCRETE CURB AND GUTTER REFER TO EDGE OF METAL ELEVATIONS. "TIP-OUT GUTTER" REFERS TO "REVERSE PAVEMENT SLOPE" WITHIN PROPOSED CONCRETE GUTTER. PITCH PAVEMENT/CONCRETE GUTTERS UNIFORMLY BETWEEN PROPOSED SPOT ELEVATIONS.

ALL SCALES FOR DRAWINGS AND DETAILS ARE BASED ON 24"x36" PRINTED PLANS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

ALL RADII FOR CURB AND GUTTER ARE DIMENSIONED TO THE BACK OF THE CURB.

TAPER THE CURBS TO ZERO HEIGHT AT SIDEWALKS. SIDEWALK RAMPS SHALL BE BARRIER FREE AND CONSTRUCTED IN ACCORDANCE WITH THE MDOT SIDEWALK RAMP AND DETECTABLE WARNING DETAILS (R-28 SERIES). SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH THE MDOT DRIVEWAY OPENINGS & APPROACHES AND CONCRETE SIDEWALKS (R-29 SERIES) UNLESS NOTED OTHERWISE.

EXPANSION JOINTS FOR CONCRETE CURB AND GUTTER SHALL BE PLACED AT: CURB CORNERS, BEGINNING AND ENDING OF RADII, ALL CATCH BASINS AND MANHOLES, INTERSECTION OF CURB/SIDEWALK, CURB/RETAINING WALL, CURB/BUILDING, AND EXISTING/NEW CONSTRUCTION, AT LENGTHS OF NOT MORE THAN 120' APART, AND AS SPECIFIED ELSEWHERE.

CONTRACTION JOINTS ARE TO BE PLACED AT 10' INTERVALS IN CONCRETE PAVEMENT.

PAVT, REM, MODIFIED SHALL INCLUDE REMOVING THE FULL DEPTH OF CONCRETE PAVEMENT INCLUDING HMA OVERLAYS, REGARDLESS OF THICKNESS. HMA SURFACE, REM, MODIFIED SHALL INCLUDE REMOVING THE FULL DEPTH OF HMA PAVEMENT REGARDLESS OF THICKNESS. ALL CURB AND GUTTER REMOVAL SHALL BE MEASURED AS CURB AND GUTTER, REM PER FT. ALL REQUIRED SAW CUTTING SHALL BE INCLUDED IN THE RESPECTIVE REMOVAL ITEMS.

ALL STRUCTURES REQUIRING ADJUSTMENT TO MEET FINAL PAVEMENT GRADE SHALL BE BACK FILLED WITH CONCRETE TO APPROXIMATELY 1/2" BELOW FINAL GRADE PRIOR TO THE PLACEMENT OF THE HMA TOP COURSE. A SQUARE AREA, 4' BY 4', SHALL BE SAWCUT AND REMOVED AROUND DRAINAGE STRUCTURE COVERS, (2' BY 2' AROUND WATER VALVE BOXES). CONCRETE SHALL BE PLACED TO A DEPTH OF 8 INCHES, MINIMUM. COST OF PAVEMENT REMOVAL AND CONCRETE PLACEMENT IS INCLUDED IN THE ADJUSTMENT ITEMS.

CONNECTING NEW PIPE TO EXISTING PIPE OR STRUCTURES AND CONNECTING EXISTING PIPE TO NEW STRUCTURES IS INCLUDED IN THE ITEM FOR THE RESPECTIVE NEW PIPE OR DRAINAGE STRUCTURE.

EXISTING DRAINAGE STRUCTURE COVERS FOR STORM MANHOLES THAT ARE TO REMAIN SHALL BE REPLACED WITH COVER B PRIOR TO FINAL ADJUSTMENT. EXISTING DRAINAGE STRUCTURE COVERS FOR SANITARY MANHOLES SHALL BE REPLACED WITH COVER Q PRIOR TO FINAL ADJUSTMENT. EXISTING CATCH BASIN COVERS THAT ARE TO REMAIN SHALL BE REPLACED WITH COVER K PRIOR TO FINAL ADJUSTMENT. INCLUDED IN THE NEW CASTING ITEMS SHALL BE TEMPORARY PLATING OF THE EXISTING STRUCTURE THROUGH THE LEVELING COURSE. FINAL ADJUSTMENT SHALL BE PAID FOR AS DR STRUCTURE COVER, ADJ, CASE.

ALL PROPOSED 2' DIA. AND 4' DIA. DRAINAGE STRUCTURES WILL BE INLETS OR MANHOLES (NO SUMP). BOTTOM DETAIL SHALL BE PER SECTION A-A, TYPICAL MANHOLE AS SHOWN ON MDOT STANDARD PLAN R-1 SERIES, AND SHALL BE INCLUDED IN THE RESPECTIVE DRAINAGE STRUCTURE ITEMS.

ANY SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER THAT IS DAMAGED BY THE CONTRACTOR DURING THEIR OPERATIONS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.

ALL PERMANENT SIGNAGE SHALL COMPLY WITH THE MICHIGAN'S BARRIER FREE DESIGN REQUIREMENTS AND THE AMERICANS WITH DISABILITIES ACT.

ALL ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED ELECTRICIAN ACCORDING TO THE NATIONAL ELECTRICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN, FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE WORKING SYSTEM.

THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL PRE-EXISTING ON-SITE IMPROVEMENTS WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED. THIS INCLUDES BUT IS NOT LIMITED TO BUILDINGS, FOUNDATIONS, FOOTINGS, CURBS, ASPHALT, TREES, SHRUBS, EXISTING UTILITY LINES, DEBRIS AND ALL OTHER ITEMS AND UTILITIES TO BE ABANDONED.

SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN, AND FREEZING. SURFACE RUN-OFF WATER SHOULD BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO POND. IF POSSIBLE, ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHOULD BE ADEQUATELY PROTECTED.

EXTERIOR CONCRETE SHALL MEET MDOT GRADE P1 OR S2 SPECIFICATIONS, BE 3500 PSI, LIMESTONE AGGREGATE AND 4 - 6% AIR ENTRAINMENT WITH A LIGHT BROOM FINISH.

PROPERTY OWNER'S NAMES, WHERE SHOWN, ARE FOR INFORMATION ONLY, AND THEIR ACCURACY IS NOT GUARANTEED.

THICKENED EDGE CONCRETE AREAS TO BE PAID FOR UNDER THEIR RESPECTIVE CONCRETE ITEMS.

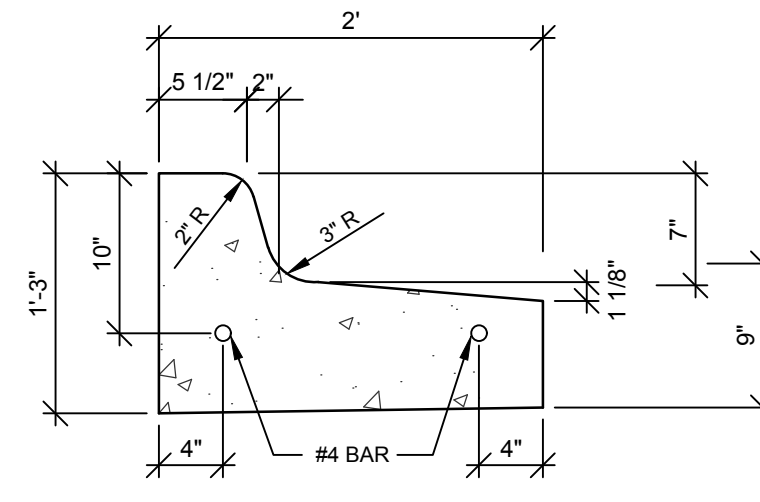
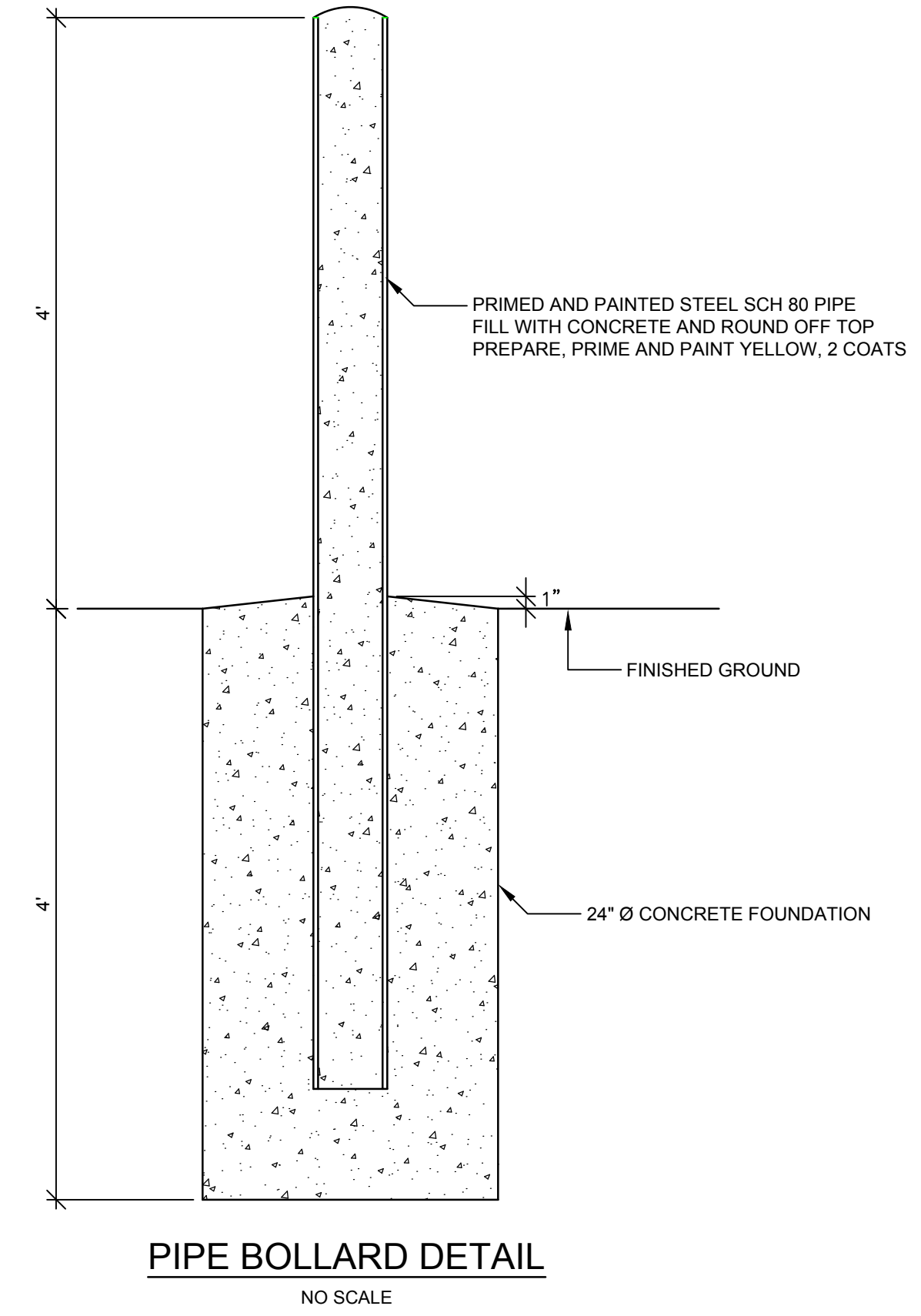
LEGEND

EXISTING	PROPOSED	
C	C	CABLE
E	E	ELECTRIC LINE
OHE	OHE	ELECTRIC LINE (OVERHEAD)
FO	FO	FIBER OPTIC LINE
G	G	GAS LINE
T	T	TELEPHONE LINE
		FENCE
		FORGEMAIN
		GUARDRAIL
		SANITARY SEWER
		STORM SEWER
		WATER MAIN
		CENTER LINE
		EXISTING TREE LINE
		EXISTING DITCH LINE
		EASEMENT LINE/GRADING PERMIT
		GRADING LIMITS/LIMITS OF DISTURBANCE
		PROPERTY LINE
		RIGHT-OF-WAY LINE
		SECTION LINE
		TO BE ABANDONED

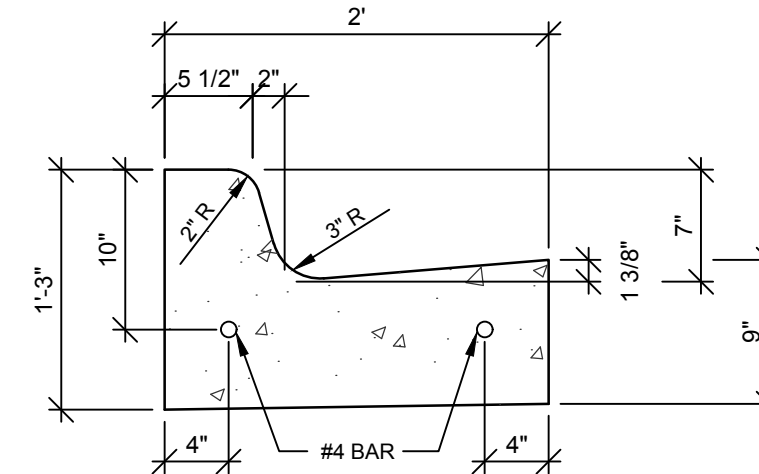
⚡	= ANTENNA	⊙	= PAVEMENT/SOIL BORING
☐	= CATCH BASIN	⊙	= PROPOSED HYDRANT
☐	= CABLE RISER BOX	⊙	= PROPOSED GATE VALVE & BOX
☐	= CLEAN OUT	⊙	= PROPOSED GATE VALVE & VAULT
☐	= CURB INLET	⊙	= PROPOSED REDUCER
⊙	= ELECTRIC MANHOLE	⊙	= PROPOSED SANITARY MANHOLE
⊙	= FIRE HYDRANT	⊙	= PROPOSED STORM MANHOLE
⊙	= FOUND IRON PIPE	⊙	= STORM MANHOLE
⊙	= GAS VALVE	⊙	= TELEPHONE MANHOLE
⊙	= GUY ANCHOR	⊙	= WATER MANHOLE
⊙	= LIGHT POLE	⊙	= TELEPHONE RISER BOX
⊙	= MAILBOX	⊙	= WATER METER
⊙	= MONITORING WELL	⊙	= WATER VALVE
⊙	= POST	⊙	= WATER SPIGOT
⊙	= SATELLITE DISH	⊙	= WELL
⊙	= SANITARY MANHOLE		
⊙	= SECTION CORNER		
⊙	= SIGN		

TREE DESIGNATORS

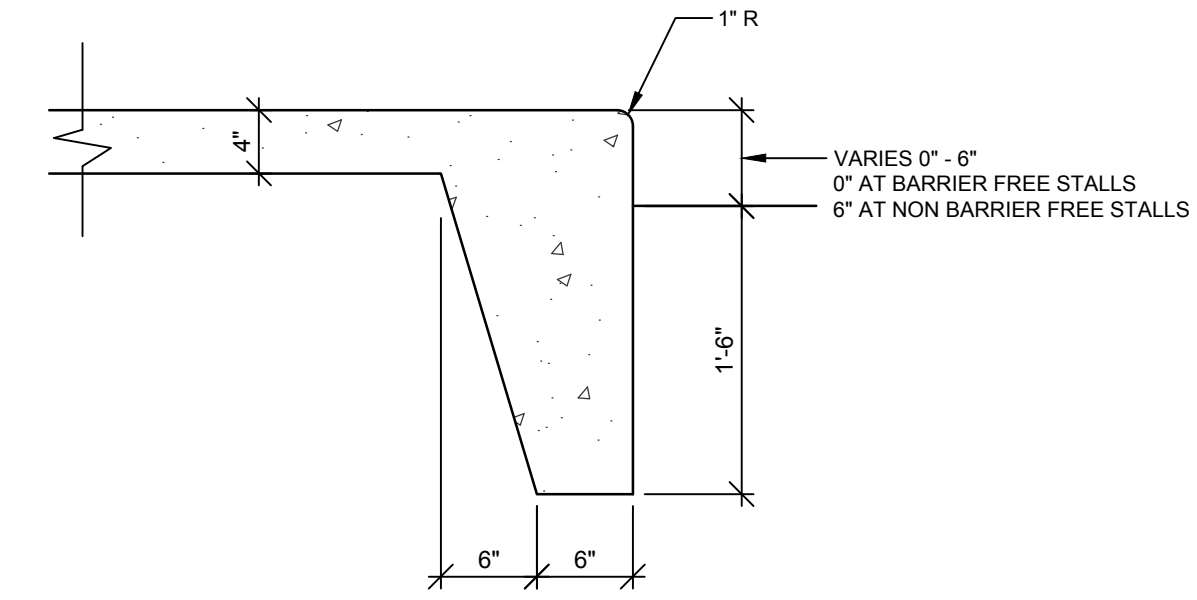
☁	BUSH	☐	STUMP
☼	CONIFEROUS TREE	☐	DECIDUOUS TREE
☼	CONIFEROUS TREE TO BE REMOVED	☐	DECIDUOUS TREE TO BE REMOVED



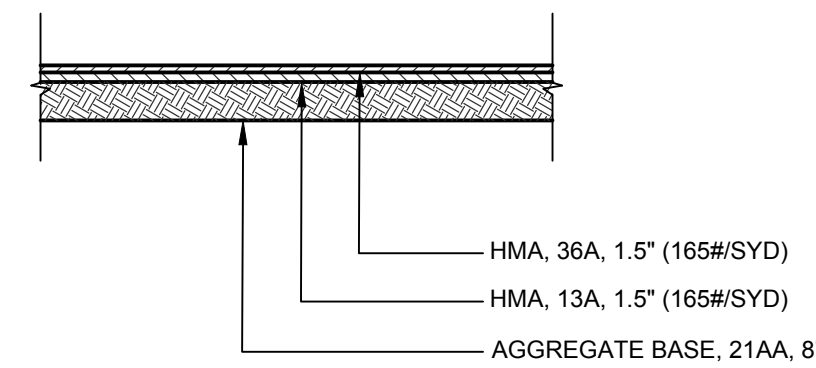
CURB & GUTTER - TIPOUT
SCALE: NONE



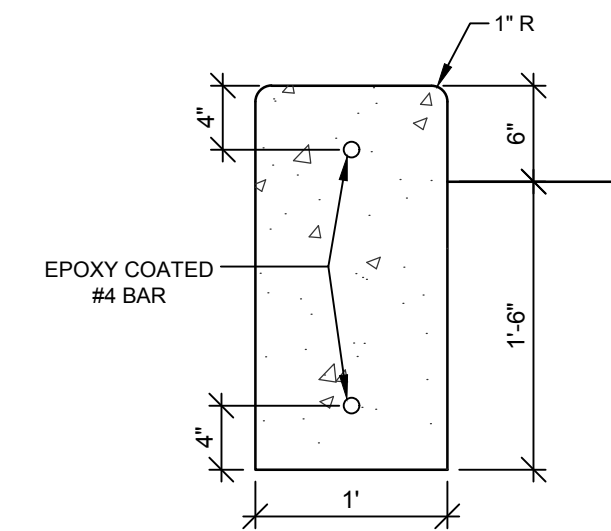
CURB & GUTTER - DETAIL C4
SCALE: NONE



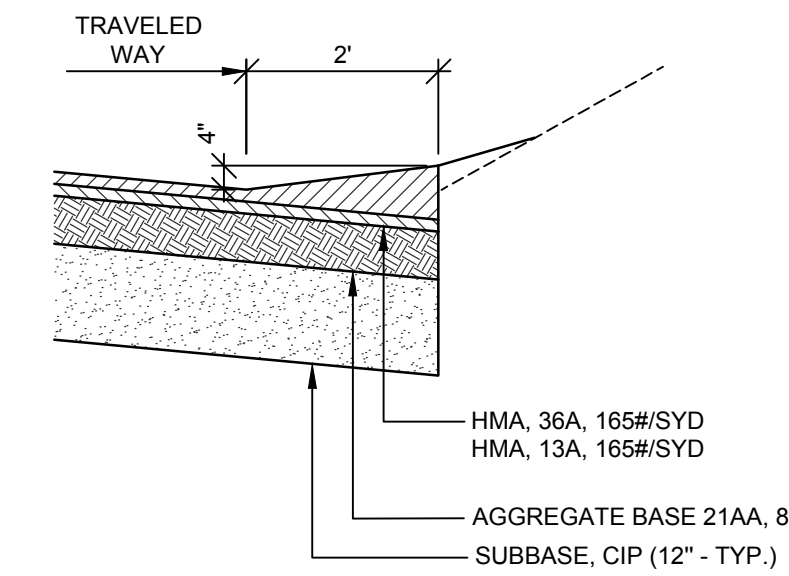
THICKENED EDGE SIDEWALK CURB
SCALE: NONE



PARKING LOT SECTION
SCALE: NONE



CURB & GUTTER - STRAIGHT CURB
SCALE: NONE



CURB SLOPED, HMA DETAIL
SCALE: NONE

WIGHTMAN & ASSOCIATES, INC.
ENGINEERING
SURVEYING
ARCHITECTURE
2303 Pipestone Road
Benton Harbor, MI 49022
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PROJECT NAME:
SWEETWATER'S SITE

PLAINWELL 554, LLC
3313 STADIUM DRIVE
KALAMAZOO, MI 49008

03/07/2017	BSD
REV PER CITY'S COMMENTS	
02/07/2017	PAD
CITY PLANNER SUBMITTAL	
01/07/2017	PAD
OWNER SUBMITTAL	
00/04/17/2017	PAD
PRELIMINARY - NOT FOR CONSTRUCTION	
REVISIONS	
<small> 1. 03/07/2017: Revised Notes, Rev. 3. City of Plainwell, 2017. 2. 02/07/2017: Revised Notes, Rev. 2. City of Plainwell, 2017. 3. 01/07/2017: Revised Notes, Rev. 1. City of Plainwell, 2017. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT IS PROHIBITED. © 2017 WIGHTMAN & ASSOCIATES, INC. </small>	
DATE: JUNE, 2017	
SCALE: NONE	

GENERAL DETAILS

PROJECT NAME:
SWEETWATER'S SITE

PLAINWELL 554, LLC
3313 STADIUM DRIVE
KALAMAZOO, MI 49008

03/07/17/2017 BSD
REV. PER CITY'S COMMENTS

02/07/12/2017 PAD
CITY PLANNER SUBMITTAL

01/07/07/2017 PAD
OWNER SUBMITTAL

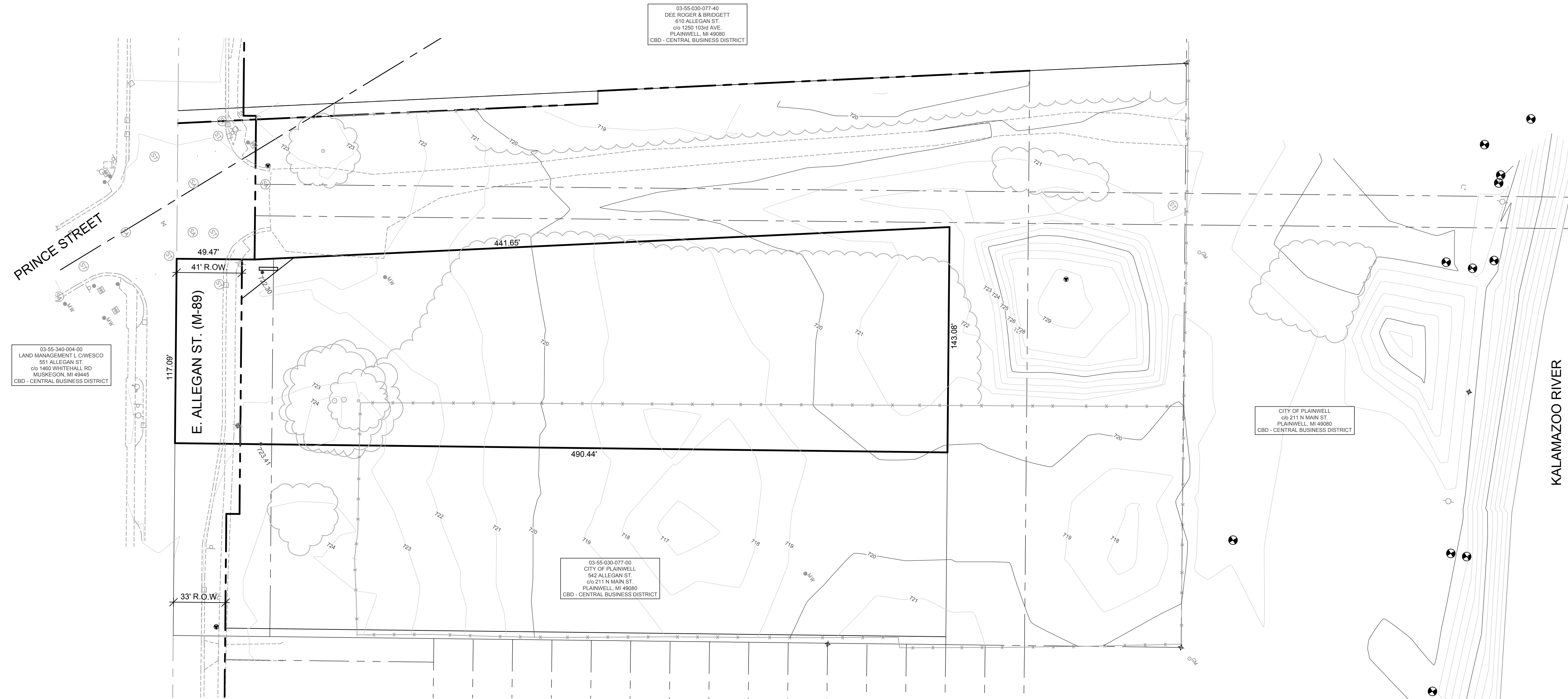
00/04/17/2017 PAD
PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS

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DATE: JUNE, 2017
SCALE: 1" = 40'

EXISTING CONDITIONS



LEGAL DESCRIPTION OF PROPERTY

PARCEL NO: 03-55-003-077-30 & 03-55-003-077-20

DESCRIPTION: THAT PART OF THE NORTH HALF OF SECTION 30, TOWNSHIP 1 NORTH, RANGE 11 WEST, CITY OF PLAINWELL, ALLEGAN COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 30; THENCE NORTH 57° 25' 01" WEST 2840.27 FEET TO THE INTERSECTION OF THE CENTERLINE OF ALLEGAN STREET (M-99 HIGHWAY) AND THE WESTERLY PLAT LINE OF RIVER VIEW ADDITION, AS RECORDED IN LIBER 4 OF PLATS, PAGE 13, ALLEGAN COUNTY RECORDS; THENCE NORTH 57° 30' 31" WEST ON SAID CENTERLINE 122.00 FEET TO THE POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED; THENCE CONTINUING NORTH 57° 30' 31" WEST ON SAID CENTERLINE 117.09 FEET; THENCE NORTH 32° 31' 33" EAST 49.47 FEET; THENCE NORTH 29° 17' 11" EAST 441.65 FEET; THENCE SOUTH 57° 30' 31" EAST PARALLEL WITH SAID CENTERLINE 143.08 FEET; THENCE SOUTH 32° 38' 51" WEST 490.44 FEET TO THE POINT OF BEGINNING. CONTAINING 1.45 ACRES MORE OR LESS.

BEARINGS ARE RELATED TO THE MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.

ADDRESS: 554 ALLEGAN ST.

ENGINEER

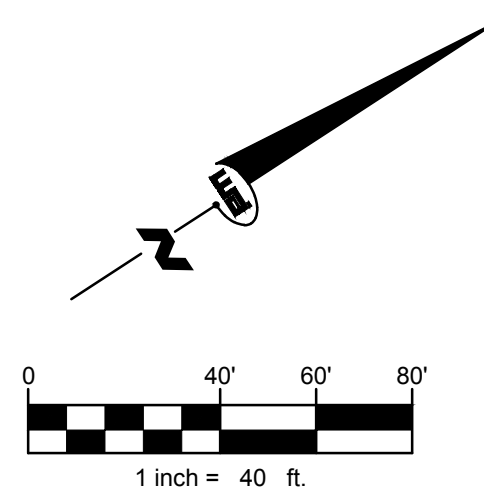
WIGHTMAN & ASSOCIATES, INC.
264 WESTERN AVENUE
ALLEGAN, MI 49010
MR. MICKEY E. BITTNER, P.E. (269) 673-8465

SURVEYOR

WIGHTMAN & ASSOCIATES, INC.
264 WESTERN AVENUE
ALLEGAN, MI 49010
MR. KEVIN MIEDEMA, P.S. (269) 673-8465

OWNER INFORMATION

PLAINWELL 554, LLC
3313 STADIUM DRIVE
KALAMAZOO, MI 49008
CONTACT: RICK SCHELL



03-55-020-077-40
DEE ROGER & BRIDGETT
810 ALLEGAN ST.
630 1520 YORK AVE.
PLAINWELL, MI 49080
CBD - CENTRAL BUSINESS DISTRICT

03-55-340-004-00
LAND MANAGEMENT, L.C./WESCO
551 ALLEGAN ST.
610 1480 WHITEHALL RD
MUSKEGON, MI 49645
CBD - CENTRAL BUSINESS DISTRICT

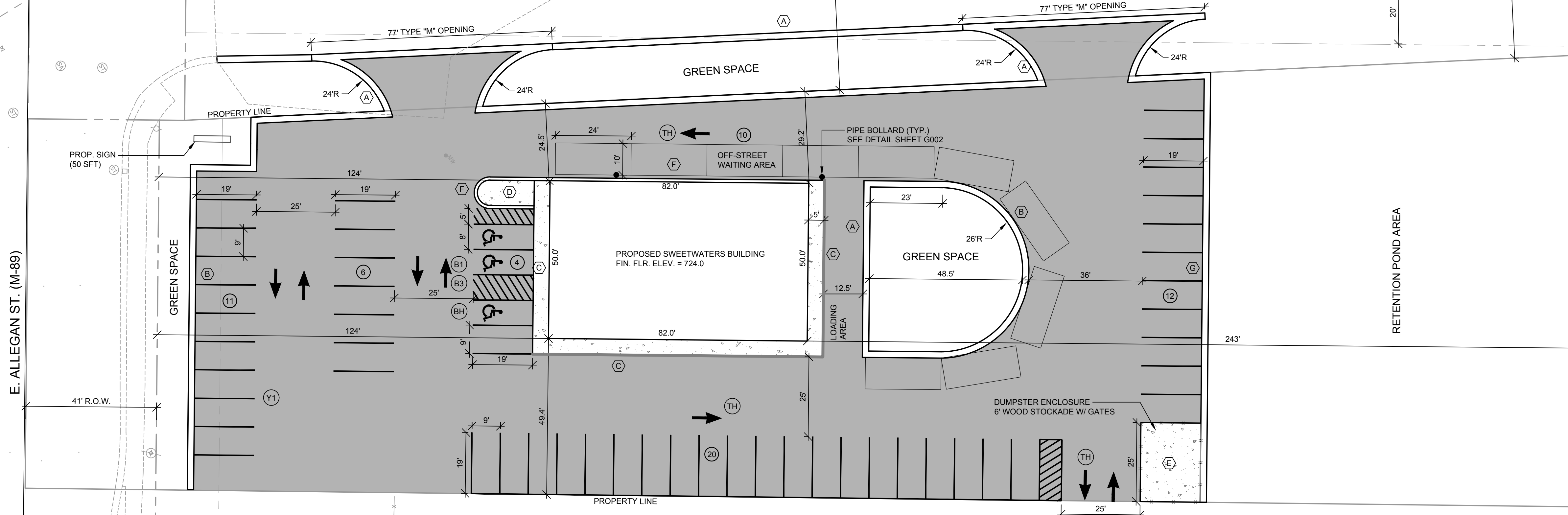
03-55-030-077-00
CITY OF PLAINWELL
542 ALLEGAN ST.
630 217 N MAIN ST.
PLAINWELL, MI 49080
CBD - CENTRAL BUSINESS DISTRICT

PRINCE ST.

E. ALLEGAN ST. (M-89)

PRINCE STREET EXTENSION TO BE CONSTRUCTED BY OTHERS FOR ACCESS TO SITE.

MDOT STORM SEWER EASEMENT



SITE INFORMATION

SITE ZONING: CBD CENTRAL BUSINESS DISTRICT

	REQUIRED	PROPOSED SITE
SITE AREA	N.A.	58,327 SFT (1.3 AC.) W/O R.O.W. 63,181 SFT (1.45 AC.) W/ R.O.W.
MIN. FRONT YARD	N.A.	124 FT.
MIN. SIDE YARD	N.A.	24.5 FT.
MIN. REAR YARD	N.A.	243 FT.
MAX. BUILDING HT.	35 FT.	23 FT., 1 STORY

BUILDING AREA = 4,125 SFT.

LIGHTING: REFLECT LIGHTING AWAY FROM RESIDENTIAL AREAS
SIGNAGE: MEET CITY OF PLAINWELL ORDINANCE.

LANDSCAPING: REQUIRED - 15% OF TOTAL LOT AREA = 0.15 * 58,327 SFT. = 8,750 SFT.
- 33% OF THE REQUIRED LANDSCAPE BETWEEN THE BLDG. AND STREET.
= (0.33 * 8,750 SFT) = 2,888 SFT.
1 TREE OR SHRUB FOR EVERY 1,000 SFT. = 8,750 SFT / 1,000 SFT. = 9 SHRUBS
1 TREE PER 1500 SFT. = 8,750 SFT / 1500 SFT. = 6 TREES
PROPOSED - LANDSCAPING AREA = 24,131 SFT.
- AREA BETWEEN BLDG. AND STREET = 5,708 SFT.
- TREES - 6 TREES PER THE PLAINWELL PARKS AND TREES COMMISSION SPECIES LIST
- SHRUBS - 9 SHRUBS PER THE PLAINWELL PARKS AND TREES COMMISSION SPECIES LIST

PARKING
REQUIRED PARKING - 1 SPACE FOR EVERY 6 SEATS OR 80 SFT, WHICHEVER IS GREATER.
BUILDING AREA = 4,125 SFT. / 80 SFT. = 51.6 SPACES = 52 SPACES.

PROVIDED PARKING = 52 SPACES INCLUDE THREE ADA ACCESSIBLE SPACES TWO OF WHICH ARE VAN ACCESSIBLE.

UNDERGROUND UTILITIES (STORM, SANITARY, AND WATERMAIN) DETAILS FOUND ON SHEET CG101.

KEY NOTES

- (A) C4 CURB, SEE SHEET G002
- (B) C4 CURB W/TIPOUT GUTTER, SEE SHEET G002
- (C) THICKENED EDGE CONCRETE, SEE SHEET G002 (DENOTES 6" DIFFERENCE TOP OF WALK TO TOP OF ASPHALT)
- (D) STANDARD SIDEWALK - 4" THICK
- (E) CONC PAVT, MISC, NONREINF, 6 INCH
- (F) STRAIGHT CURB, SEE SHEET G002
- (G) CURB SLOPED, HMA, SEE SHEET G002

- LIGHT DUTY ASPHALT PAVEMENT
1.5" HMA, 36A TOP COURSE
1.5" HMA, 13A LEVELING COURSE
8" AGGREGATE BASE, 21AA

- CONCRETE - CONC PAVT, MISC, NONREINF, 6 INCH
SIDEWALK RAMP, CONC, 6 INCH
SIDEWALK, CONC, 4 INCH

- (Y1) Pavt Mrgk, Waterborne, for Rest Areas, Parks, & Lots, 4", Yellow - Solid
- (TH) Pavt Mrgk, Ovlv Cold Plastic, Thru Arrow Sym
- (B1) Pavt Mrgk, Waterborne, for Rest Areas, Parks, & Lots, 4", Blue - Solid
- (B3) Pavt Mrgk, Waterborne, for Rest Areas, Parks, & Lots, 4", Blue - Cross Hatch at 4" Spacing
- (BH) Pavt Mrgk, Polyurea, Accessible Symbol

03/07/2017 BSD
REV. PER CITY'S COMMENTS

02/07/2017 PAD
CITY PLANNER SUBMITTAL

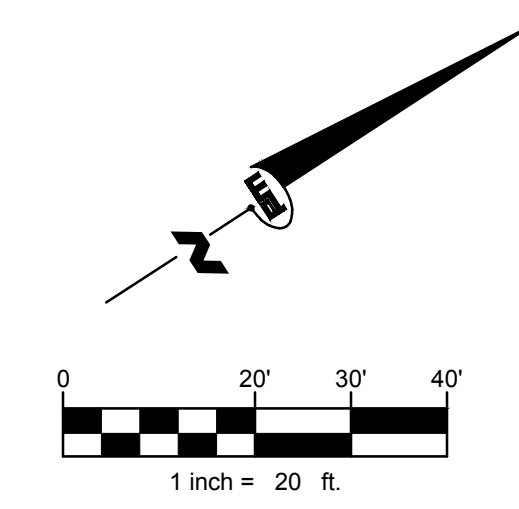
01/07/2017 PAD
OWNER SUBMITTAL

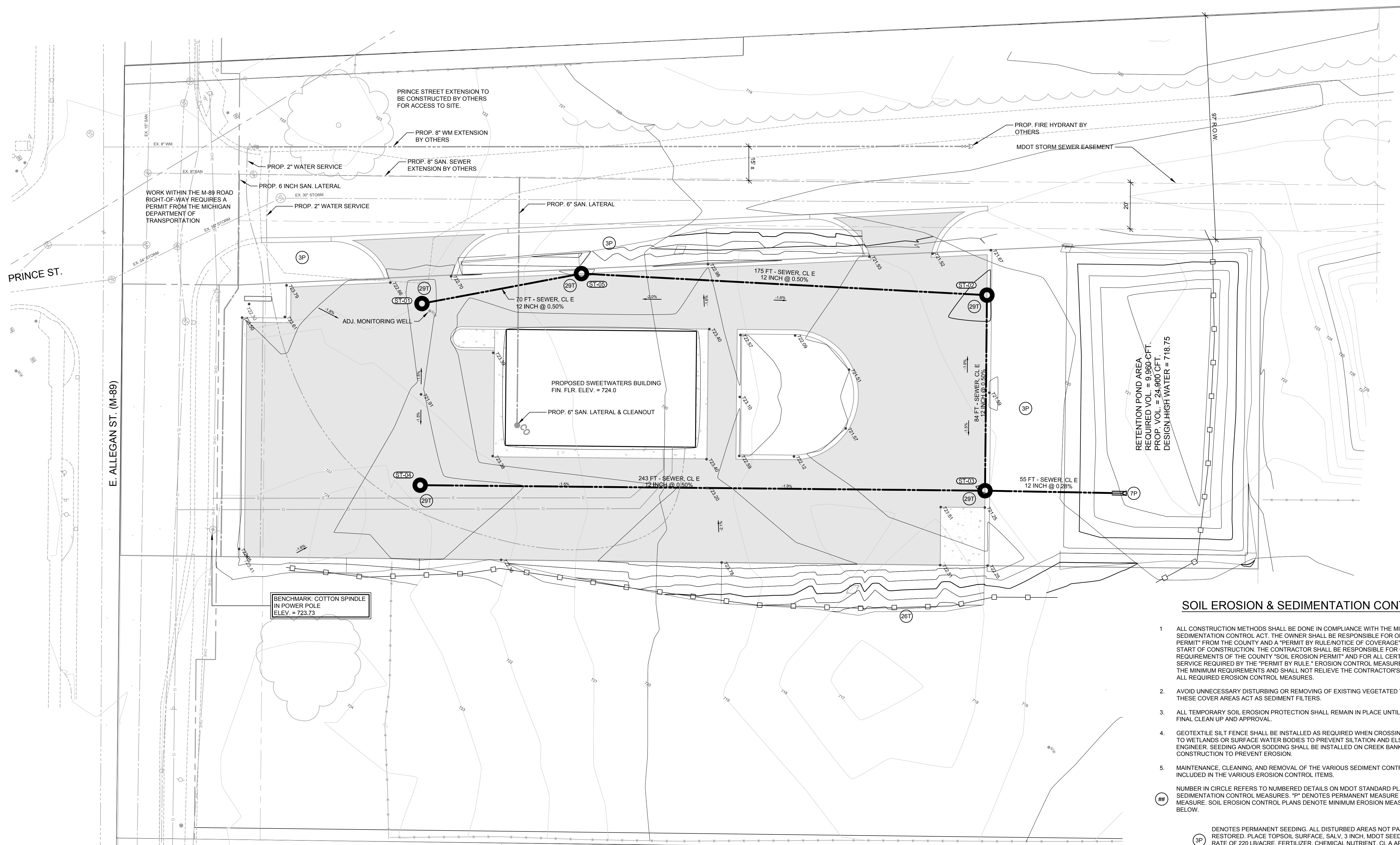
00/04/17/2017 PAD
PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS

DATE: JUNE, 2017
SCALE: 1" = 20'

SITE LAYOUT





SOIL EROSION & SEDIMENTATION CONTROL NOTES

- ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH THE MICHIGAN SOIL EROSION AND SEDIMENTATION CONTROL ACT. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE COUNTY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM THE MDEQ PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE COUNTY "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
- AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE COVER AREAS ACT AS SEDIMENT FILTERS.
- ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.
- GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.
- MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.

NUMBER IN CIRCLE REFERS TO NUMBERED DETAILS ON MDOT STANDARD PLAN R-96 SERIES. SOIL EROSION & SEDIMENTATION CONTROL MEASURES. "P" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.

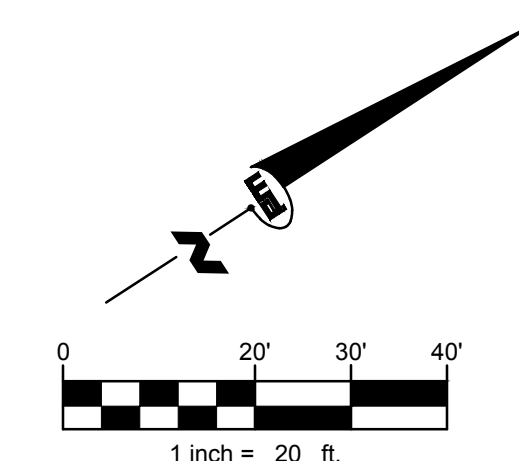
- (3P) DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. PLACE TOPSOIL SURFACE, SALV. 3 INCH, MDOT SEEDING, MIXTURE TUF APPLIED AT A RATE OF 220 LB/ACRE, FERTILIZER, CHEMICAL NUTRIENT, CL A APPLIED AT A RATE OF 228 LB/ACRE; MULCH AT A RATE OF 2 TON/ACRE AND MULCH ANCHORING. (APPLIES TO ENTIRE PROJECT)
- (7P) DENOTES RIPRAP. PLAIN. INSTALL RIPRAP. PLAIN AS DIRECTED BY THE ENGINEER IN THE FIELD. THE RIPRAP. PLAIN PAY ITEM SHALL INCLUDE A GEOTEXTILE UNDERLAYMENT.
- (26T) DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.
- (29T) DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM.

STORM STRUCTURES

ST-01 DR STRUCTURE, 48 INCH DIA EJ 1120/M1	RIM 721.32 INV. 716.33 - 12" N
ST-02 DR STRUCTURE, 48 INCH DIA COVER K	RIM 720.81 INV. 715.11 - 12" SW INV. 715.01 - 12" SE
ST-03 DR STRUCTURE, 48 INCH DIA COVER K	RIM 720.96 INV. 714.59 - 12" NW INV. 715.12 - 12" SW INV. 715.79 - 12" NE
ST-04 DR STRUCTURE, 48 INCH DIA EJ 1120/M1	RIM 721.32 INV. 716.33 - 12" NE
ST-05 DR STRUCTURE, 48 INCH DIA COVER K	RIM 721.96 INV. 715.98 - 12" S INV. 715.98 - 12" NE

EROSION CONTROL LEGEND

- — □ — SILT FENCE
- CONSTRUCTION LIMITS



03/07/2017	REV. PER CITY'S COMMENTS	BSD
02/07/2017	CITY PLANNER SUBMITTAL	PAD
01/07/2017	OWNER SUBMITTAL	PAD
00/04/2017	PRELIMINARY - NOT FOR CONSTRUCTION	PAD

REVISIONS

DATE: JUNE, 2017
SCALE: 1" = 20'

GRADING AND UTILITIES PLAN

CITY OF PLAINWELL



PROJECT / SITE PLAN REVIEW FORM

Rev. 8/2005

Today's Date: **7/12/17**

Parcel Number: **TBA**

Project Site Address: **554 Allegan St.**

Owner(s) w/Contact Information: **Rick Schell – 269-303-6402**

Contractor(s) w/Contact Information: **Hazelhoff Builders, Inc**

Current Zoning: **CBD**

Wellhead Protection/Flood Hazard District? **No**

Description of Proposed Project: **New Construction 82 x 50 building w/drive through. Portion of building used for office and remainder for making donuts and service.**

1. Is The Project a Permitted Use? **YES** If No, Is Proposed Use a Permitted Use After Special Approval?

2. Have All The Necessary Copies Of The Proposed Project Been Submitted (PDF Format)? **Yes**

3. Zoning Permit has Been Completed? **YES**

4. Is the Site Plan Accompanied By:

- Legal description- **YES**
- Gross land area with north point -
- Zoning classification- **YES**
- Zoning and land use of abutting lots, w/structures and improvements indicated-
- Name and address of person preparing the site plan- **YES**
- Scale- **YES**
- Structure location(s)- **YES**
- Dimensions of lot and property lines- **YES**
- Location of all structures on subject and abutting properties- **YES**
- Location of each proposed structure, w/use(s), w/number of stories, gross building area-? **YES**
- Distances between structures and lot lines, setback lines- **YES**
- Occupancy type - **YES**
- Fire exits

5. Parking (and Paving)

- Proper number of parking spots/handicap? **YES**
- Location of loading docks/zone? **YES**
- Adequate loading space? **YES**
- Asphalt or gravel requirement met? **YES**

6. Landscaping

- Location and volume meets requirement? **YES**

7. Lighting

- Exterior lighting kept substantially on property? **YES**

8. Traffic Flow (vehicular and pedestrian)

- Driveway permit needed? **Yes**

Traffic Signal needs to be updated to accommodate N Prince St traffic at M-89

- Does traffic circulation provide safe vehicular and pedestrian flow **YES**
- Public safety vehicle access? **YES**
- Fire lanes needed? **Adequate**

9. Storm Water Retention

- Location of proposed storm collection area shown? **YES**
- Adequate size? **Yes**

10. Dumpster

- Location and screening? **YES**

11. Water and Sewer Lines (hookups)

- Will permits be needed? **Not provided.**
- Size and location of water connections/meter(s)? **Not provided.**
- Is a backflow preventer required? **Not provided.**
- Size and location of sewer connections? **Not provided.**
- Hydrant location **523 Fairlane St, 520 Michigan St, 521 Across the street, recommend new hydrant located on N Prince St.**

12. Noise, Odor, Particulate, Vibration, Combustible or Hazardous Material Concerns

13. Signage Plan

- Describe plan: **50 sq. ft. in front of building (on plans) w/landscaping**

14. Outside Storage

- Will outside storage be required?
- Proper screenage and distances met?

15. Is Minimum/Maximum Lot Width Requirement Met? **YES**

16. Is Minimum/Maximum Lot Area Requirement Met? **YES**

17. Is Minimum/Maximum Height Requirement Met? **YES**

18. Setback Requirements

- Front? **124 ft.**
- Back? **243 ft.**
- Side? **24.5 ft. / Side – 49.4 ft.**

19. Phase Construction (if applicable)

- Description of each phase:

20. Fire Suppression Considerations (if applicable)

- Is sprinkler needed or recommended **Yes, details not submitted at this time**
- Fire Pump needed (3 stories or more) **NO**

Reviewed by Denise Siegel, Rick Updike, Bill Bomar, Erik Wilson, Williams & Works

MEMORANDUM

To: City of Plainwell Planning Commission
Date: July 14, 2017
From: Maxwell K. Dillivan, AICP
RE: **Sweetwater's Site, 554 W. Allegan Street: Site Plan**

Overview

An application has been submitted that requests approval of a site plan for a dine-in and carry-out donut shop with drive-thru service. The subject site is located at 554 W. Allegan St. (#55-030-077-20). The project area is approximately 1.61 acres and is zoned Central Business District (CBD).

Proposal: Approval of this application would authorize the following site improvements:

- Clearing and excavation of the site.
- Construction of a 4,125-square foot building.
- Landscaping.
- Construction of driveways (2), curbing, and a parking lot (52 spaces).
- Construction of a stormwater retention area.



Existing Conditions: The subject site is currently undeveloped. Adjacent lands include:

- North: Undeveloped strip of land adjacent to the Kalamazoo River (CBD).
- South: Wesco gas station (C-2).
- East: Undeveloped parcel (CBD).
- West: Currently undeveloped parcel which will be used for the construction of the Prince Street extension (CBD).

Completeness Review

Site plans must be accompanied by the items listed in Section 53-128 B. of the Zoning Ordinance. Additionally, the site plan must contain the information required in Section 53-128 C. While the submittal is incomplete, materials are sufficient for a full zoning and site plan review. However, the following items remain outstanding and should be provided:

- *Gross land area of the development and land use of the area surrounding the proposed development, including the location of structures and other improvements. (Land area without right-of-way is included, however).*
- *Number of stories of proposed structures, gross building area, distances between structures and lot lines.*

The City Manager, the Planning Commission, and City Council may require additional information to assist in the consideration of the proposed development (Section 53-128 C.15.)

Site Plan Review

Site plan approval shall be granted if the proposal meets all applicable standards set forth in the Zoning Ordinance.

Site Plan Review Requirements (Section 53-128 D.):

- A. *The vehicular transportation system shall provide for circulation throughout the site and for efficient ingress and egress to all parts of the site by fire and safety equipment. **Condition recommended. Fire Department approval necessary.***

The site is proposed to be accessed off the future extension of Prince Street with two points of ingress and egress to the Prince Street extension. The applicant also proposes a curb cut for vehicular access to a future development on the property to the east of the site. The potential for future cross-access vehicle movement to the east is also preserved at the front of the property (southeast corner), as the area is paved up to the shared lot line and not striped for parking.

- B. *Pedestrian walkways shall be provided as deemed necessary by the Planning Commission for separating pedestrian and vehicular traffic. **Meets standard, condition recommended.***

The site proposes six (6) inch raised concrete sidewalks on the north, east, and south sides of the proposed building. The applicant should include a sidewalk along the Prince Street extension to allow for future non-motorized connectivity and pedestrian access.

- C. *Recreation and open space areas shall be provided in all multiple-family residential developments. **Not applicable.***

- D. *The site plan shall comply with the district requirements for minimum floor space, height of building, lot size, yard space, density and all other requirements as set forth in the Zoning Chapter, unless otherwise provided. **Meets standard.***

The proposed development complies with district requirements for the CBD, Central Business District.

- E. *The requirements for fencing, walks and other protective barriers shall be complied with as provided in this chapter and as deemed appropriate by the Planning Commission. **Not applicable.***
- F. *The site plan shall provide for adequate on-site storage space for the proposed uses. **Not applicable.***
- G. *Security measures shall be provided as deemed necessary by the Police Chief for resident protection in all multiple-family residential developments. **Not applicable.***
- H. *Fire protection measures shall be provided as deemed necessary by the Fire Chief in conformance with all applicable laws of the state for the protection of residents and/or occupants of the structures. **Fire Department approval necessary.***
- I. *The site plan shall comply with all requirements of the applicable zoning district, unless otherwise provided. **Meets standard.***

The use is permitted by-right in the CBD Central Business District and meets the standard for maximum building height and all setbacks.

General Zoning Review

1. Parking (Section 53-175 & Section 53-176):

*The amount of required off-street parking space for new uses or buildings, additions thereto and additions to existing buildings, additions thereto and additions to existing buildings as specified above, shall be determined in accordance with the following table and the space, so required shall be stated in the application for a building permit and shall be irrevocably reserved for the use and/or shall comply with the initial part of this section. Land uses within the Central Business District Zoning District may be exempt from the table of parking requirements, if the Board of Appeals determines that required parking cannot be met. **Meets standard.***

According to the accompanying table under Section 53-176, subsection 3.g. lists the required parking spaces for establishments for sale and consumption on the premises of beverages, food, or refreshments. Based upon the submitted plan, this proposal will require 52 parking spaces (unless the ratio of one (1) space for every six (6) seats is greater which the applicant would need to confirm). The site plan indicates 52 parking spaces on the site including three (3) barrier-free spaces where two (2) of which are van-accessible.

The applicant shows five (5) stacking spaces to the west of the building presumably where the drive-thru window will be located. The applicant should provide further information regarding the nature of the drive-thru service. For instance, establishments selling coffee may experience an influx of traffic before normal business hours begin in the morning,

leaving the five (5) stacking spaces shown to be insufficient. Our concern is that stacking of several vehicles may interfere with two-way internal circulation if the line of vehicles extends around the green space, to the northeast of the building. One possible consideration would be to eliminate two-way traffic east of the building which would allow for considerably more stacking spaces.

2. *Off-Street Loading and Unloading (Section 53-179):*

- A. *On the same premises with every building, structure or part thereof, erected and occupied for manufacturing, storage, warehousing, retailing display, or other uses involving the receipt or distribution of vehicles or materials or merchandise, there shall be provided and maintained on the lot adequate space for standing, loading and unloading services adjacent to the opening used for loading and unloading, designed to avoid interference with public use of the streets or alleys. The loading and unloading space shall be an area in minimum 12 feet in width by 50 feet in length with a 15-foot height clearance, and shall be provided according to the following table. **Meets standard.***

According to the table, one (1) loading space is required for structures with a gross floor area between 2,101 and 20,000 square feet. The applicant proposes one (1) loading area which will be 12.5 feet in width and 54 feet in length. The applicant should confirm if the 15-foot height clearance will be met.

3. *Landscaping (Section 43-124 B.):*

*For nonresidential uses in nonresidential districts, a minimum of 15% of the total lot area in landscaping, one tree or shrub for every 1,000 square feet or portion thereof, plus one tree for every 1,500 square feet of landscaped area or portion thereof shall be required. Ground cover is required in all landscape areas. Landscaping of adjacent right-of-way area shall be included in satisfying the minimum on-site requirement if it is maintained by the adjacent property owner. A minimum of 33% of required landscape area shall be located between any building and the street. **Confirmation needed.***

The applicant has provided a landscaping plan as part of this application. The minimum 15% of the total lot area is met (8,750 sq. ft. provided) along with one (1) required tree or shrub for every 1,000-sq. ft. of the 15% of the total area (nine (9) shrubs provided) and one (1) tree for every 1,500-sq. ft. of the 15% of the total area (six (6) trees provided). The applicant should confirm that 33% of the required landscape area (2,888 sq. ft. in total) is located between the building and the street.

4. *District Sign Regulations (Section 52-10):*

*Signs in the districts listed below shall be permitted as stated. Any sign not expressly permitted is prohibited. **Does not meet standard.***

The applicant has not submitted a MSP (master sign plan); however, the site plan proposes a 50-square foot freestanding sign near the southwestern corner of the site.

No further specifications or details of the sign are provided regarding type, illumination, material, or mounting structure. However, ground-mounted signs are not permitted in the CBD District.

5. *Incinerators and Trash Containers (Section 53-126):*

- A. *Adequate vehicular access shall be provided to the containers for truck pickup either via a public alley or vehicular access aisle which does not conflict with the use of off-street parking areas or entrances to or exits from principal buildings nearby. **Meets standard.***

The applicant is proposing a 19 ft. by 25 ft. dumpster enclosure in the northeastern corner of the site. Access to the dumpster enclosure does not conflict with off-street parking areas.

- B. *A solid ornamental screening wall or fence shall be provided around all sides of trash containers which shall be provided with a gate for access and be of the height as to completely screen the containers, the maximum height of which shall not exceed six feet. **Meets standard.***

The enclosure will be composed of a six (6) ft. wood stockade fence.

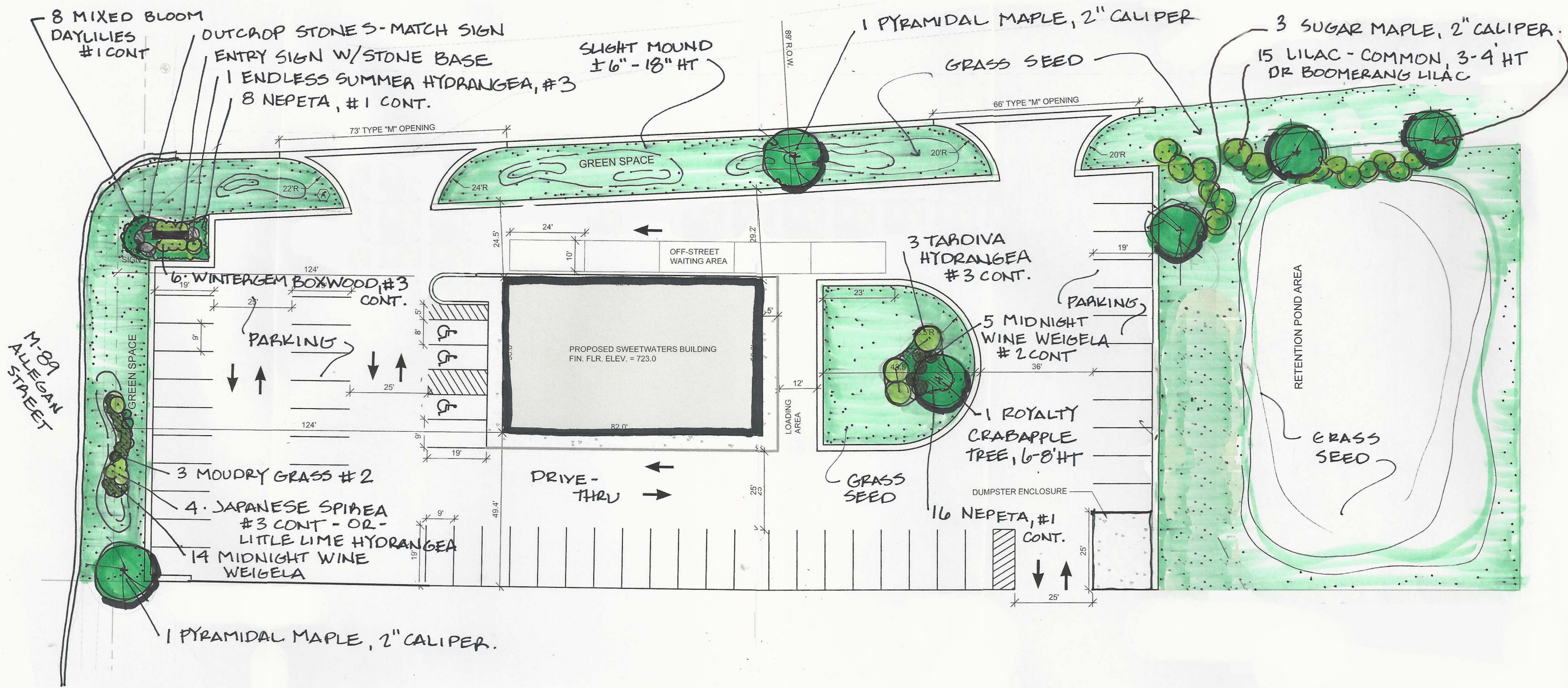
- C. *The trash container(s), the screening wall or fence and the surrounding ground area shall be maintained in a neat and orderly appearance, free from rubbish, waste paper or other debris. This maintenance shall be the responsibility of the owner of the premises on which the containers are placed. **Standard to be met.***
- D. *The trash container(s) shall not be located closer than five feet to any lot line of adjacent residentially zoned property. **Not applicable.***

The site does not abut any residentially zoned property.

Recommendation

At this time, we feel that there are too many outstanding items to recommend approval. However, if the applicant addresses our concerns to the satisfaction of the Planning Commission, the project could be approved with the following conditions:

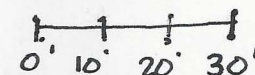
1. Provide a sidewalk along the Price Street extension frontage.
2. Provide outstanding checklist items.
3. The applicant should confirm that 33% of the required landscape area (2,888 sq. ft. in total) is located between the building and the street.
4. Provide signage plan per City requirements. Confirm signage type, materials, and illumination.
5. Secure approval from the Fire Department and City Engineer.



SWEETWATER'S LANDSCAPE PLAN

RIDGEVIEW RETAIL COMPLEX
 554 ALEGAN STREET, PLAINWELL, MI

scale: ~ 1" = 30'-0"
 date: 7-12-17



CIRCLEWOOD DESIGN LLC
 BETHANY M. GRIEVES, LANDSCAPE ARCHITECT
 EMAIL: circlewooddesign@gmail.com

MEMORANDUM

To: City of Plainwell Planning Commission
Date: June 22, 2017
From: Maxwell K. Dillivan, AICP
RE: **Wesco #9, 551 W. Allegan Street: Site Plan**

Overview

An application has been submitted that requests approval of a site plan for a gasoline service station (#55-340-004-00). The project area is approximately 0.4 acres and is zoned General Commercial (C-2).

Proposal: Approval of this application would authorize the following site improvements:

- Removal and replacement of existing fueling dispensers and 1,800 sq. ft. canopy.
- Construction of new curbs and driveways.
- Repaving of the site.
- Replacement of the existing retaining wall.
- Installation of dumpster enclosure and accessory building.



Existing Conditions: The subject site is currently used for a gasoline service station and accompanying convenience store. Adjacent lands include:

- North: Undeveloped across M-89 (C-2).
- South: Harding's Market (C-2).
- East: Residential across M-89 (R-1B).
- West: Wash Well (C-2 and CS).

Completeness Review

Site plans must be accompanied by the items listed in Section 53-128 B. of the Zoning Ordinance. Additionally, the site plan must contain the information required in Section 53-128 C. The submittal is incomplete, and the following items remain outstanding.

- *The gross land area of the development;*
- *Approximate location of loading points;*
- *A general plan for the landscaping of the development and the method by which landscaping is to be accomplished and be maintained;*

Site Plan Review

The site plan amendment approval shall be granted if the proposal meets all applicable standards set forth in the Zoning Ordinance.

Site Plan Review Requirements (Section 53-128 D.):

- A. *The vehicular transportation system shall provide for circulation throughout the site and for efficient ingress and egress to all parts of the site by fire and safety equipment. **Condition recommended. Fire Department approval necessary.***

The site plan illustrates the fuel pump canopy structure as rotated 90 degrees from its current position on the site. By doing so, we feel vehicular circulation and pedestrian safety on the site will be improved from its current state. However, Fire Department approval is necessary.

- B. *Pedestrian walkways shall be provided as deemed necessary by the Planning Commission for separating pedestrian and vehicular traffic. **Not necessary.***

While there are inherent potential conflict points between vehicles entering and leaving the fuel pump areas and pedestrians walking into the store, the proposed layout will minimize conflict points by keeping vehicle traffic concentrated further toward the northern portions of the site. Parking spaces are proposed to have direct access to the storefront entry sidewalk.

- C. *Recreation and open space areas shall be provided in all multiple-family residential developments. **Not applicable.***

- D. *The site plan shall comply with the district requirements for minimum floor space, height of building, lot size, yard space, density and all other requirements as set forth in the Zoning Chapter, unless otherwise provided. **Does not meet standard.***

The applicant is proposing a 140 sq. ft. accessory structure adjacent to the dumpster enclosure and approximately seven (7) feet from the main building. According to Section 53-105 E., no accessory building shall be located closer than ten feet to any main building.

- E. *The requirements for fencing, walks and other protective barriers shall be complied with as provided in this chapter and as deemed appropriate by the Planning Commission. **Meets standard.***

The applicant proposes to replace the existing brick retaining wall with a guard rail installed on the top of the retaining wall located along the western edges of the site. The proposed retaining wall meets all requirements listed in Section 53-125.

- F. *The site plan shall provide for adequate on-site storage space for the proposed uses. **Not applicable.***
- G. *Security measures shall be provided as deemed necessary by the Police Chief for resident protection in all multiple-family residential developments. **Not applicable.***
- H. *Fire protection measures shall be provided as deemed necessary by the Fire Chief in conformance with all applicable laws of the state for the protection of residents and/or occupants of the structures. **Fire Department approval necessary.***
- I. *The site plan shall comply with all requirements of the applicable zoning district, unless otherwise provided. **Meets standard.***

The use is permitted by-right in the C-2 General Commercial District and meets the standard for maximum building height and side and rear setbacks.

General Zoning Review

Parking (Section 53-175 & Section 53-176):

*The amount of required off-street parking space for new uses or buildings, additions thereto and additions to existing buildings, additions thereto and additions to existing buildings as specified above, shall be determined in accordance with the following table and the space, so required shall be stated in the application for a building permit and shall be irrevocably reserved for the use and/or shall comply with the initial part of this section. Land uses within the Central Business District Zoning District may be exempt from the table of parking requirements, if the Board of Appeals determines that required parking cannot be met. **Does not meet standard. Recommend waiver.***

According to the accompanying table under Section 53-176, subsection 3.a. lists the required parking spaces for gasoline stations. Based upon the submitted plan, this proposal will require approximately 20 parking spaces (depending on the exact gross floor area devoted to retail sales and number of employees required for this operation which the applicant would need to confirm). The site plan indicates just six (6) parking spaces on the site.

The applicant should demonstrate the proposed parking for the site is sufficient to handle the parking demand. Given the proximity to the nearby 100+ parking spaces for Harding's Market and the ability for "stacking" spaces at the fuel pumps and immediately behind, the Planning Commission may wish to recommend to City Council that the parking space requirements are waived if the applicant is able to provide sufficient reasoning. The parking lot servicing the Harding's Market could potentially absorb any excess demand of parking for the gasoline service station.

Off-Street Loading and Unloading (Section 53-179):

- A. *On the same premises with every building, structure or part thereof, erected and occupied for manufacturing, storage, warehousing, retailing display, or other uses involving the receipt or distribution of vehicles or materials or merchandise, there shall be provided and maintained on the lot adequate space for standing, loading and unloading services adjacent to the opening used for loading and unloading, designed to avoid interference with public use of the streets or alleys. The loading and unloading space shall be an area in minimum 12 feet in width by 50 feet in length with a 15-foot height clearance, and shall be provided according to the following table. **Unknown; confirmation from applicant needed.***

The site plan does not indicate a proposed loading space, nor does a loading zone currently exist on the site. According to the table, one (1) loading space is required for structures with a gross floor area between 2,101 and 20,000 square feet. Upon confirmation of the square footage of the existing structure, it is likely the gas station would require one (1) loading space. The applicant should confirm how merchandise and products are currently delivered and loaded into the existing store, hours of delivery, and the type of vehicle utilized. The Planning Commission may wish to waive this requirement if it deems a loading space is unnecessary.

Landscaping (Section 43-124 B.):

*For nonresidential uses in nonresidential districts, a minimum of 15% of the total lot area in landscaping, one tree or shrub for every 1,000 square feet or portion thereof, plus one tree for every 1,500 square feet of landscaped area or portion thereof shall be required. Ground cover is required in all landscape areas. Landscaping of adjacent right-of-way area shall be included in satisfying the minimum on-site requirement if it is maintained by the adjacent property owner. A minimum of 33% of required landscape area shall be located between any building and the street. **Does not meet standard.***

The applicant has not provided any landscaping plan as part of this application. The Planning Commission may wish to require the applicant to provide a landscaping plan and address the current lack of proposed landscaping. Given the site's location and proximity to the US 131/M-89 interchange, this site serves as a gateway into the city. Although the development does not currently conform to the landscaping requirement, the extent of the improvements warrant compliance or at least an effort to meet the intent of the ordinance. Including at least some landscaping near the corner may provide a much more visually attractive look to the site and provide a more pleasing look for motorists entering the city.

Signs (Chapter 52)

- A. *There shall be no signs located on fuel pump islands, except those constituting an integral part of the pump itself or those required by state law or regulation. There shall be no signs attached to light standards. **Meets standard.***

The applicant is not proposing any signs located on fuel pump islands.

- B. *Only one attached, non-projecting, sign is permitted on each fuel pump canopy face which is visible from a public street. The signs may only identify “self-service”, “full service” or the name of the station, in which case the maximum size shall be 20 square foot in surface display area. **Meets standard.***

The applicant is proposing one (1) sign on each canopy face; one (1) fuel price display sign on each of the west and east end of the canopy faces, and one (1) attached, non-projecting sign on each of the south and north faces. The fuel price display signs are flush fixture, 100-watt light emitting diode (LED) totaling 18 square feet. The attached, non-projecting signs are an adhered vinyl material totaling 18 square feet.

- C. *Gas stations shall also be permitted one gasoline price sign, except that two price signs, one facing each street, shall be permitted for stations located at the intersection of two major thoroughfares. The signs shall not exceed 30 square feet in area. Additional freestanding, ground mounted and wall signage shall conform to district requirements. **Meets standard.***

The existing pole sign located near the intersection on the site is proposed to remain and not be altered.

Incinerators and Trash Containers (Section 53-126):

- A. *Adequate vehicular access shall be provided to the containers for truck pickup either via a public alley or vehicular access aisle which does not conflict with the use of off-street parking areas or entrances to or exits from principal buildings nearby. **Meets standard.***

The applicant is proposing a ten (10) ft. by 14 ft. dumpster enclosure in the southwestern corner of the site. Access to dumpster enclosure does not conflict with off-street parking areas.

- B. *A solid ornamental screening wall or fence shall be provided around all sides of trash containers which shall be provided with a gate for access and be of the height as to completely screen the containers, the maximum height of which shall not exceed six feet. **Meets standard.***

The enclosure will be composed of a six (6) ft. vinyl fence.

- C. *The trash container(s), the screening wall or fence and the surrounding ground area shall be maintained in a neat and orderly appearance, free from rubbish, waste paper or other debris. This maintenance shall be the responsibility of the owner of the premises on which the containers are placed. **Standard to be met.***
- D. *The trash container(s) shall not be located closer than five feet to any lot line of adjacent residentially zoned property. **Not applicable.***

The site does not abut any residentially zoned property.

Recommendation

At this time, we feel that there are too many outstanding items to recommend approval.

1. Provide outstanding checklist items.
2. Revise site plan to include an accessory structure to be compliant per Section 53-105 E.
3. Demonstrate proposed parking for the site is sufficient to handle the parking demand. A waiver may be considered if Planning Commission feels provided parking is sufficient.
4. Provide method, hours, and type of vehicle used for delivery of products and merchandise to be sold inside the main gas station building. A waiver may be considered if Planning Commission does not feel a loading space is required.
5. Provide landscaping per Planning Commission requirements.
6. Secure approval from the Fire Department and City Engineer.

WESCO, INC.

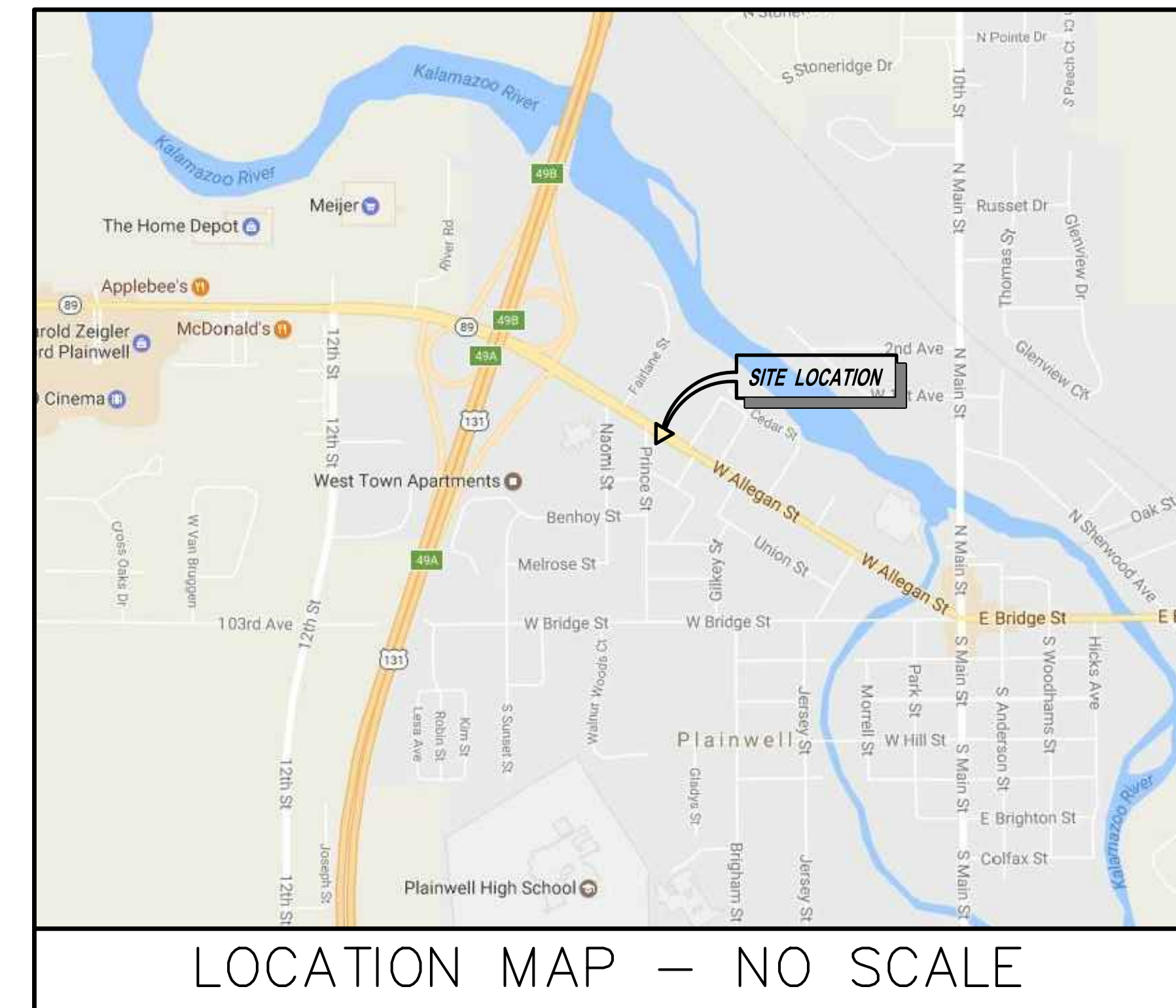
WESCO #9 (PLAINWELL) IMPROVEMENTS

551 ALLEGAN ST. SECTION 30, T01N, R11W PLAINWELL, MICHIGAN 49080

DRAWING INDEX

- | | |
|--------|-------------------------------------|
| G-001 | TITLE SHEET |
| G-002 | PHASING PLAN |
| V-101 | TOPOGRAPHIC/BOUNDARY SURVEY |
| CD-101 | DEMOLITION PLAN |
| C-101 | SITE PLAN |
| C-102 | GRADING, STORM SEWER, AND SESC PLAN |
| C-501 | DETAILS |
| C-502 | DETAILS |

SITE ADDRESS
PPN #55-340-004-00 551 ALLEGAN ST PLAINWELL, MICHIGAN 49080
OWNER
WESCO, INC. 1460 WHITEHALL ROAD, SUITE C MUSKEGON, MI 49445 (231) 719-4371 CONTACT: STACEY WHALEN EMAIL: swhalen@wescoinc.com
ENGINEER
DRIESENKA & ASSOCIATES, INC. 12330 JAMES STREET, SUITE H80 HOLLAND, MICHIGAN 49424 (616) 396-0255 CONTACT: JOHN TENPAS, P.E. EMAIL: john@drisesenga.com



DRIESENKA & ASSOCIATES, INC.
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 www.drisesenga.com
 Holland, MI - 616-396-0255
 Grand Rapids, MI - 616-249-3800
 Kalamazoo, MI - 269-544-1455
 Detroit, MI - 616-396-0255

REVISIONS	
1	ISSUED FOR SITE PLAN APPROVAL 2017-07-12

WESCO #9 (PLAINWELL) IMPROVEMENTS
 SEC. 30, T01N, R11W CITY OF PLAINWELL, ALLEGAN CO.
 WESCO, INC.
 1460 WHITEHALL ROAD, SUITE C
 MUSKEGON, MICHIGAN 49445
TITLE SHEET

Designed By: JMT
Drawn By: AQA
Checked By: _____ Date: _____
Plot: NO SCALE
Scale: 07-12-2017
Date: 1710060.1A
Job No: _____
Sheet No: _____

ISSUED FOR APPROVAL

G-001

1 of 8

File Name: N:\Users\Projects\2017\1710060.1A WESCO-09 (Plainwell)\DWG\1710060.1A Site 8.dwg
 Last Saved: 7/12/2017 3:12:05 PM



TOPOGRAPHIC/BOUNDARY SURVEY

BENCHMARK DATA

NAVD '88 AS DERIVED FROM GPS OBSERVATIONS UTILIZING KALAMAZOO CORS CONUS '09

BM #1 EL= 725.53' (NAVD '88 DATUM)
CUT "X" IN TOP OF LARGE SPOUT OF HYDRANT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF M-89 (ALLEGAN STREET) AND MICHIGAN AVENUE.

BM #2 EL= 723.50' (NAVD '88 DATUM)
CUT "X" IN EASTERLY MOST BOLT OF TRAFFIC LIGHT STATION LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF M-89 (ALLEGAN STREET) AND PRINCE STREET.

BM #3 EL= 725.72' (NAVD '88 DATUM)
CUT "BOX" IN THE NORTHEAST CORNER OF CONCRETE AIR CONDITIONER PAD LOCATED 7 FEET EAST OF THE SOUTHWEST CORNER OF THE WESCO BUILDING.

SURVEYOR'S NOTES

- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL FIELD MEASUREMENTS AND AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG - CALL MISS DIG AT 811.
- CONTOUR INTERVAL = 1 FOOT.

LEGAL DESCRIPTION
(PROVIDED BY CLIENT)

LOTS 7, 8, AND 9, OF TALBOT'S ADDITION TO THE CITY OF PLAINWELL, ALLEGAN COUNTY, MICHIGAN, A.K.A. 551 ALLEGAN STREET.

HIGHWAY EASEMENT LEGAL DESCRIPTION
(PROVIDED BY CLIENT)

RECORDED IN LIBER 3567 PAGE 498.
ALL THAT PART OF THE FOLLOWING DESCRIBED TRACT "A" WHICH LIES WITHIN A PARCEL DESCRIBED AS: BEGINNING AT THE NORTHWEST CORNER OF LOT 9 OF TALBOT'S ADDITION TO THE VILLAGE (NOW CITY) OF PLAINWELL AS RECORDED IN LIBER 4 OF PLATS ON PAGE OF THE REGISTER OF DEEDS FOR ALLEGAN COUNTY, MICHIGAN; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT 9 AND THE EXISTING EASTERLY RIGHT OF WAY LINE OF PRINCE STREET A DISTANCE OF 35.00 FEET; THENCE NORTHEASTERLY TO A POINT ON THE NORTH LINE OF SAID LOT 9 (SAID POINT ALSO BEING A POINT ON THE EXISTING SOUTHWESTERLY RIGHT OF WAY LINE OF HIGHWAY M-89) WHICH IS 19.00 FEET SOUTHWEST OF THE POINT OF BEGINNING; THENCE NORTHWESTERLY ALONG SAID NORTH LINE OF SAID LOT 9 AND THE EXISTING SOUTHWESTERLY RIGHT OF WAY LINE OF HIGHWAY M-89 A DISTANCE OF 19.00 FEET TO THE POINT OF BEGINNING.

STATE PLANE GRID AND DISTANCES WITH A COMBINED SCALE FACTOR OF 0.99990590. STATE PLANE DISTANCE/0.99990590 = GROUND DISTANCE.

THE LANDS DESCRIBED ABOVE IN EASEMENT CONTAIN 282 SQUARE FEET, MORE OR LESS.

TRACT "A": LOTS 7, 8, 9, TALBOT'S ADDITION TO THE VILLAGE (NOW CITY) OF PLAINWELL, MICHIGAN, AS RECORDED IN LIBER 4 OF PLATS ON PAGE 8, ALLEGAN COUNTY RECORDS.

SURVEY CONTROL

HORIZONTAL GROUND COORDINATES BASED UPON MSPC (SOUTH) NAD 83 GROUND TO GRID CONVERSION FACTOR OF 0.99990662.

POINT NUMBER	NORTHING (MSPC GROUND)	EASTING (MSPC GROUND)	ELEVATION (NAVD '88)
2	347779.5479'	12776527.2937'	722.81'
3	347557.5494'	12776987.1771'	723.89'
4	347304.8721'	12776783.4970'	726.37'
5	347520.9337'	12776540.0431'	730.51'
6	347706.7861'	12776749.3947'	723.26'

SANITARY STRUCTURE DATA

MH A - RIM = 729.33
(NOT SHOWN-S ON PRINCE)
INV (N) 8" CLAY = 721.60
INV (E) 8" CLAY = 722.23
INV (S) 8" CLAY = 721.64

MH B - RIM = 722.72
INV (NNW) 8" CLAY = 716.77
INV (E) 8" CLAY = 717.22
INV (S) 8" CLAY = 716.82

MH C - RIM = 722.23
INV (NE) 8" CLAY = 714.73
INV (SSE) 8" CLAY = 714.78

MH D - RIM = 722.27
INV (NW) 12" PVC = 714.53
INV (SE) 12" PVC = 714.60
INV (SW) 8" CLAY = 714.61

MH E - RIM = 722.20
INV (NW) 12" CLAY = 714.49
INV (NE) 8" PVC = 714.55
INV (SE) 12" PVC = 714.59

MH F - RIM = 723.28
(NOT SHOWN-SE ON ALLEGAN)
INV (NW) 12" PVC = 715.18
INV (NE) 8" PVC = 715.23
INV (SE) 12" PVC = 715.28

STORM STRUCTURE DATA

MH #1 - RIM = 728.28
3'Ø PRECAST STRUCTURE
INV (N) 12" CONC = 723.98
INV (E) 12" CONC = 724.58
INV (W) 12" CONC = 724.43
BOTTOM = 723.98

CB #2 - RIM = 728.29
2'Ø BLOCK STRUCTURE
INV (E) 12" CONC = 726.34
BOTTOM = 726.34

CB #3 - RIM = 728.12
INACCESSIBLE

CB #4 - RIM = 722.42
2'Ø BLOCK STRUCTURE
INV (E) 12" CONC = 718.12
BOTTOM = 716.92

MH #5 - RIM = 722.39
4'Ø PRECAST STRUCTURE
INV (NNE) 18" CONC = 717.49
INV (NE) 12" CONC = 718.59
INV (S) 12" CONC = 718.59
INV (W) 12" CONC = 717.69
BOTTOM = 717.49

CB #6 - RIM = 721.83
2'Ø PRECAST STRUCTURE
INV (SW) 12" CONC = 719.53
BOTTOM = 719.33

MH #7 - RIM = 722.30
4'Ø PRECAST STRUCTURE
INV (NW) 12" CONC = 717.36
INV (SE) 12" CPP = 716.10
INV (SSW) 18" CONC = 716.90
BOTTOM = 715.85

MH #8 - RIM = 721.96
6'Ø PRECAST STRUCTURE
INV (N) 36" CONC = 714.36
INV (SE) 12" CPP = 715.96
INV (S) 24" CPP = 716.25
INV (NW) 12" CPP = 716.46
BOTTOM = 714.01

MH #9 - RIM = 721.73
4'Ø PRECAST STRUCTURE
INV (SE) 12" CPP = 716.78
INV (SSW) 12" CPP = 716.78
INV (N) 10" PVC = 718.73
BOTTOM = 716.58

MH #10 - RIM = 721.68
NO INVERT INFO OBTAINED

CB #11 - RIM = 721.54
NO INVERT INFO OBTAINED

MH #12 - RIM = 721.98
4'Ø PRECAST STRUCTURE
INV (N) 12" CPP = 717.18
INV (SW) 12" CPP = 717.18
BOTTOM = 716.83

MH #13 - RIM = 721.87
4'Ø PRECAST STRUCTURE
INV (NW) 12" CPP = 716.32
INV (N) 6" PVC = 717.27
INV (NE) 10" PVC = 719.82
INV (E) 6" PVC = 717.27
INV (SE) 12" CPP = 716.32
BOTTOM = 716.27

CB #14 - RIM = 721.70
INV (SW) 10" PVC = 719.95

CB #15 - RIM = 721.91
4'Ø PRECAST STRUCTURE
INV (NW) 12" CPP = 717.06
INV (N) 6" PVC = 717.71
INV (ENE) 6" PVC = 717.71
INV (SE) 12" CPP = 717.06
INV (SW) 12" CPP = 719.06
BOTTOM = 715.06

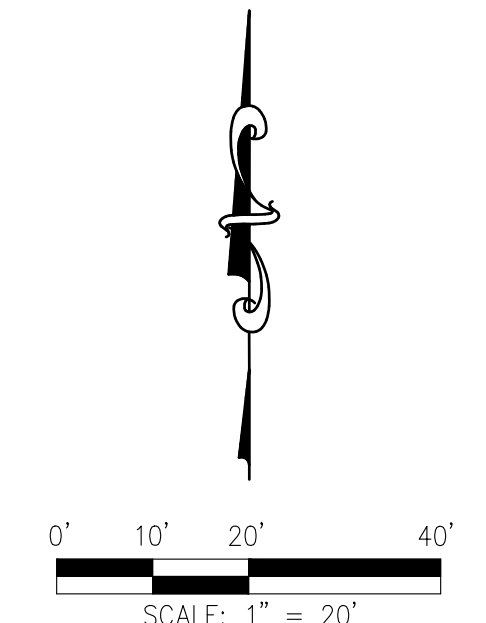
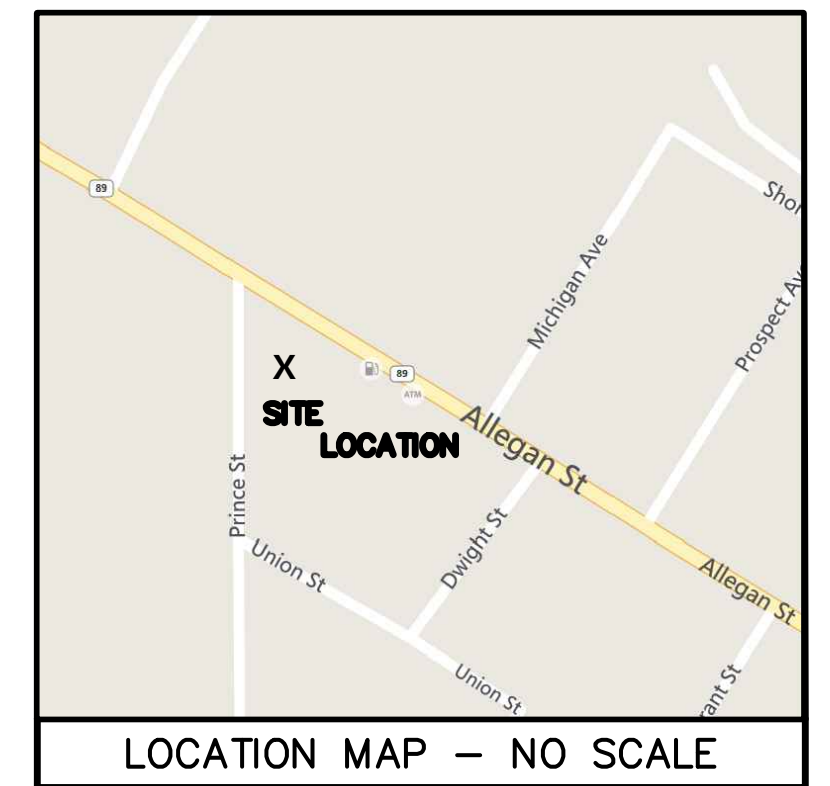
MH #16 - RIM = 722.01
2'Ø PRECAST STRUCTURE
INV (NE) 12" SL CPP = 719.06
BOTTOM = 718.76

CB #17 - RIM = 722.26
4'Ø PRECAST STRUCTURE
INV (NW) 12" SL CPP = 717.36
INV (SE) 12" CPP = 717.36
INV (SSE) 6" PVC = 717.81
BOTTOM = 715.36

CB #18 - RIM = 722.63
4'Ø PRECAST STRUCTURE
INV (NW) 12" CONC = 717.83
INV (NNW) 6" PVC = 718.13
INV (SSE) 6" PVC = 718.13
BOTTOM = 715.83

CB #19 - RIM = 722.57
4'Ø PRECAST STRUCTURE
INV (NW) 12" SL CPP = 716.92
INV (SE) 12" SL CPP = 717.02
BOTTOM = 714.87

MH #20 - RIM = 723.08
(NOT SHOWN)
4'Ø PRECAST STRUCTURE
INV (NW) 12" SL CPP = 717.68
INV (NE) 12" SL CPP = 718.08
INV (SE) 12" SL CPP = 717.68
BOTTOM = 717.38



LEGEND

- BENCHMARK
- SET CONCRETE MONUMENT
- MONUMENT FOUND
- SET CAPPED REBAR #47948
- FOUND IRON
- SET CHISELED "X"
- FOUND CHISELED "X"
- CONTROL POINT
- PLATED
- DESCRIBED
- MEASURED
- RECORD
- STORM SEWER MANHOLE
- CATCH BASIN
- SANITARY SEWER MANHOLE
- CLEANOUT
- WELL HEAD
- FIRE HYDRANT
- VALVE (WATER & GAS)
- GAS METER
- UTILITY RISERS
- UTILITY POLE
- LIGHT POLE
- GUY ANCHOR
- TRANSFORMER
- HAND HOLE (ELECTRIC)
- ELECTRIC METER
- SIGN
- SOIL BORING
- BOLLARD POST
- "MISS DIG" FLAG - ELECTRICAL
- "MISS DIG" FLAG - GAS
- "MISS DIG" FLAG - TELEPHONE
- FENCE LINE
- ELECTRIC
- TELEPHONE
- FIBER OPTIC
- GAS LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- CONIFEROUS TREE
- DECIDUOUS TREE
- ORNAMENTAL BUSH

FUEL TANK LEGEND

- F FUEL FILL
- SUB SUBMERSIBLE PUMP
- P PROBE
- 2ND SECONDARY FILL
- SIP SIPHON

TRAVIS KRENTZ P.S. NO. 57885

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REVISIONS

NO.	DATE	DESCRIPTION
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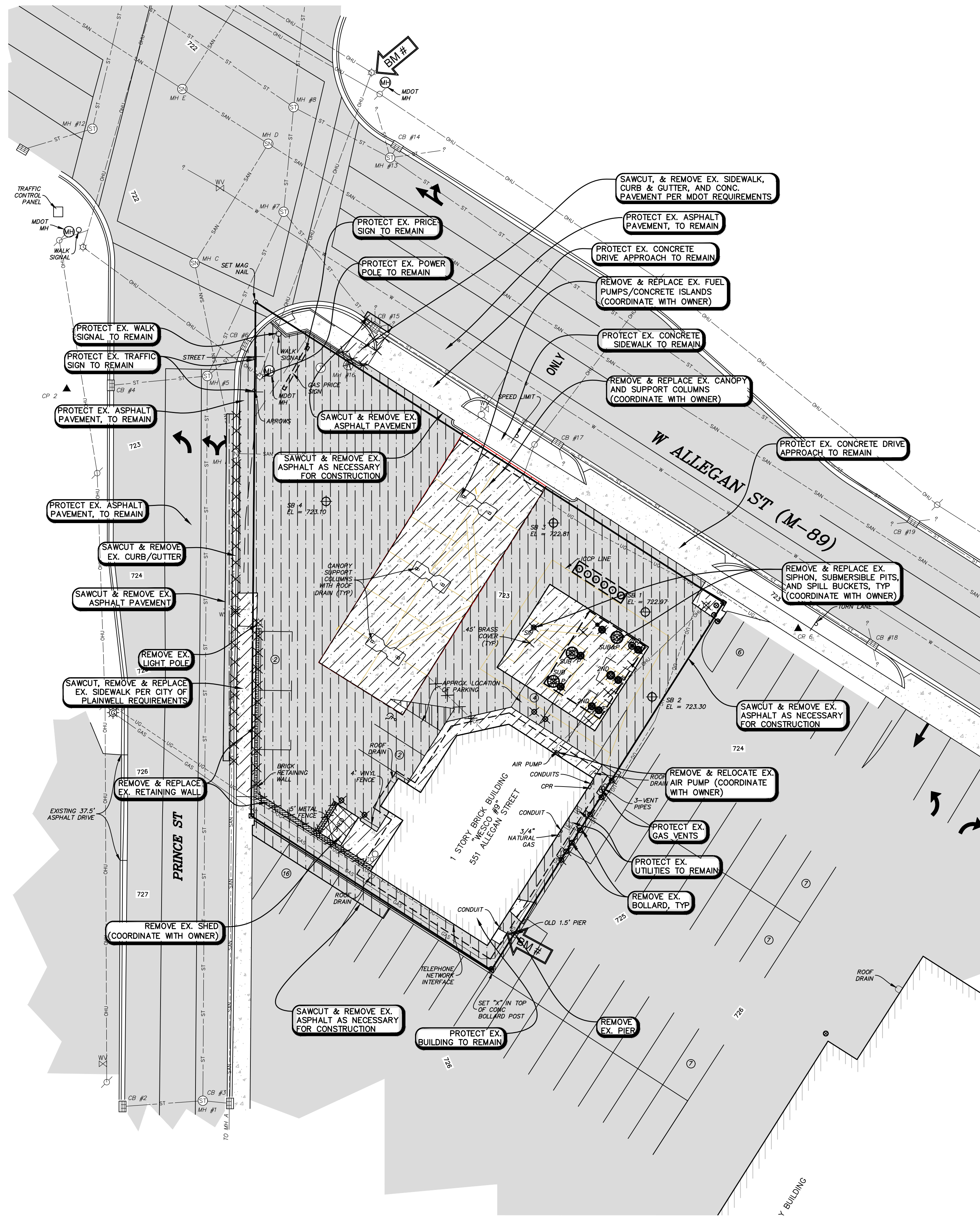
WESCO STORE #9
PLAINWELL TWP., ALLEGAN CO.
WESCO INC.
1460 WHITEHALL ROAD
MUSKEGON, MICHIGAN 49445
TOPOGRAPHIC/BOUNDARY SURVEY

Designed By: _____
Drawn By: JPF
Checked By: _____ Date: _____
Plot: _____
1"=20'
Scale:
11-4-2014
Date:
1450472.5A
Job No.:
Sheet No.:
V-101
3 of 8

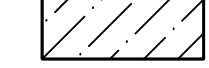




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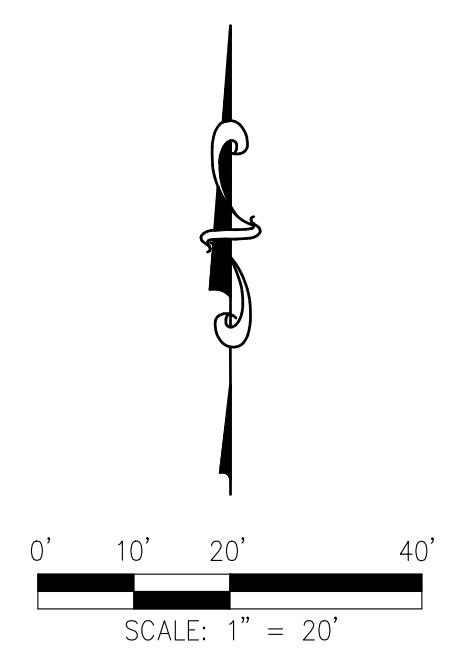


REMOVAL LEGEND:

-  CONCRETE REMOVAL
-  ASPHALT REMOVAL
-  GRAVEL REMOVAL
-  BUILDING REMOVAL
-  CURB/UTILITY/MISC REMOVAL





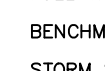

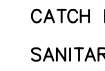

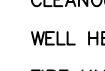

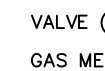
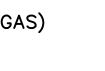
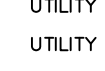



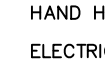
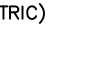
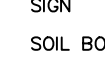

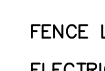



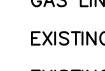
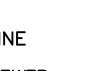
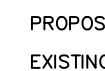
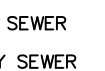
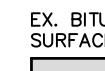
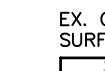








Know what's below.
 Call before you dig.



DEMOLITION NOTES:

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL STANDARDS AND SPECIFICATIONS.
2. PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC FROM CONSTRUCTION AREA.
3. REMOVE ALL STRUCTURES, SUPPORT COLUMNS, FOOTINGS, ASPHALT PAVING, CONCRETE CURBS, SIDEWALKS, CONCRETE PADS, TREES, STUMPS, HEDGES, UTILITIES, AND OTHER EXISTING SITE FEATURES WITHIN LIMITS OF DEMOLITION. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE NOTED AND DISPOSED OF IN A MANNER ACCEPTABLE TO THE LOCAL AUTHORITY HAVING JURISDICTION.
4. CALL "MISS DIG", 811, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION.
5. CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
6. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING FOR NEW UTILITIES SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
7. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. ANY INTERRUPTION IN SERVICES MUST BE SCHEDULED WITH THE OWNER 48 HOURS PRIOR TO THE INTERRUPTION.
8. ALL UTILITY LINES SHOWN "X" OUT SHALL BE PHYSICALLY REMOVED ALONG WITH STRUCTURES AND APPURTENANCES.
9. PROTECT ALL TREES AND SHRUBS NOT SCHEDULED FOR REMOVAL. DO NOT OPERATE EQUIPMENT, STORE, STOCKPILE, OR PARK WITHIN DRIP LINE. HOLD NECESSARY DISTURBANCE TO A MINIMUM.
10. REMOVAL ITEMS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO BE FULLY FAMILIAR WITH THE EXTENT OF REMOVAL ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REMOVALS NECESSARY TO COMPLETE CONSTRUCTION. QUESTIONS REGARDING ITEMS TO BE REMOVED SHALL BE DIRECTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
11. ALL REMOVALS OF PAVEMENT, CONCRETE, CURB AND GUTTER, ETC. SHALL BE PERFORMED TO THE NEXT JOINT BEYOND THE LIMITS OF REMOVAL. ALL REMOVALS SHALL BE PERFORMED BY SAWCUTTING.
12. CONTRACTOR SHALL INSTALL SOIL EROSION AND SEDIMENTATION CONTROL PRIOR TO BEGINNING DEMOLITION.
13. CONTAMINATED SOILS, AS IDENTIFIED, SHALL BE HANDLED AND DISPOSED OF ACCORDING TO ALL APPLICABLE SITE-SPECIFIC ENVIRONMENTAL PLANS AND ENVIRONMENTAL REGULATIONS. REMOVE SOILS TO 20 INCHES BELOW IDENTIFIED CONTAMINATION.
14. SEE OTHER SHEETS FOR ADDITIONAL INFORMATION.

LEGEND

EXISTING	PROPOSED
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	

ISSUED FOR APPROVAL

DRIESENKA & ASSOCIATES, INC.
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 Holland, MI - 616-396-0255
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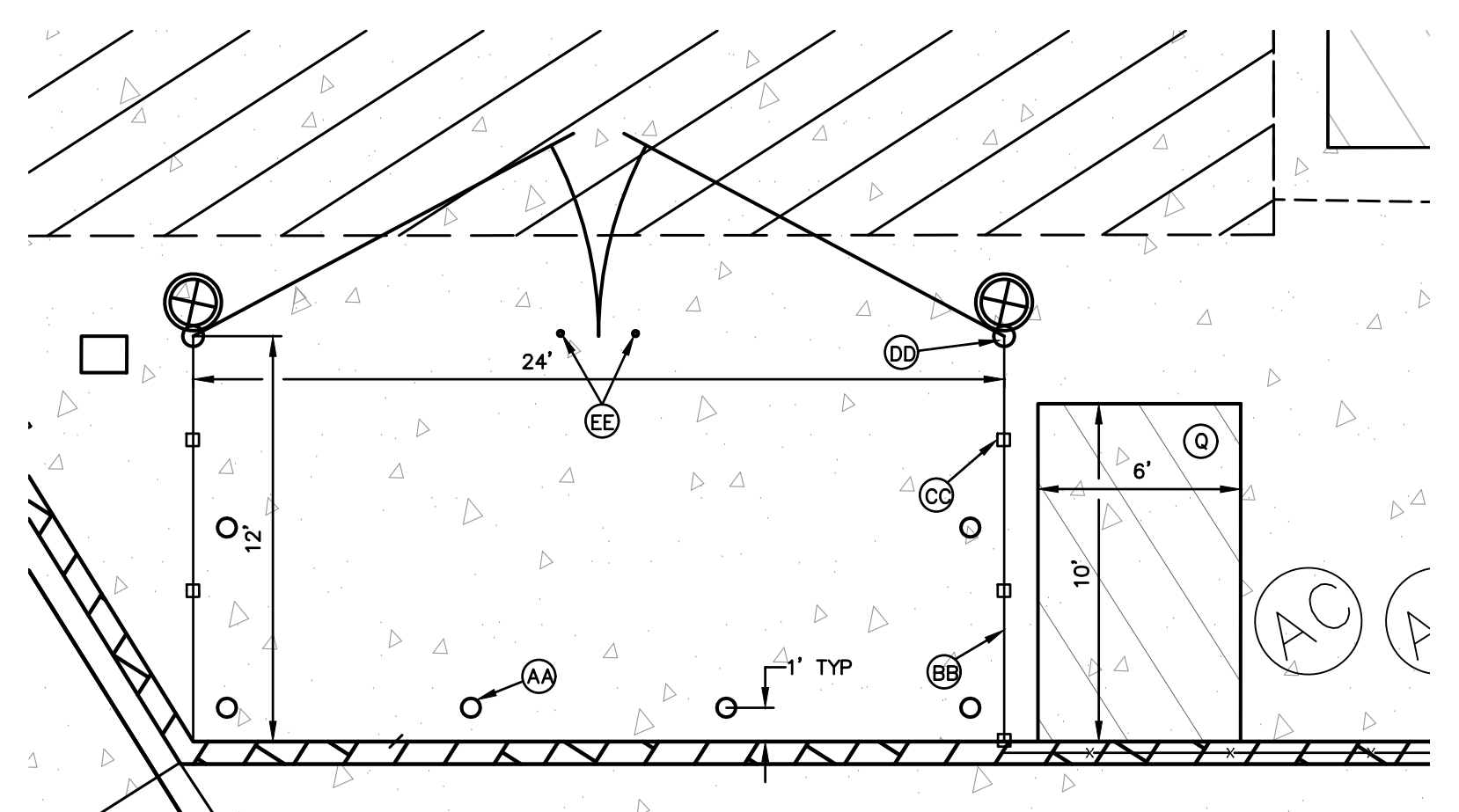
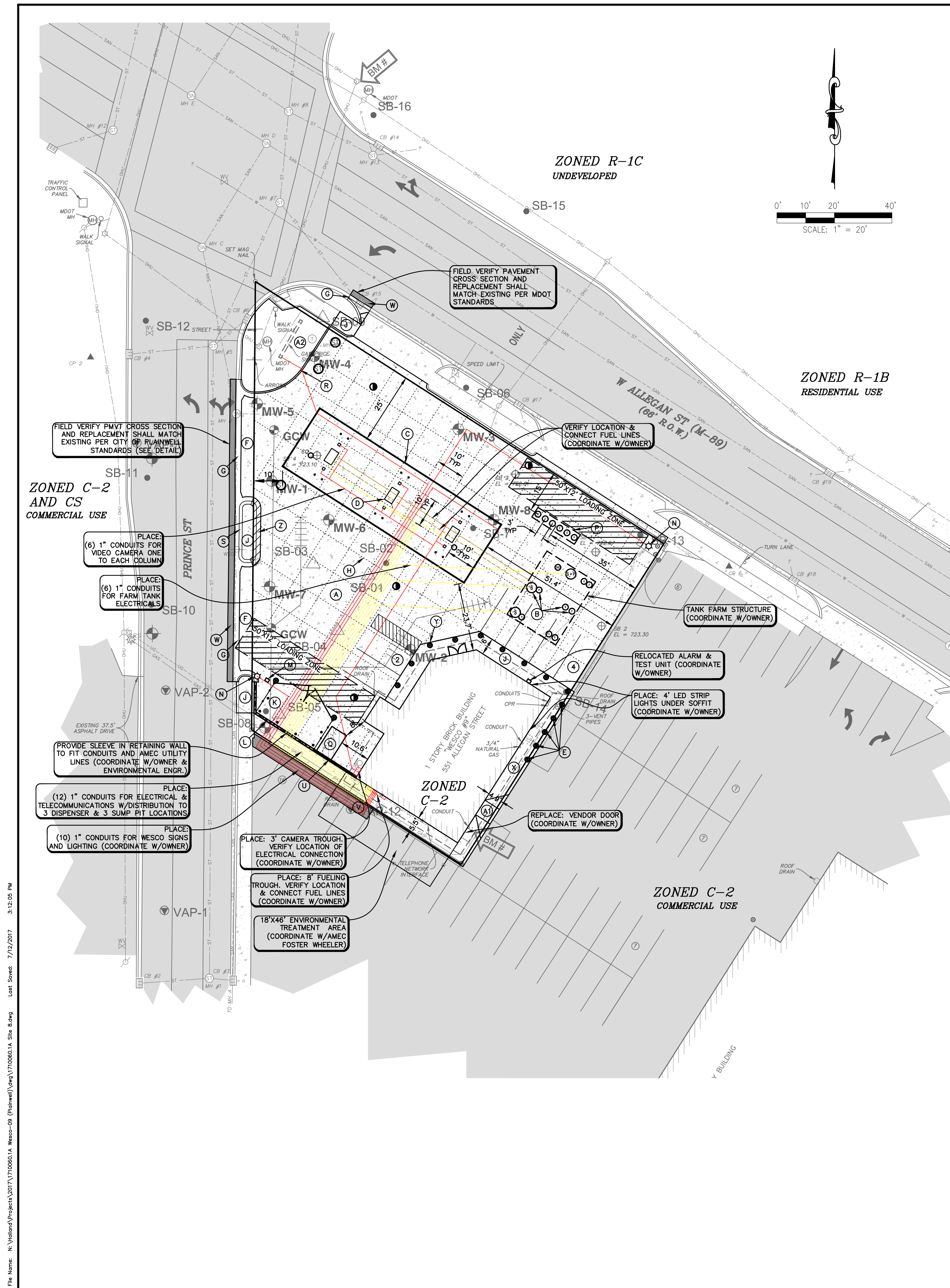
REVISIONS

NO.	DESCRIPTION
1	ISSUED FOR SITE PLAN APPROVAL 2017-07-12

WESCO #9 (PLAINWELL) IMPROVEMENTS
 SEC. 30, TOWN, RIW CITY OF PLAINWELL, ALLEGAN CO.
 WESCO, INC.
 1460 WHITEHALL ROAD, SUITE C
 MUSKEGON, MICHIGAN 49445
DEMOLITION PLAN

Designed By: JMT
 Drawn By: AQA
 Checked By: [Date]
 Plot:
 1"=20'
 Scale:
 07-12-2017
 Date:
 1710060.1A
 Job No.:

Sheet No.: **CD-101**
 4 of 8



- KEY NOTES:**
- (AA) PROP. 4" DUMPSTER BOLLARD (TYP) (SEE DETAIL SHEET)
 - (BB) VINYL FENCING (6' HEIGHT) (TYP.)
 - (CC) VINYL CLAD FENCEPOST (TYP.)
 - (DD) 6 #8 GALVANIZED GATE POST
 - (EE) 1" GATE SLEEVE HOLES - CORE BORE & SLEEVE THROUGH CONCRETE
- KEY NOTES:**
- (A) PROP. 8" REINFORCED CONCRETE PAVEMENT (SEE DETAIL)
 - (B) PROP. FUEL TANK COVER, TYP (COORDINATE W/OWNER)
 - (C) PROP. CANOPY WITH NEW COLUMN SUPPORTS (SEE DETAIL)
 - (D) PROP. 3'X5' CONCRETE FUEL PUMP ISLAND, TYP (SEE DETAIL)
 - (E) PROP. 6" STEEL BOLLARD, TYP (SEE DETAIL)
 - (F) PROP. CONC. DRIVE APPROACH PER CITY OF PLAINWELL REQUIREMENTS, TYP
 - (G) PROP. CURB & GUTTER, MDOT F4 (SEE DETAIL)
 - (H) PROP. CONCRETE JOINT PER WESCO REQUIREMENTS, TYP
 - (J) PROP. CONCRETE SIDEWALK (SEE DETAIL)
 - (K) PROP. 12'X24' DUMPSTER ENCLOSURE (PER CITY OF PLAINWELL REQUIREMENTS)
 - (L) PROP. 8" RETAINING WALL W/GUARD RAIL (SEE DETAIL)
 - (M) PROP. RELOCATED AIR PUMP (COORDINATE W/OWNER)
 - (N) PROP. LIGHTING (PER CITY OF PLAINWELL REQUIREMENTS)
 - (P) PROP. REMOTES LAYOUT (COORDINATE W/OWNER)
 - (Q) PROP. 6'X10' SHED (COORDINATE W/OWNER)
 - (R) PROP. HEAD CURB (SEE DETAIL)
 - (S) PROP. CURB & GUTTER, MDOT B2 (SEE DETAIL)
 - (T) PROP. 4" STEEL BOLLARD, TYP (SEE DETAIL)
 - (U) PROP. GUARD RAIL (COORDINATE W/OWNER)
 - (V) PROP. ASPHALT PAVT. (SEE DETAIL)
 - (W) PROP. ASPHALT PAVT. ON PRINCE STREET & M-89 (PER CITY OF PLAINWELL & MDOT REQUIREMENTS (SEE DETAIL))
 - (X) PROP. INTEGRAL SIDEWALK (SEE DETAIL)
 - (Y) PROP. 12" BOLLARD (COORDINATE W/OWNER) (SEE DETAIL)
 - (Z) PROP. CURB & GUTTER, INVERTED MDOT B2 (SEE DETAIL)
 - (A1) PROP. SIDEWALK RAMP (SEE DETAIL)
 - (A2) PROP. LANDSCAPING AREA (PER CITY REQUIREMENTS)

- GENERAL NOTES:**
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
 - DIMENSIONS TAKE PRECEDENCE OVER SCALE, CONTRACTOR TO VERIFY ALL DIMENSIONS.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2012 EDITION AND CITY OF PLAINWELL CONTRACT CONDITIONS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
 - FOR PROTECTION OF ALL ACTIVE UNDERGROUND UTILITIES THE CONTRACTOR SHALL CALL "MISS DIG" AT 811 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
 - ANY BITUMINOUS OR CONCRETE PAVEMENT, SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS THAT WILL BE LEFT UNATTENDED.
 - ALL EXTERIOR CONCRETE SHALL BE 4,000 PSI, AIR ENTRAINED, LIMESTONE AGGREGATE, BROOM FINISHED WITH CURING SEAL.
 - PROPOSED CONTROL JOINTS SHALL BE SPACED TO FORM 10' X 10' SECTIONS OR AT UNIFORM SPACING.
 - SEE ADDITIONAL SHEETS IN DRAWING SET FOR MORE INFORMATION.

- ENVIRONMENTAL LEGEND - WORK BY OTHERS:**
- PROPOSED GROUNDWATER CIRCULATION WELL
 - H—H—H— PROPOSED SVE TILES - SYSTEM PIPING
 - ⊕ GROUNDWATER MONITORING WELL AND SOIL BORING
 - ⊕ GROUNDWATER CIRCULATION WELL
 - SUB-SLAB VAPOR PIN LOCATION
 - ⊕ SOIL BORING WITH GROUNDWATER SAMPLE
 - ⊕ VERTICAL AQUIFER PROFILE SAMPLE

- SITE NOTES**
- ZONING REQUIREMENTS:**
CURRENT ZONING: C-2 GENERAL COMMERCIAL
MAXIMUM BUILDING HEIGHT: 3 STORES OR 40 FT
PROPOSED CANOPY HEIGHT: 19 FT
REQUIRED SETBACKS FOR BUILDING:
FRONT YARD: NONE
SIDE YARD: NONE (NOT ABUTTING RESIDENTIAL ZONING)
REAR YARD: NONE (NOT ABUTTING RESIDENTIAL ZONING)
PROVIDED SETBACKS FOR CANOPY:
FRONT YARD: 10' (PRINCE ST.), 25' (ALLEGAN ST.)
SIDE YARD: 4.9'
REAR YARD: 5.5'
 - SUMMARY OF PARKING:**
SPACES PROVIDED - EXISTING CONDITION: 14
SPACES PROVIDED - PROPOSED CONDITION: 12
TOTAL SPACES REQUIRED: 23
(2.5 PER PUMP STATION; 2.5x3=8 SPACES)
(1/75 SF OF GFA DEVOTED TO RETAIL SALES;
974/75=13 SPACES)
(1/EMPLOYEE; 2 SPACES)
ADDITIONAL PARKING IS PROVIDED ON ADJACENT PARCEL THROUGH AGREEMENT BETWEEN WESCO AND HARDINGS MARKET
 - SUMMARY OF LAND:**
GROSS LAND AREA: 16,862 SFT (0.39 AC)
EXISTING BUILDING SIZE: 2,546 SFT
 - IMPACT TO SURROUNDING PROPERTIES:**
USE OF PROPERTY WILL BE CONSISTENT WITH OTHER USES IN THIS ZONING DISTRICT AND IN THE SURROUNDING AREA. USE OF PROPERTY WILL NOT GENERATE ADVERSE LEVELS OF NOISE, VIBRATION, SMOKE, LIGHT, GLARE, OR OTHER POTENTIALLY PROBLEMATIC CONDITIONS.
 - REFUSE/DUMPSTER AREA:**
A NEW DUMPSTER ENCLOSURE IS PROPOSED AT THE SOUTHWEST CORNER OF THE SITE.
 - WETLANDS & FLOODPLAIN:**
THERE ARE NO FLOODPLAIN OR WETLAND AREAS WITHIN THE SUBJECT PROPERTY. (PER FEMA FIRM MAP ON 260008 B)
 - STORM DRAINAGE:**
STORM WATER WILL BE COLLECTED IN STORM SEWER AND DISCHARGED INTO THE PUBLIC STORM SEWER SYSTEM VIA A CONNECTION TO THE EXISTING CATCH BASIN IN W. ALLEGAN STREET NEAR PRINCE STREET. A SHUTOFF VALVE ALONG WITH AN OIL WATER SEPARATOR TANK WILL BE INSTALLED TO PREVENT CONTAMINANTS FROM ENTERING THE PUBLIC STORM SEWER SYSTEM.
 - LANDSCAPING & EXTERIOR LIGHTING:**
LANDSCAPING WILL BE PROVIDED IN THE NORTHWEST CORNER OF THE SITE, CONSISTING OF A MULCHED PERENNIAL FLOWER BED THAT DOES NOT INTERFERE WITH MDOT CLEAR VISION AREA. LANDSCAPING WILL MAINTAINED AS PART OF NORMAL SITE OPERATIONS BY WESCO STAFF. LIGHT POLES WILL REMAIN CONSISTENT WITH OTHER USES AND ADHERE TO CITY OF PLAINWELL REQUIREMENTS.
 - WATER/SEWER CONNECTIONS:**
EXISTING WATER AND SEWER CONNECTIONS WILL BE UTILIZED WITH NO CHANGES.
 - LOADING/UNLOADING:**
DELIVERY OF PRODUCTS AND MERCHANDISE WILL BE DONE USING BULK TANKERS (FOR FUEL PRODUCTS) AND LOCAL DELIVERY TRUCKS FOR STORE MERCHANDISE. DELIVERIES WILL OCCUR 8 TIMES PER WEEK DURING NORMAL BUSINESS HOURS.

LEGEND

	EXISTING	PROPOSED
FUEL TANKS	⊕	⊕
BENCHMARK	BM #1	⊕
STORM SEWER MANHOLE	⊕	⊕
CATCH BASIN	⊕	⊕
SANITARY SEWER MANHOLE	⊕	⊕
CLEANOUT	⊕	⊕
WELL HEAD	⊕	⊕
FIRE HYDRANT	⊕	⊕
VALVE (WATER & GAS)	⊕	⊕
GAS METER	⊕	⊕
UTILITY RISERS	⊕	⊕
UTILITY POLE	⊕	⊕
LIGHT POLE	⊕	⊕
GUY ANCHOR	⊕	⊕
TRANSFORMER	⊕	⊕
HAND HOLE (ELECTRIC)	⊕	⊕
ELECTRIC METER	⊕	⊕
SION	⊕	⊕
SOIL BORING	⊕	⊕
BOLLARD POST	⊕	⊕
FENCE LINE	—X—X—X—X—X—	—X—X—X—X—X—
ELECTRIC	—OHU—	—OHU—
TELEPHONE	---TEL---TEL---	---TEL---TEL---
FIBER OPTIC	---FO---FO---	---FO---FO---
GAS LINE	---GAS---GAS---	---GAS---GAS---
EXISTING WATER LINE	---W---	---W---
EXISTING STORM SEWER	---ST---	---ST---
PROPOSED STORM SEWER	---ST---	---ST---
EXISTING SANITARY SEWER	---SAN---	---SAN---
PROPOSED SANITARY SEWER	---SAN---	---SAN---
EX. BITUMINOUS SURFACE	▒	▒
EX. CONCRETE SURFACE	▒	▒
PROP. CONCRETE SURFACE	▒	▒



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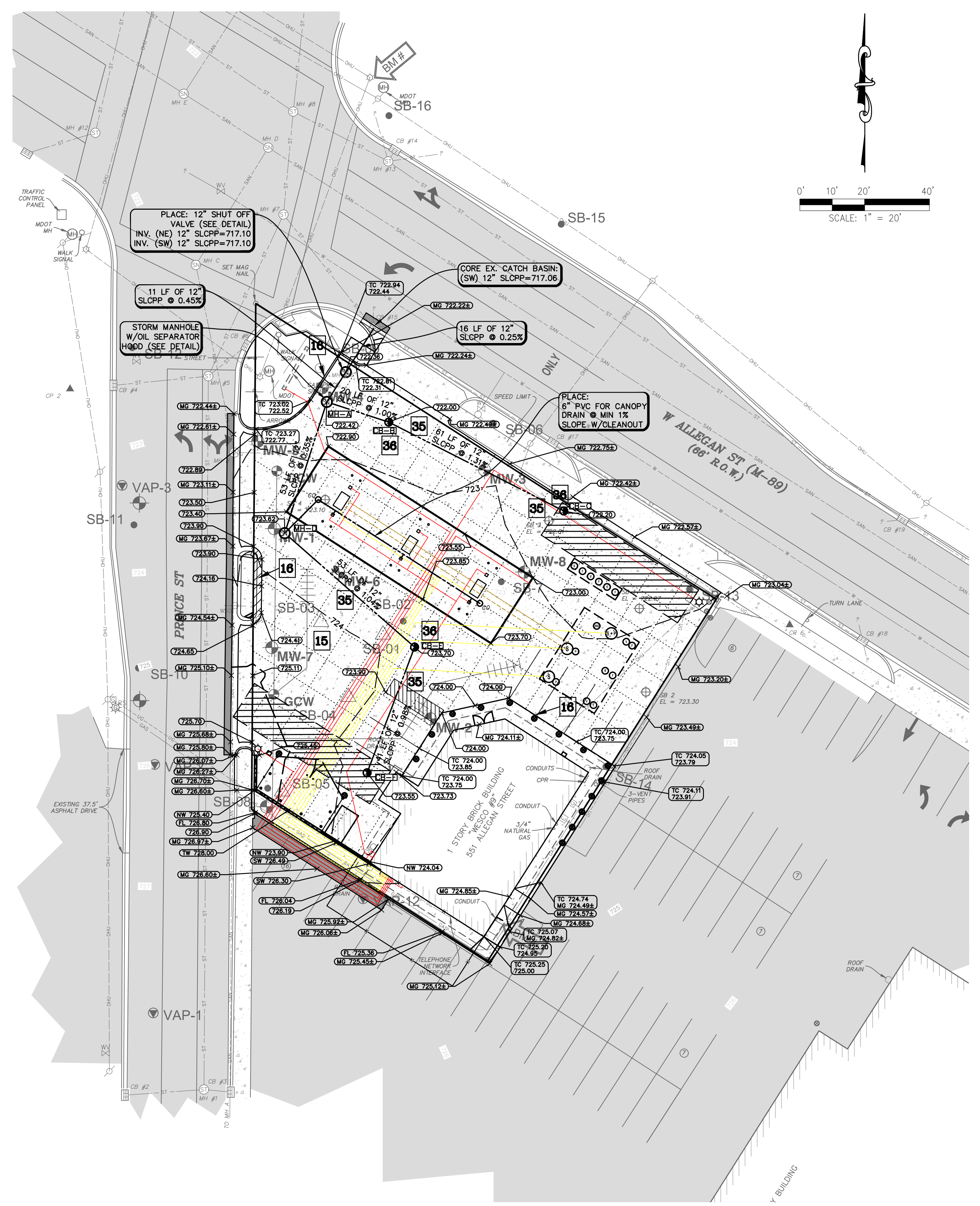
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Designed By: JMT
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5 of 8

File Name: N:\Visuals\Projects\2017\1710060.1A_Wesco-09 (Plainwell)\DWG\1710060.1A_Site_8.dwg
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GRADING LEGEND

PROP. FINISH GRADE ELEVATION	×(100.00)
TOP OF CURB ELEVATION	×(TC 100.00)
MATCH EX. GRADE ELEVATION	×(MG 100.00)
NORTH OF WALL ELEVATION	×(NW 100.00)
SOUTH OF WALL ELEVATION	×(SW 100.00)
TOP OF WALL ELEVATION	×(TW 100.00)
PROP. FLOW LINE ELEVATION	×(FL 100.00)

GRADING & STORM SEWER NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AGENCIES HAVING JURISDICTION.
- REFER TO EXISTING TOPOGRAPHIC SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION.
- CONTOUR INTERVAL = 1 FOOT
- ALL SOILS SHALL BE GRADED TO PROVIDE FOR SMOOTH CONTOURS AND POSITIVE DRAINAGE AWAY FROM BUILDINGS. PONDING OF WATER WILL NOT BE ALLOWED EXCEPT WHERE INDICATED.
- CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY PROVIDERS PRIOR TO STARTING ANY CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAKE AVAILABLE TO THE ENGINEER DIMENSIONS TO LOCATE UTILITY STUBS AND/OR ANY UTILITY CONDUIT STUBS INSTALLED.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM THE WORK AREA AND OFF PARKING AREAS BEFORE BITUMINOUS PAVING OR CONCRETE IS CURED.
- ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF ANY GRAVEL BASE.
- EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING FOR NEW UTILITIES SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- EXCEPT FOR THOSE UTILITIES NOTED TO BE PLUGGED OR REMOVED, RECONNECT ALL LINES ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH UTILITY PROVIDER.
- UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR THE RAISING OR LOWERING OF ALL EXISTING MANHOLES AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES AND CLEAN-OUTS TO MEET FINISH GRADES.
- ALL STORM SEWER STRUCTURES, INCLUDING SUMPS, WITHIN THE PROPERTY LIMITS SHALL BE INSPECTED AND CLEANED OUT AS NECESSARY. IF SOME SPECIFIC PROBLEM IS IDENTIFIED DURING THIS ACTIVITY, CONTACT THE ENGINEER FOR FURTHER INSTRUCTIONS.
- IN ALL AREAS OF NEW GRADING OR CONSTRUCTION, STRIP AND STOCKPILE EXISTING TOPSOIL AND PERFORM ALL GRADING AND EARTHWORK TO THE ELEVATION POINTS SHOWN. TOPSOIL SHALL BE RESPREAD WITH A 4" MINIMUM THICKNESS ON DESIGNATED AREAS OUTSIDE OF BUILDING AND PAVEMENT AREAS. TOPSOIL SHALL BE SEEDED AND MULCHED.
- ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR EXACT CANOPY DOWNSPOUT CONNECTION LOCATIONS. FIELD ADJUST AS NECESSARY.
- EVENLY GRADE CONCRETE SURFACE BETWEEN SPOT ELEVATIONS. WARP CONCRETE SURFACE TO MEET CASTING ELEVATIONS WITHIN ONE HORIZONTAL FOOT OF THE EDGE OF CASTING.
- SEE ADDITIONAL SHEETS IN DRAWING SET FOR MORE INFORMATION.

SESC NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE SOIL EROSION AND SEDIMENTATION CONTROL (SESC) PERMIT.
- PLACE EROSION CONTROL MEASURES AS INDICATED ON DRAWING PRIOR TO EARTH MOVING AND GRADING ACTIVITIES.
- CONTRACTOR SHALL AVOID THE UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER.
- INSTALL "SILT SACK" INLET SEDIMENT TRAPS IN ALL PROPOSED CATCH BASINS AS INDICATED ON THIS DRAWING. CLEAN "SILT SACK" ON A WEEKLY BASIS AT A MINIMUM.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY SWEEPING OF TRACKED MATERIALS ONTO ALL ROADWAYS. THE CONTRACTOR IS RESPONSIBLE TO IMMEDIATELY SWEEP ANY TRACKED MATERIAL OFF ALL ROADWAYS.
- ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE IMMEDIATELY PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
- THE MINIMUM AMOUNT OF SOIL EROSION & SEDIMENTATION CONTROLS ARE SHOWN ON THIS PLAN. DUE TO SITE ACTIVITIES AND SCHEDULES, ADDITIONAL CONTROLS WILL LIKELY BE REQUIRED TO MAINTAIN SITE ACCORDING TO APPLICABLE STATE AND FEDERAL GUIDELINES AT NO ADDITIONAL COST TO THE OWNER.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH STANDARDS AND REQUIREMENTS OF PERMITTING AGENCY HAVING JURISDICTION.
- EXCESS SOIL IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED.
- SEE ADDITIONAL SHEETS IN DRAWING SET FOR MORE INFORMATION.

SESC KEY:

15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VOLUME AND VELOCITY. IRREGULAR SURFACE WILL HELP SLOW VELOCITY.
16	CURB & GUTTER	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACES. COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGEWAY.
35	STORM SEWER	SYSTEM REMOVES COLLECTED RUNOFF FROM SITE, PARTICULARLY FROM PAVED AREAS. CAN ACCEPT LARGE CONCENTRATIONS OF RUNOFF. CONDUCTS RUNOFF TO MUNICIPAL SEWER SYSTEM OR STABILIZED OUTFALL LOCATION. USE CATCH BASINS TO COLLECT SEDIMENT.
36	CATCH BASIN, DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATION RUNOFF. MAY USE FILTER CLOTH OVER INLET.

PROPOSED STORM STRUCTURE DATA

MH-A (5' DIA. MANHOLE) W/EJW 1040-A FRAME & COVER RIM=722.42 INV (NE) 12" SLCPP=717.15 INV (E) 12" SLCPP=717.15 INV (SW) 12" SLCPP=717.15 INSTALL OIL SEPARATOR HOOD	MH-D (4' DIA. MANHOLE) W/EJW 1040-A FRAME & COVER RIM=723.62 INV (NNE) 12" SLCPP=717.30 INV (NE) 6" PVC=719.30 INV (SE) 12" SLCPP=718.65
CB-B (4' DIA. CATCH BASIN) W/EJW 1040-M1 FRAME & COVER RIM=723.00 INV (NW) 12" SLCPP=719.20 INV (SW) 12" SLCPP=719.20	CB-E (4' DIA. CATCH BASIN) W/EJW 1040-M1 FRAME & COVER RIM=723.70 INV (NW) 12" SLCPP=719.20 INV (SW) 12" SLCPP=719.20
CB-C (2' DIA. CATCH BASIN) W/EJW 1040-M1 FRAME & COVER RIM=722.20 INV (NW) 12" SLCPP=718.20	CB-F (2' DIA. CATCH BASIN) W/EJW 1040-M1 FRAME & COVER RIM=719.60 INV (NE) 12" SLCPP=719.60

LEGEND

	EXISTING	PROPOSED
FUEL TANKS	(Symbol)	(Symbol)
FUEL TANKS BENCHMARK	(Symbol)	(Symbol)
STORM SEWER MANHOLE	(Symbol)	(Symbol)
CATCH BASIN	(Symbol)	(Symbol)
SANITARY SEWER MANHOLE	(Symbol)	(Symbol)
CLEANOUT	(Symbol)	(Symbol)
WELL HEAD	(Symbol)	(Symbol)
FIRE HYDRANT VALVE (WATER & GAS)	(Symbol)	(Symbol)
GAS METER	(Symbol)	(Symbol)
UTILITY RISERS	(Symbol)	(Symbol)
UTILITY POLE	(Symbol)	(Symbol)
LIGHT POLE	(Symbol)	(Symbol)
GUY ANCHOR	(Symbol)	(Symbol)
TRANSFORMER	(Symbol)	(Symbol)
HAND HOLE (ELECTRIC)	(Symbol)	(Symbol)
ELECTRIC METER	(Symbol)	(Symbol)
SIGN	(Symbol)	(Symbol)
SOIL BORING	(Symbol)	(Symbol)
BOLLARD POST	(Symbol)	(Symbol)
FENCE LINE	(Symbol)	(Symbol)
ELECTRIC	(Symbol)	(Symbol)
TELEPHONE	(Symbol)	(Symbol)
FIBER OPTIC	(Symbol)	(Symbol)
GAS LINE	(Symbol)	(Symbol)
EXISTING WATER LINE	(Symbol)	(Symbol)
EXISTING STORM SEWER	(Symbol)	(Symbol)
PROPOSED STORM SEWER	(Symbol)	(Symbol)
EXISTING SANITARY SEWER	(Symbol)	(Symbol)
EX. BITUMINOUS SURFACE	(Symbol)	(Symbol)
EX. CONCRETE SURFACE	(Symbol)	(Symbol)
PROP. CONCRETE SURFACE	(Symbol)	(Symbol)



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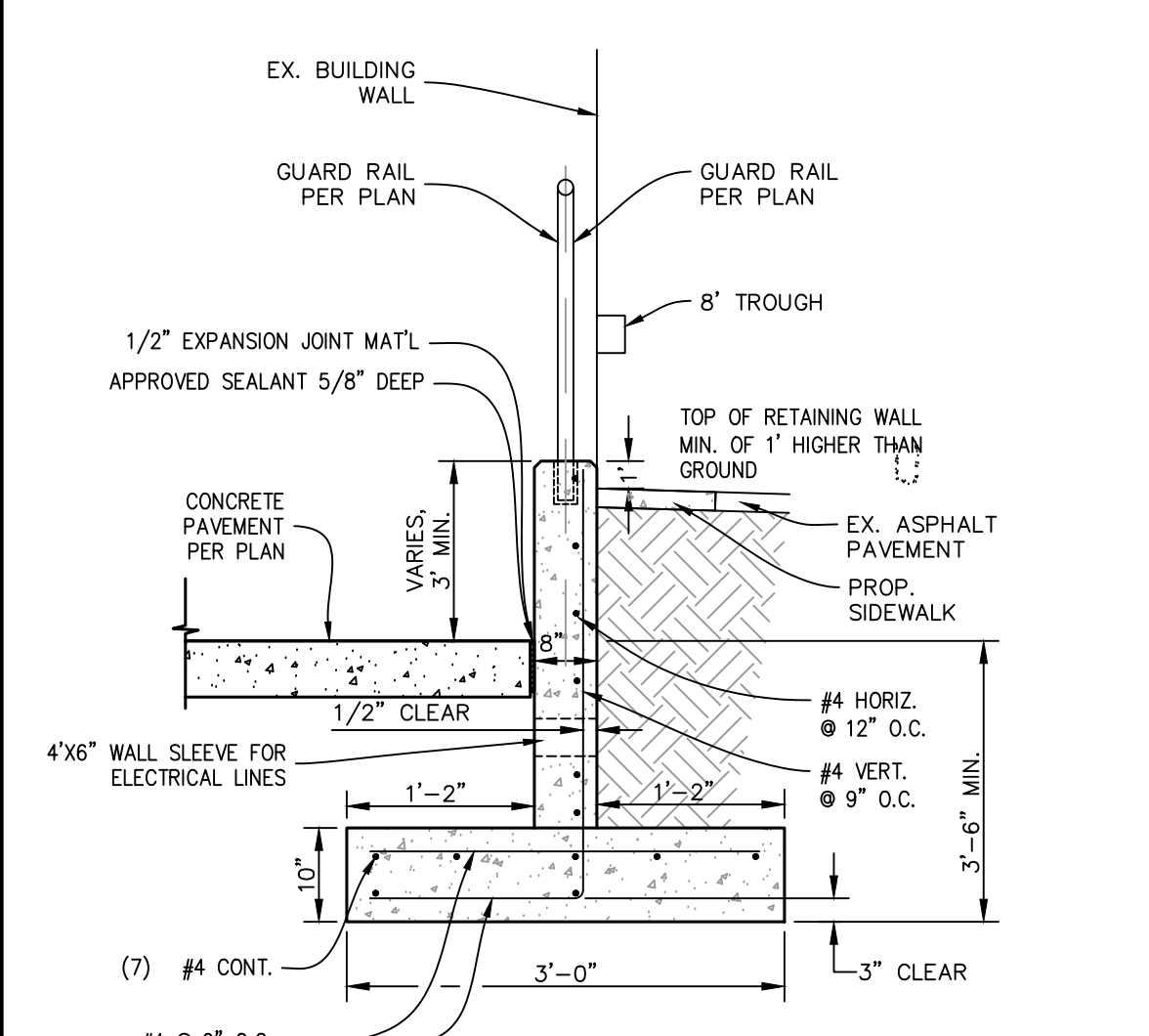
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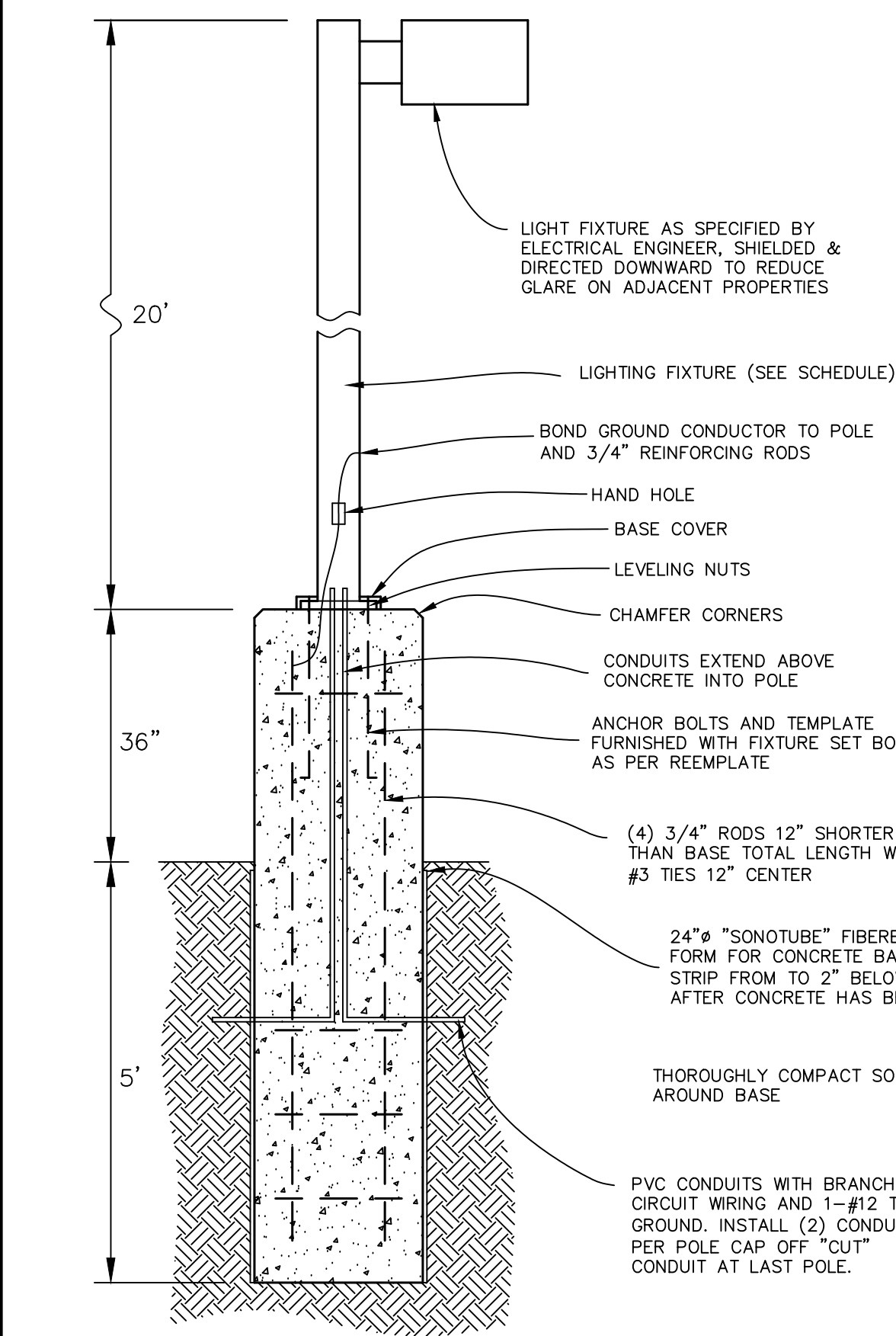
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GRADING, STORM SEWER, AND SESC PLAN

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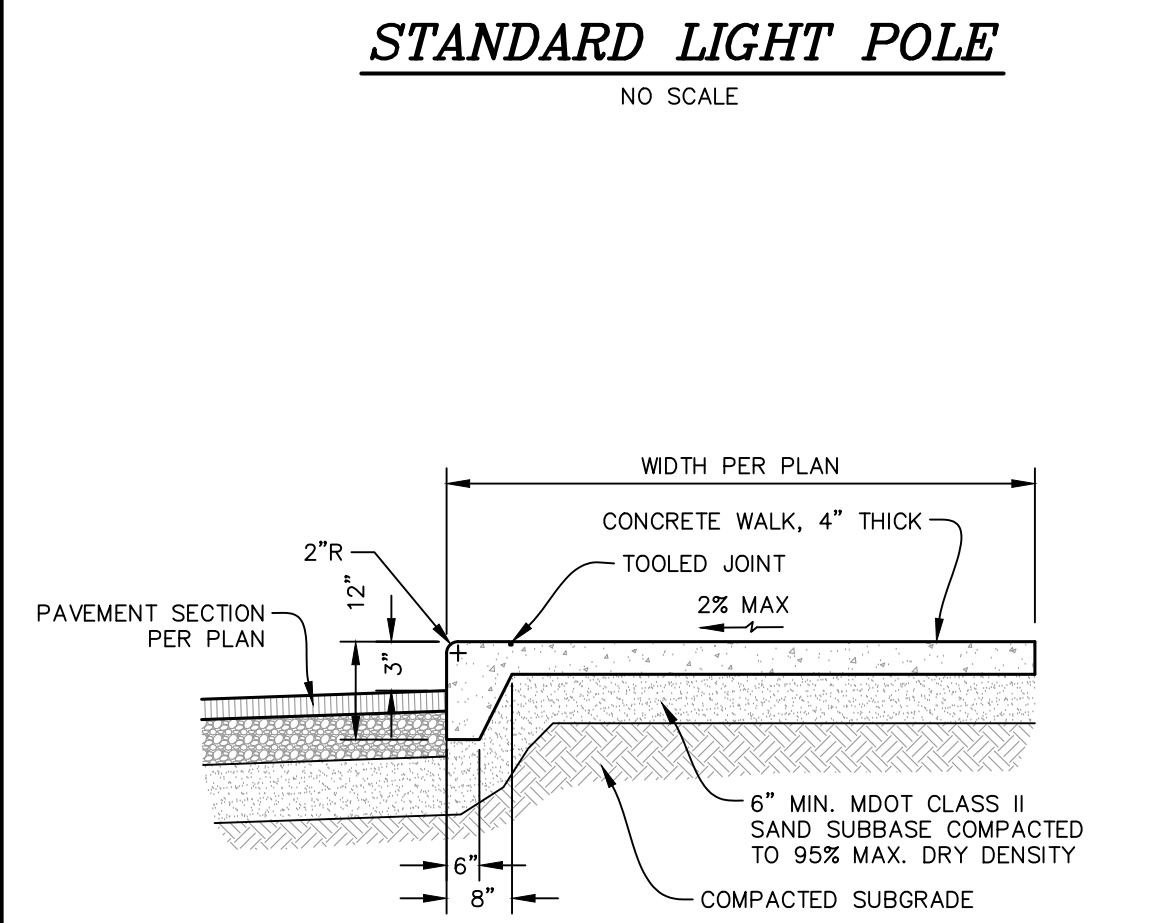
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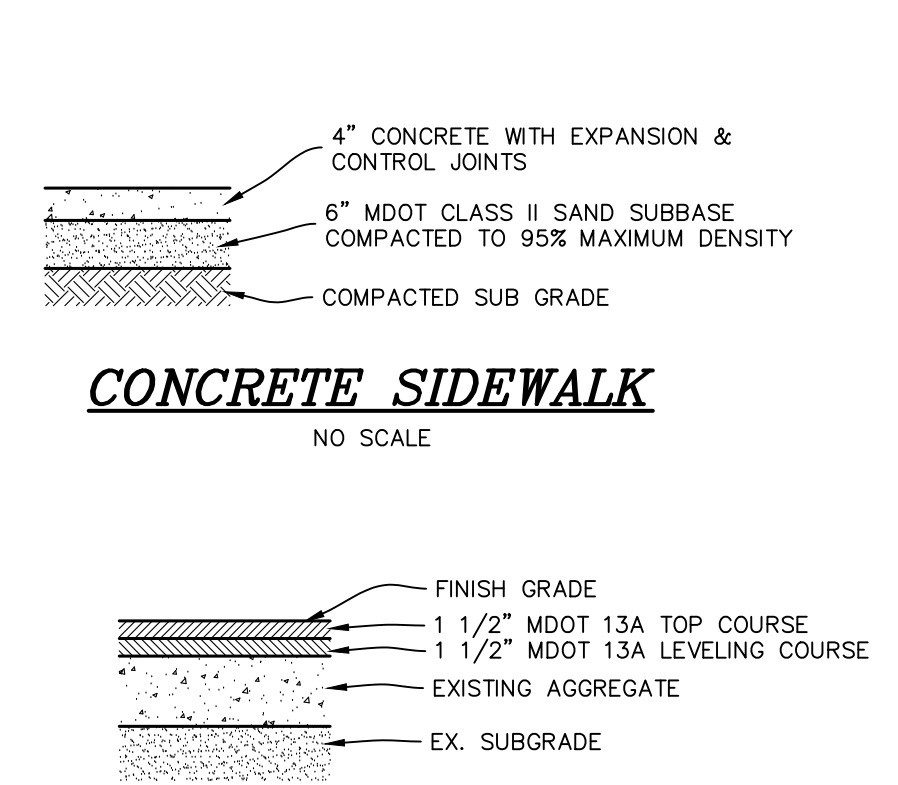
8" RETAINING WALL SECTION
NO SCALE



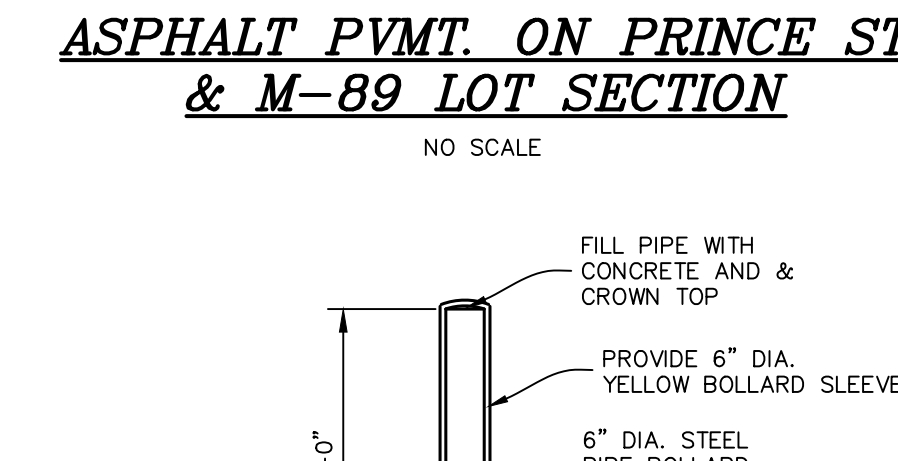
STANDARD LIGHT POLE
NO SCALE



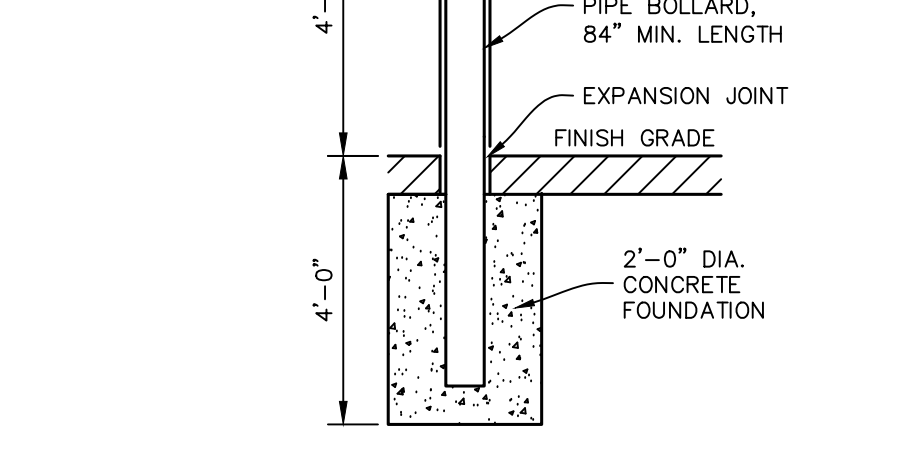
SIDEWALK WITH INTEGRAL CURB
NO SCALE



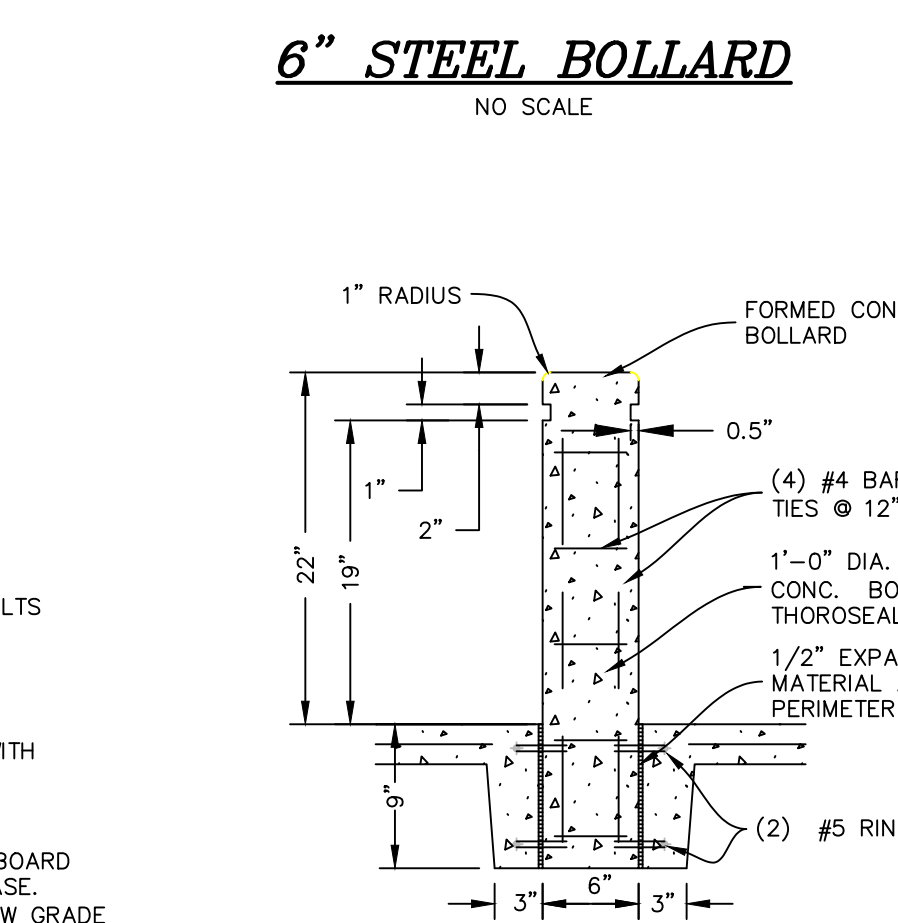
CONCRETE SIDEWALK
NO SCALE



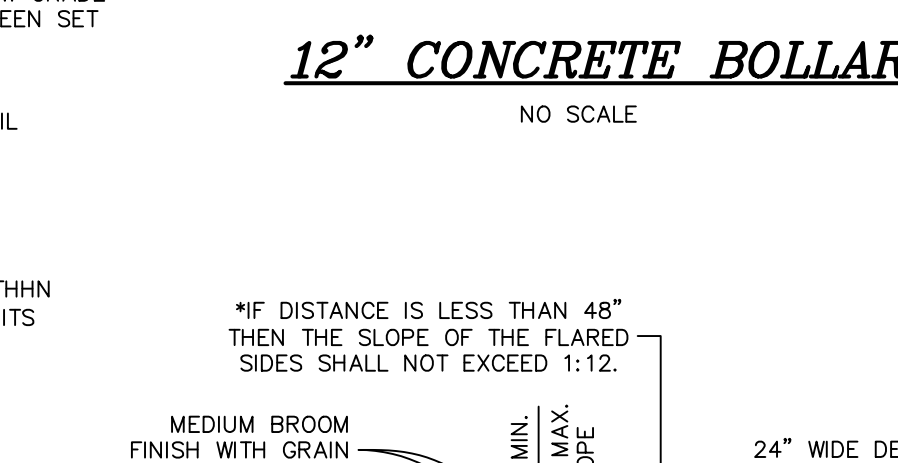
ASPHALT PVMT. ON PRINCE ST. & M-89 LOT SECTION
NO SCALE



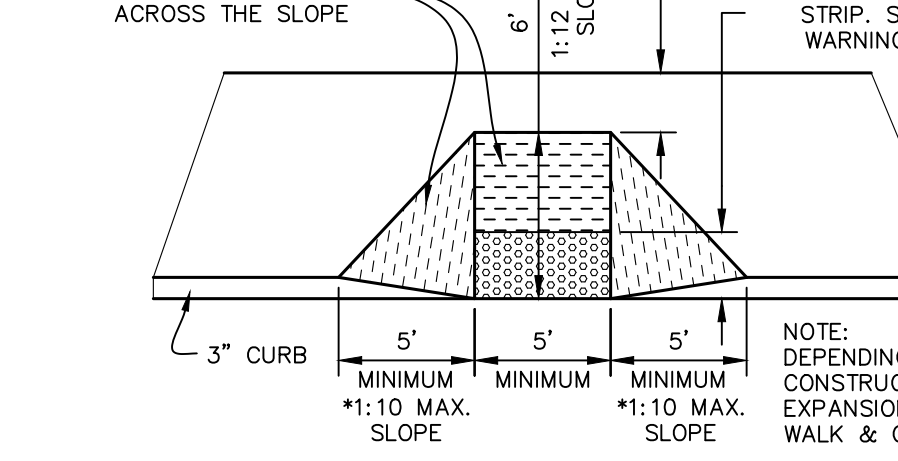
6" STEEL BOLLARD
NO SCALE



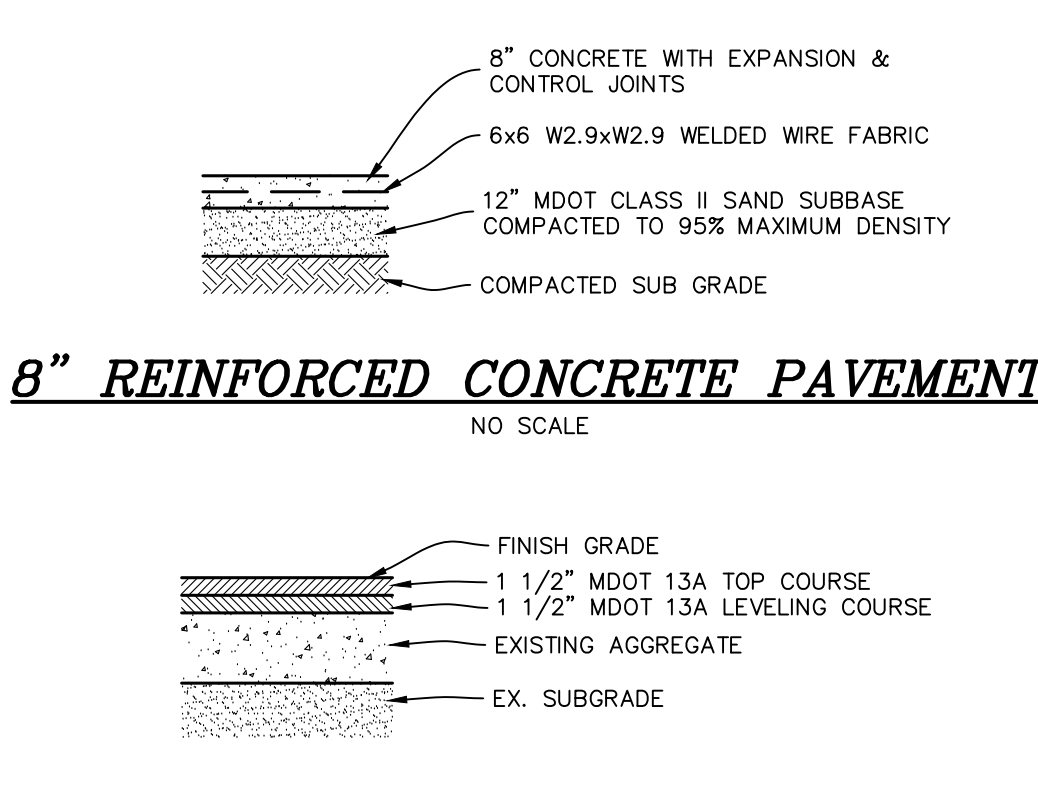
12" CONCRETE BOLLARD
NO SCALE



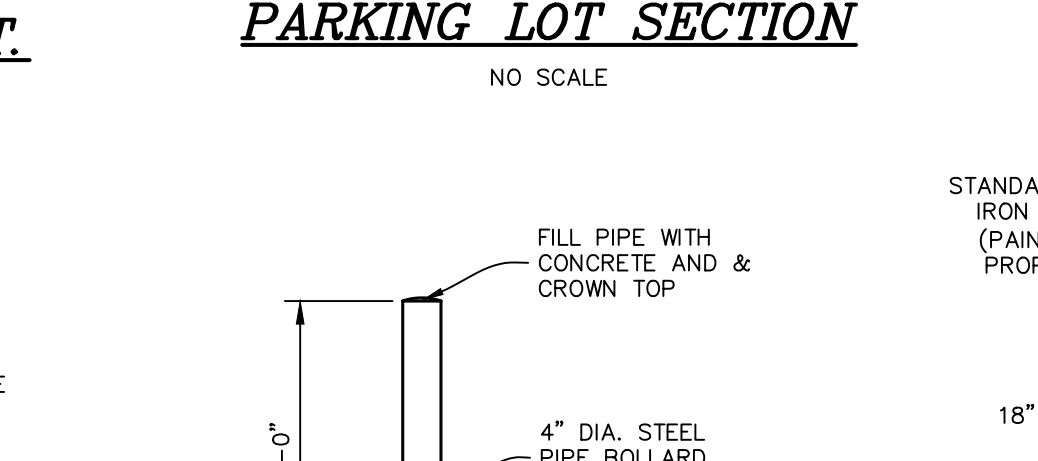
SIDEWALK RAMP
NO SCALE



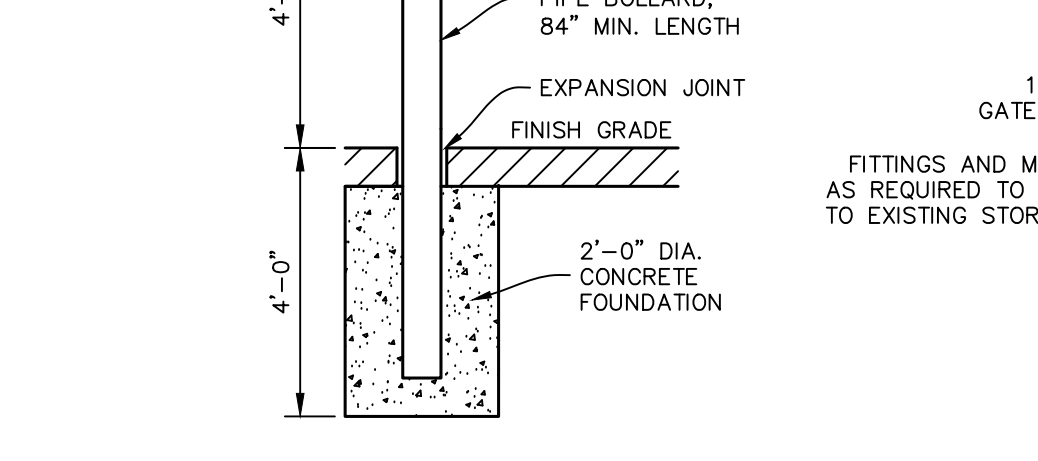
CURB & GUTTER - INVERTED MDOT DETAIL B2
NO SCALE



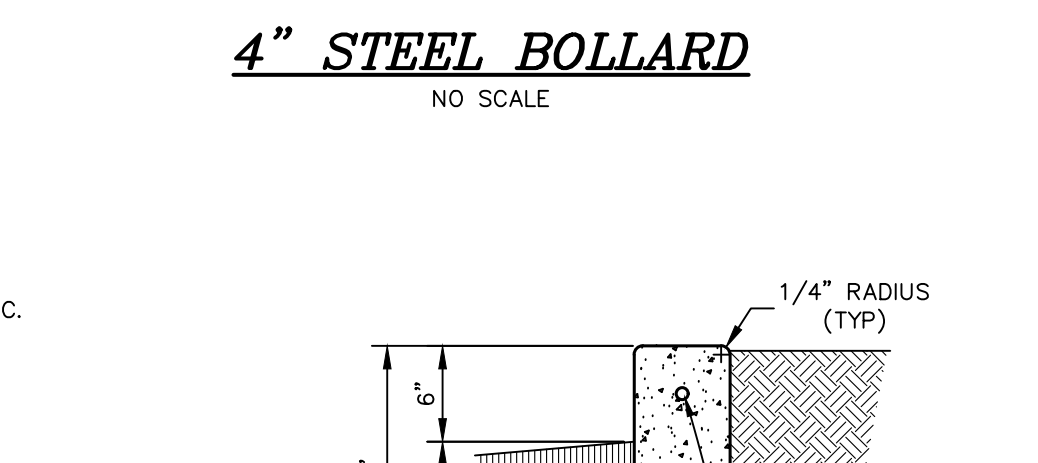
8" REINFORCED CONCRETE PAVEMENT
NO SCALE



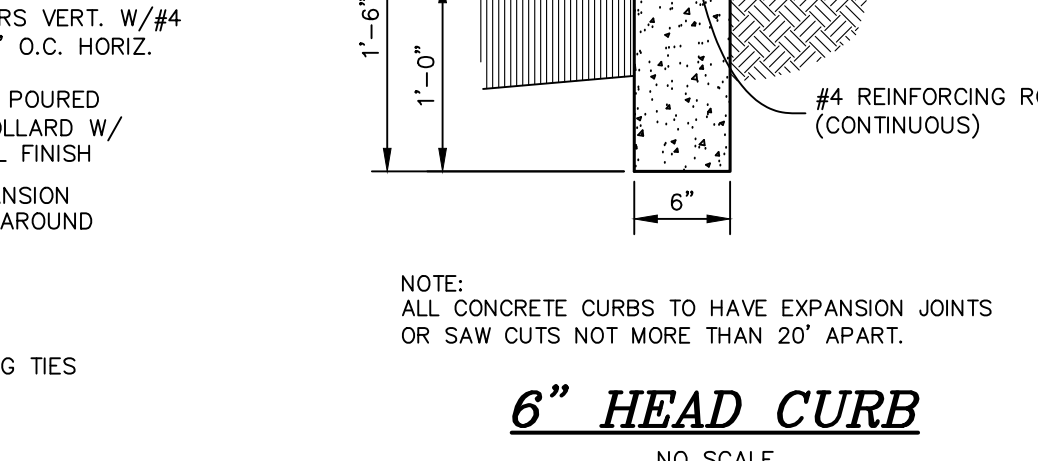
PARKING LOT SECTION
NO SCALE



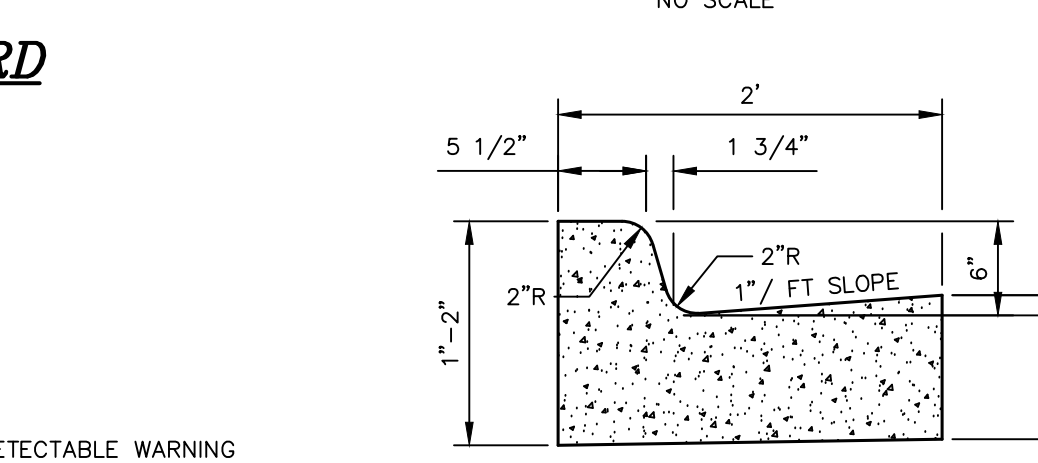
4" STEEL BOLLARD
NO SCALE



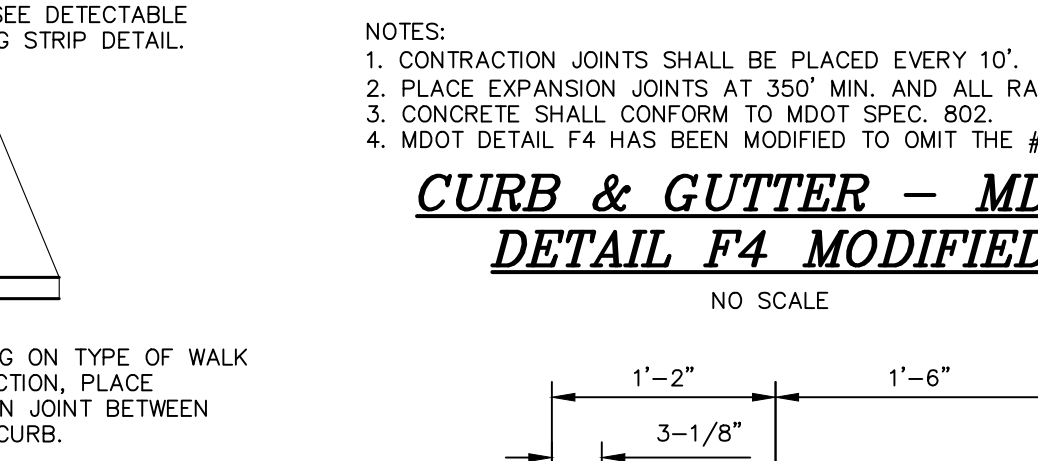
6" HEAD CURB
NO SCALE



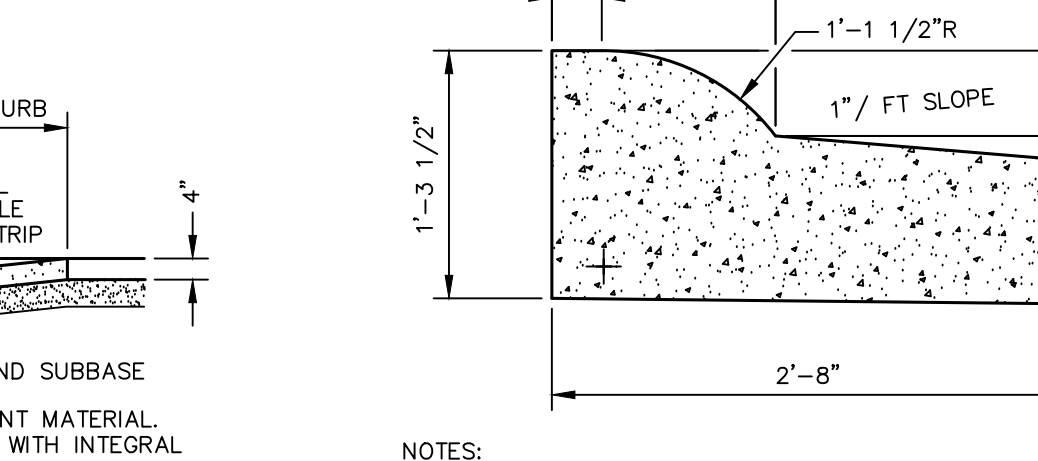
CURB & GUTTER - MDOT DETAIL F4 MODIFIED
NO SCALE



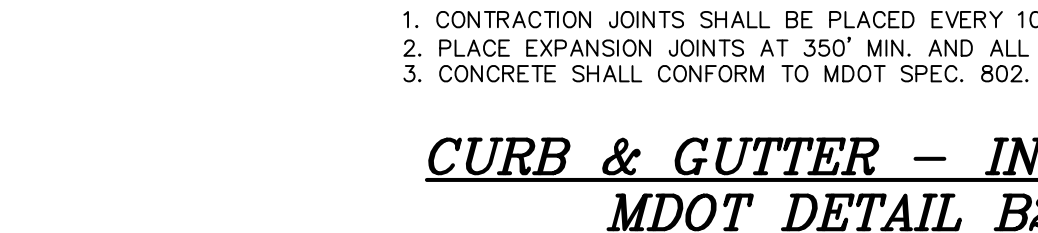
24" CATCH BASIN
NO SCALE



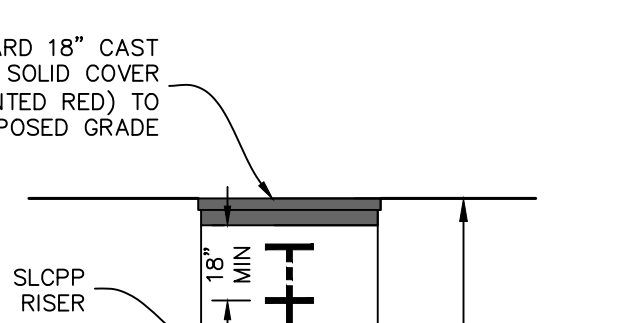
STORM CLEANOUT
NO SCALE



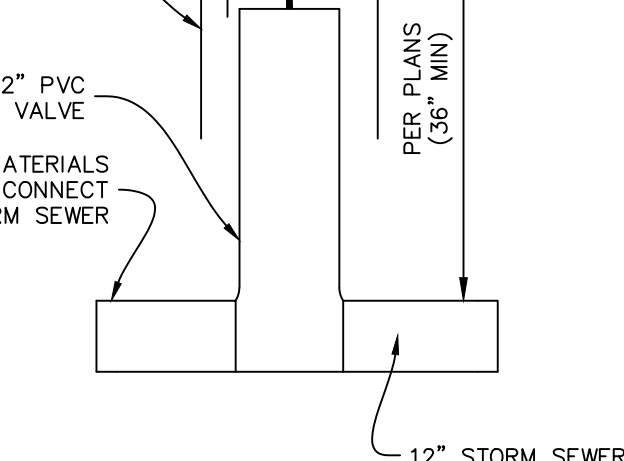
18" RISER W/SHUT OFF VALVE
NO SCALE



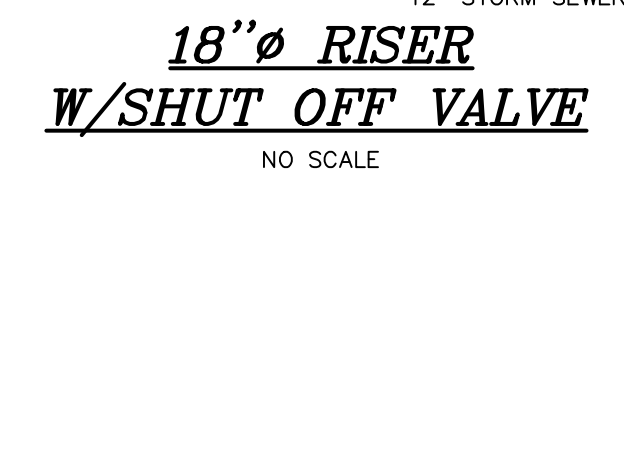
CLASS B PIPE BEDDING
NO SCALE



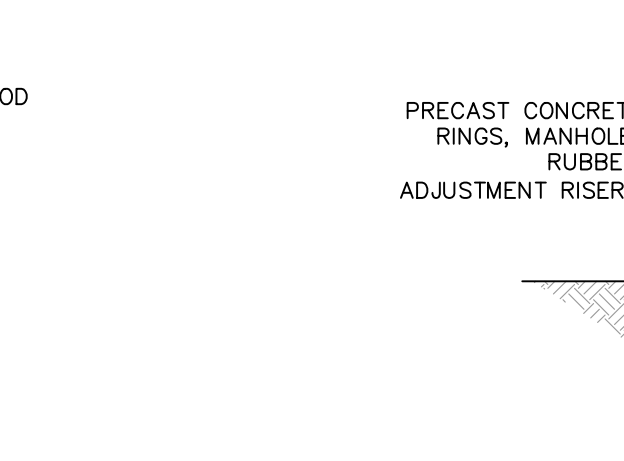
SILT SACK
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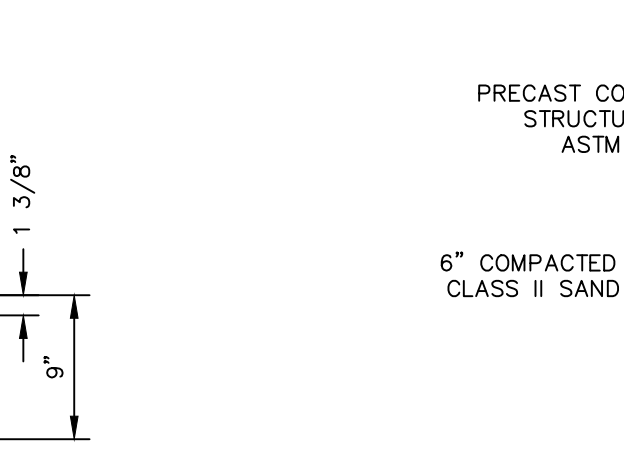
CATCH BASIN
NO SCALE



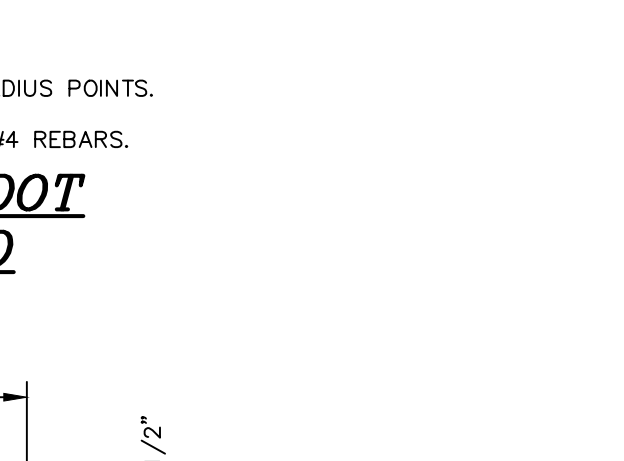
STORM MANHOLE W/OIL SEPARATOR HOOD
NO SCALE



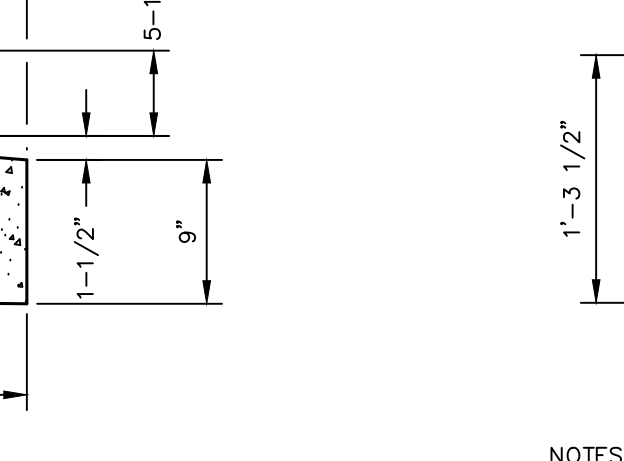
STORM MANHOLE
NO SCALE



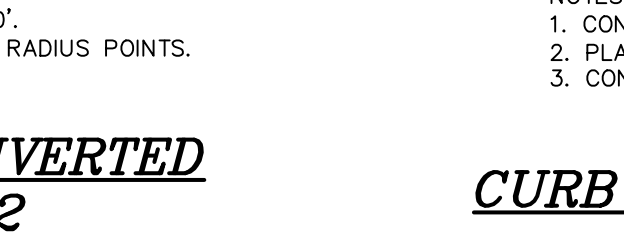
24" CATCH BASIN
NO SCALE



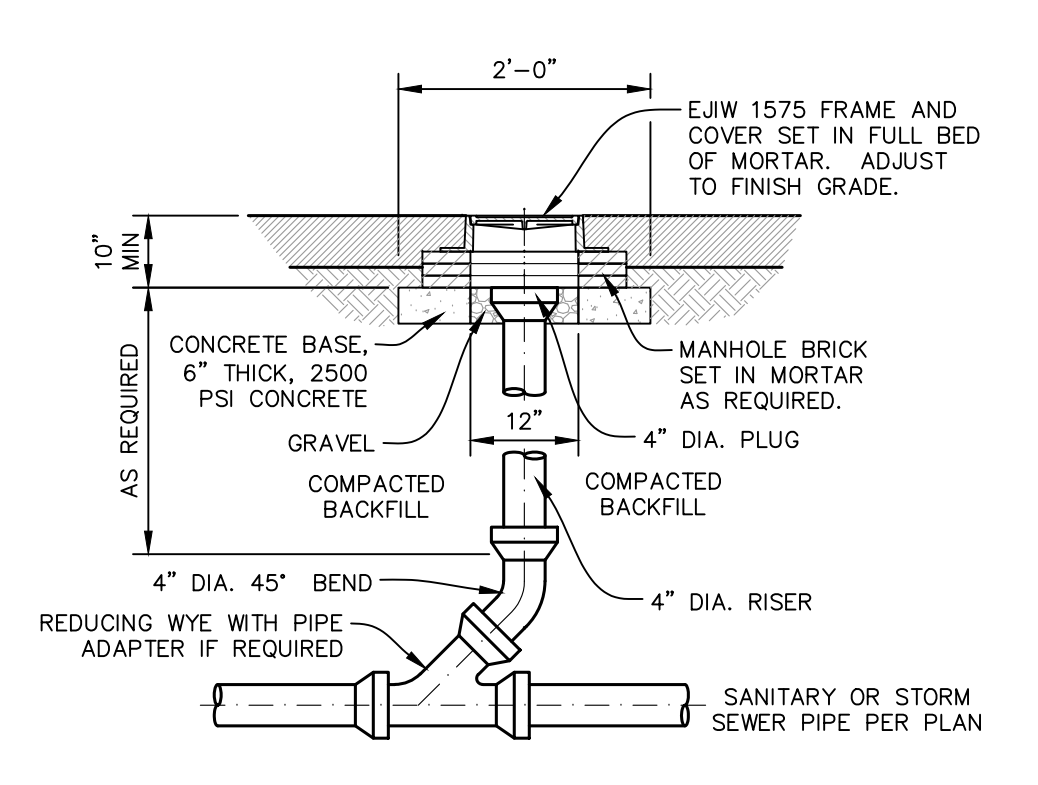
CATCH BASIN
NO SCALE



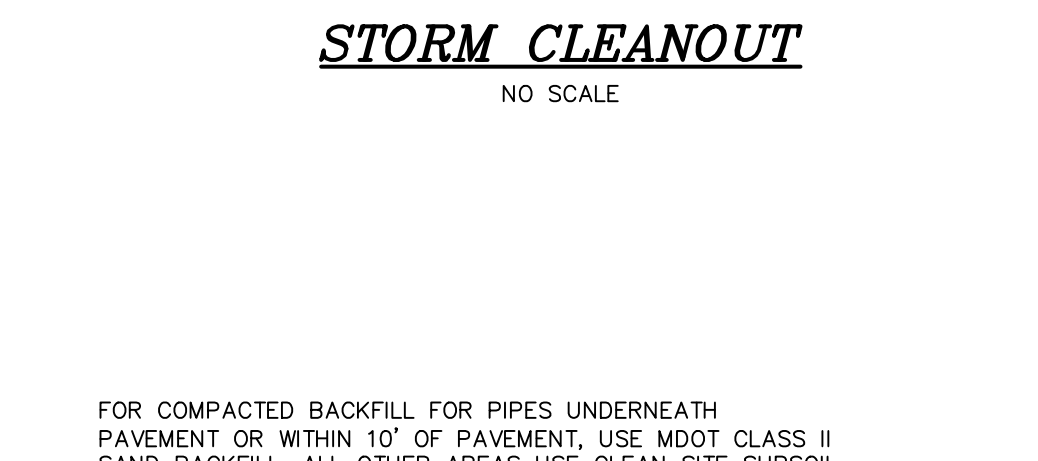
STORM MANHOLE W/OIL SEPARATOR HOOD
NO SCALE



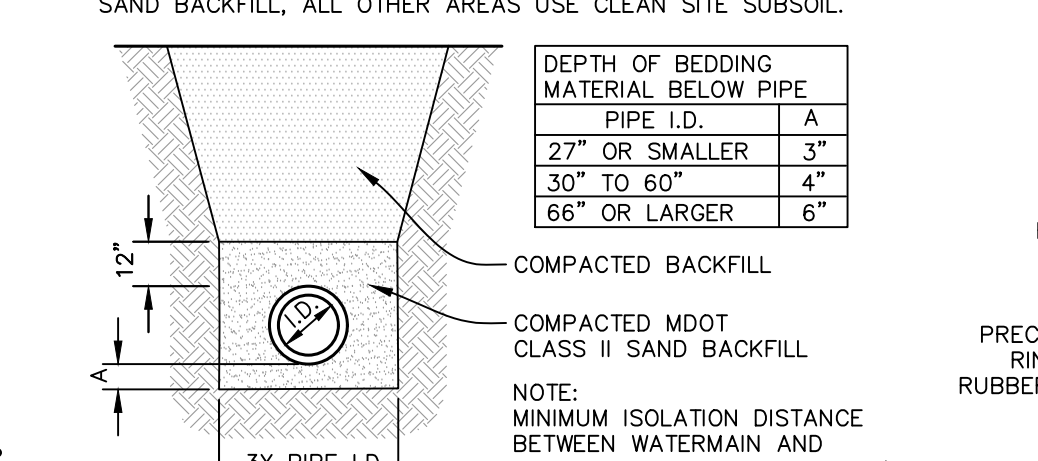
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NO SCALE



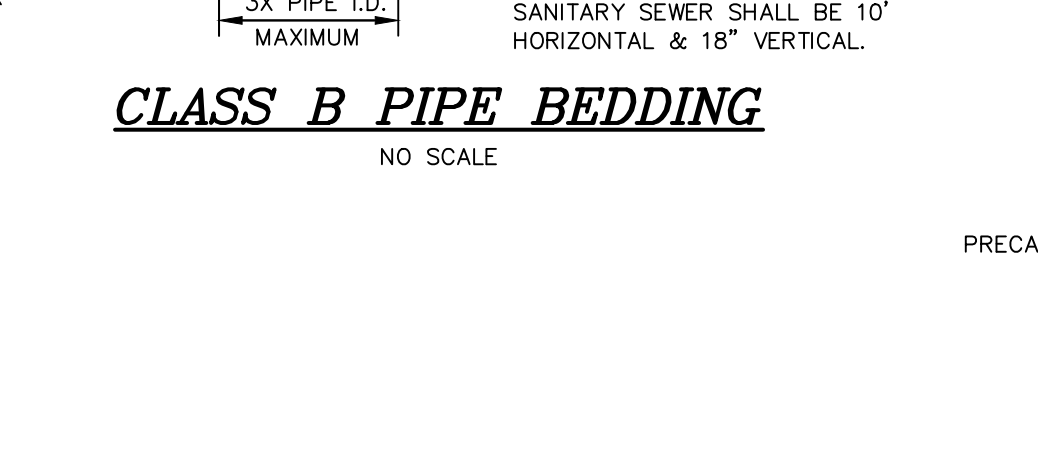
STORM CLEANOUT
NO SCALE



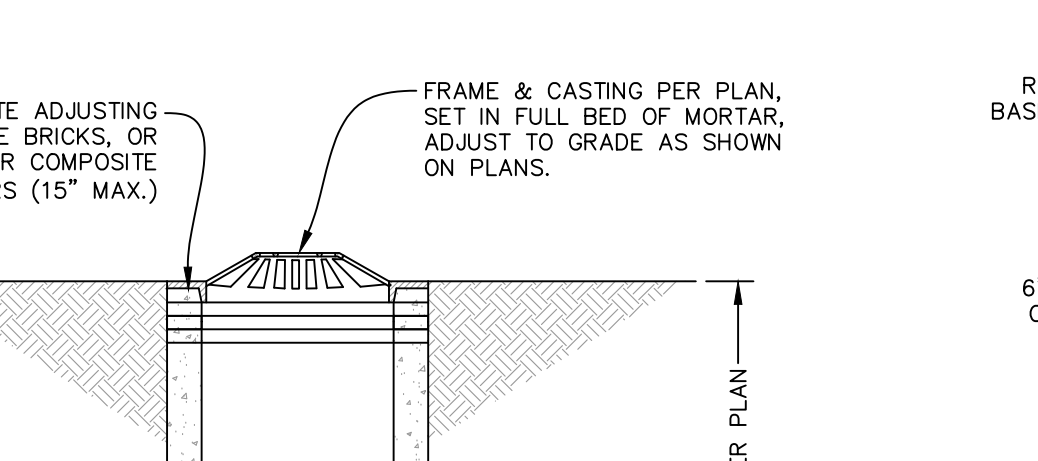
CLASS B PIPE BEDDING
NO SCALE



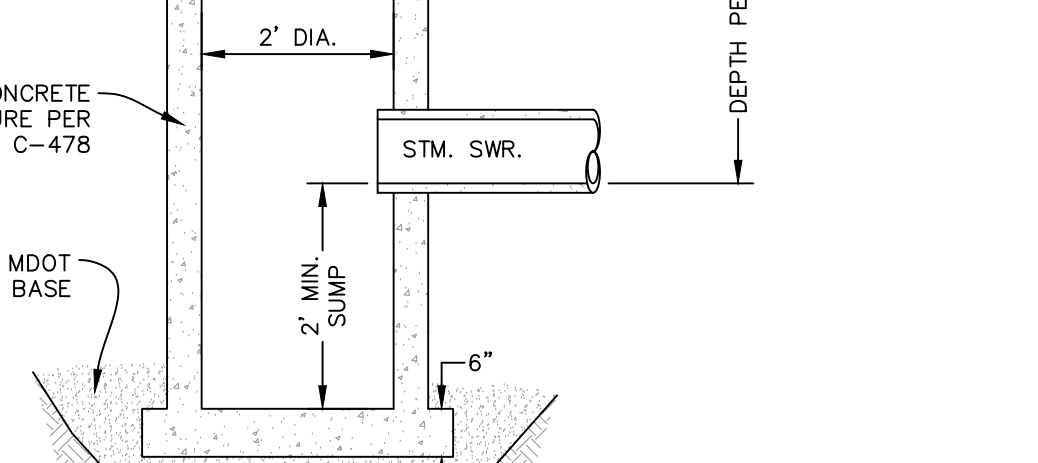
18" RISER W/SHUT OFF VALVE
NO SCALE



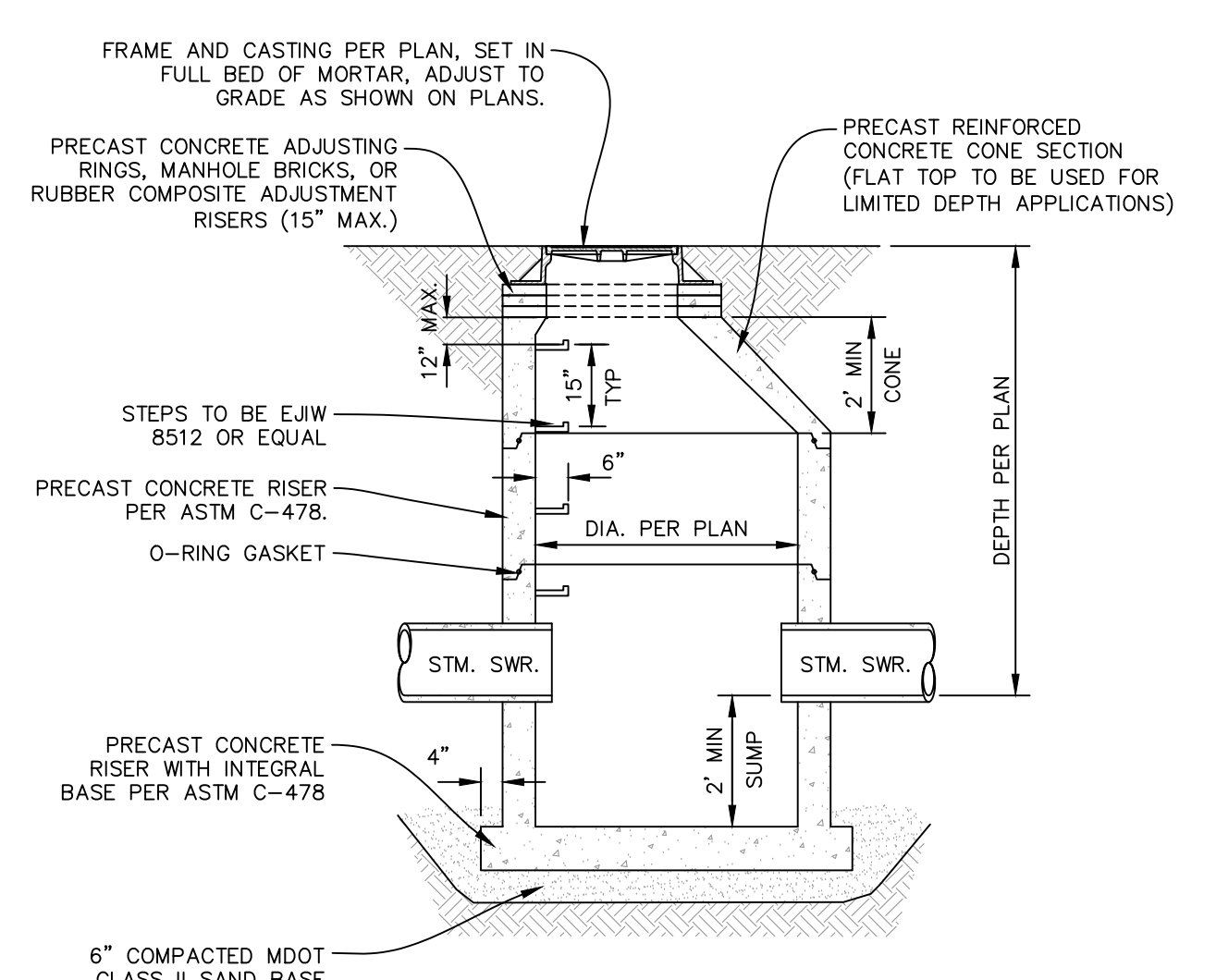
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NO SCALE



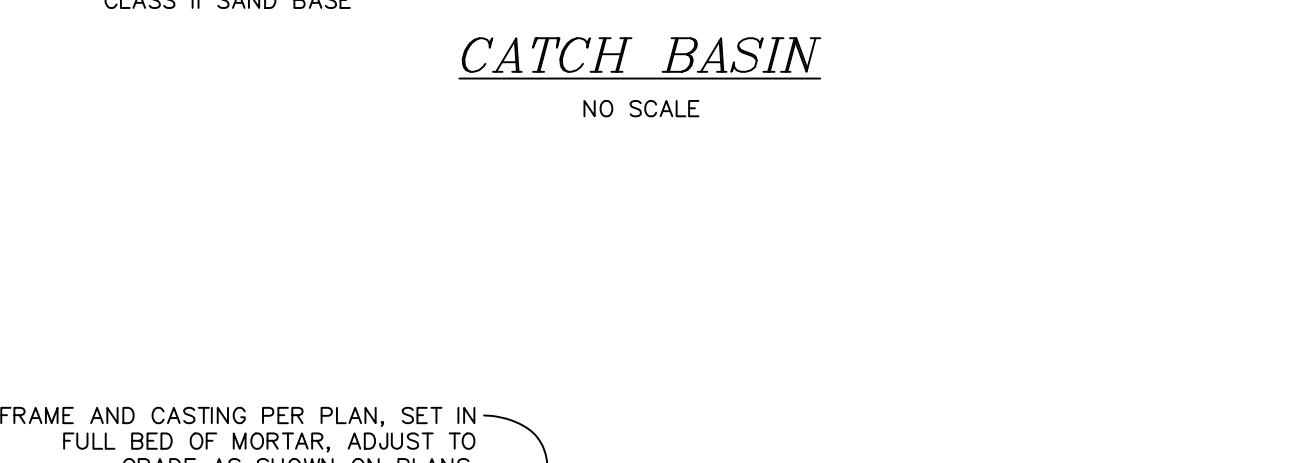
STORM MANHOLE W/OIL SEPARATOR HOOD
NO SCALE



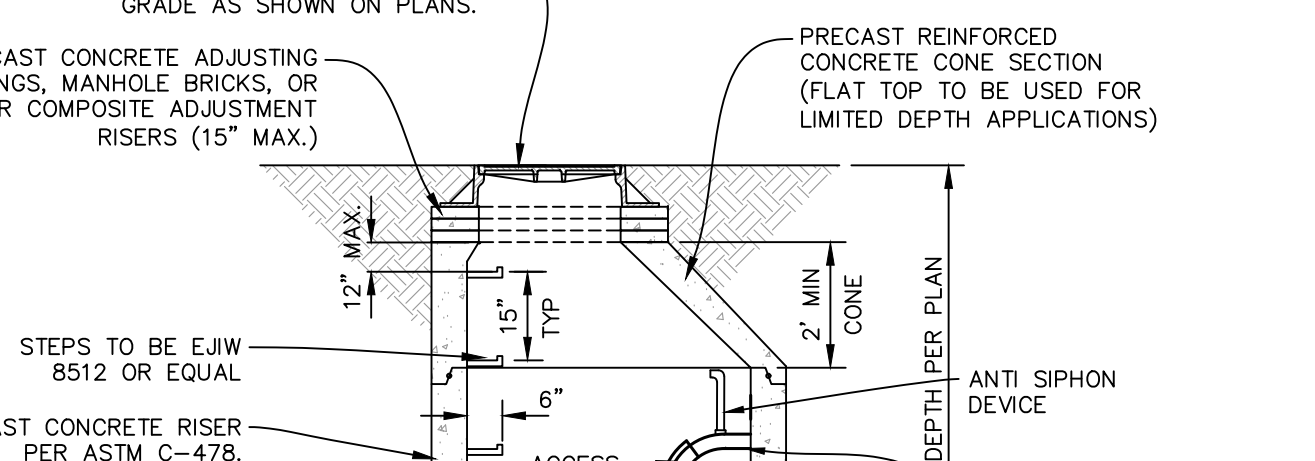
STORM MANHOLE
NO SCALE



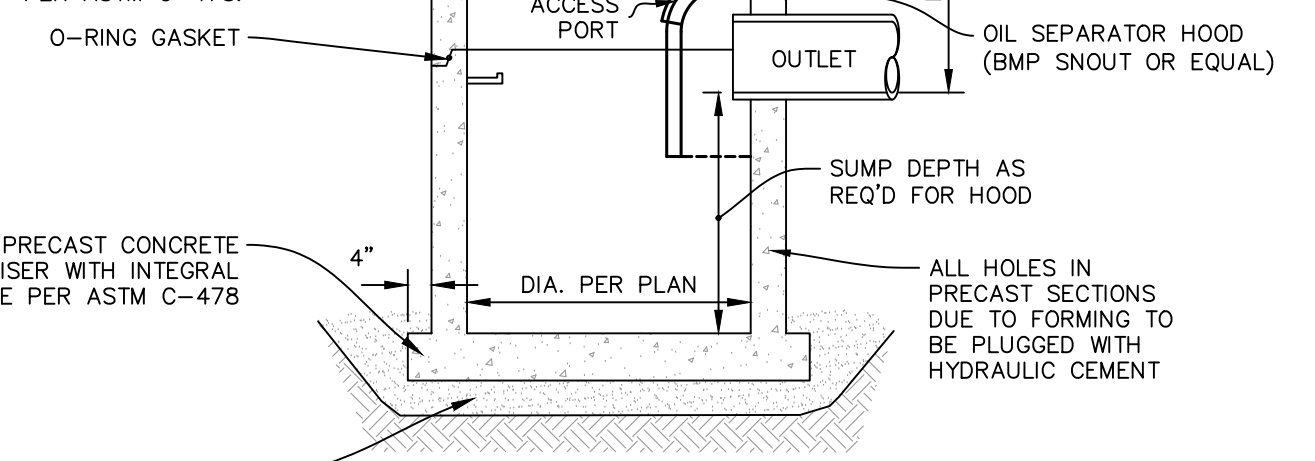
CATCH BASIN
NO SCALE



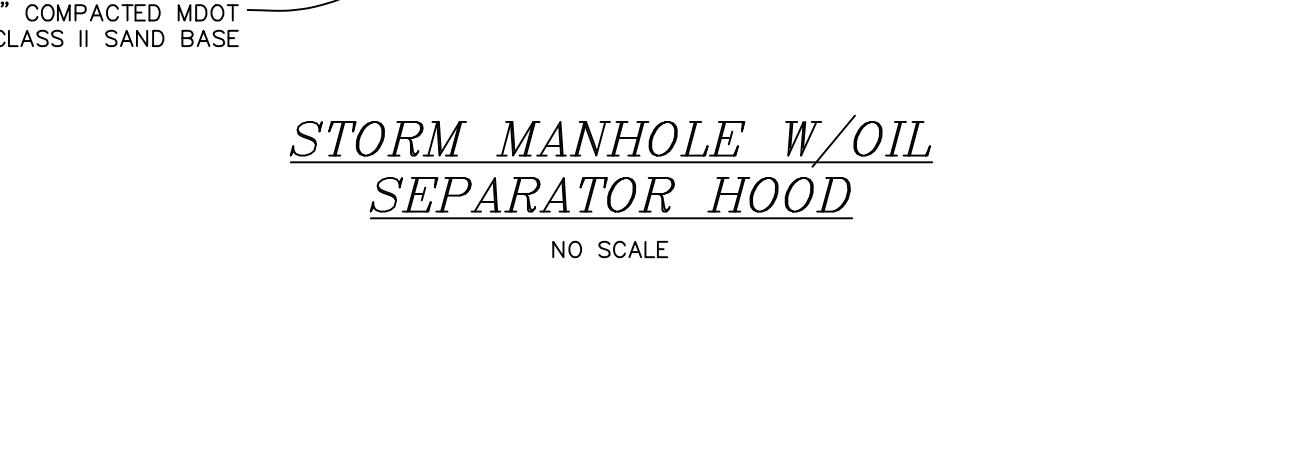
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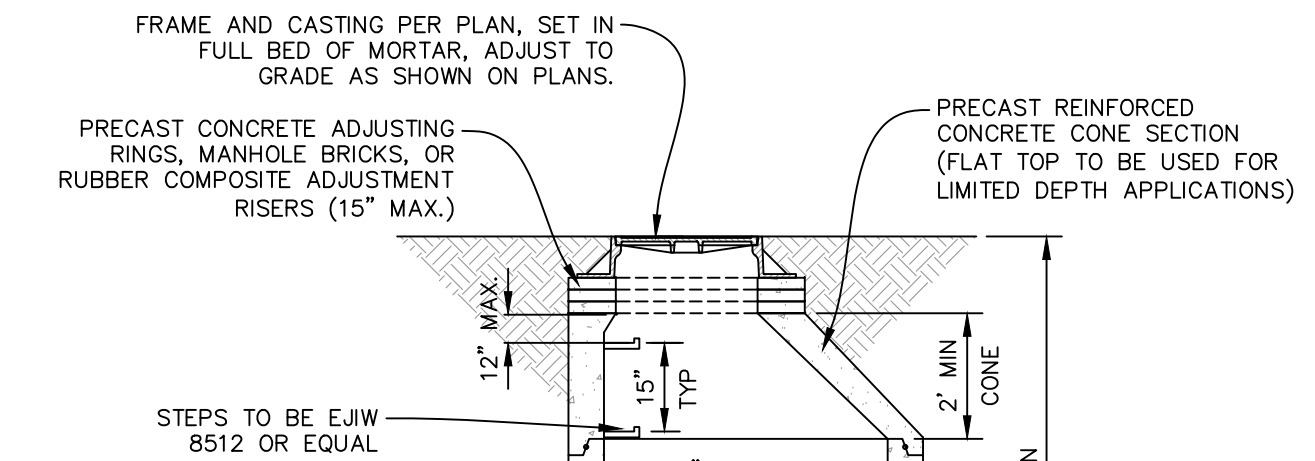
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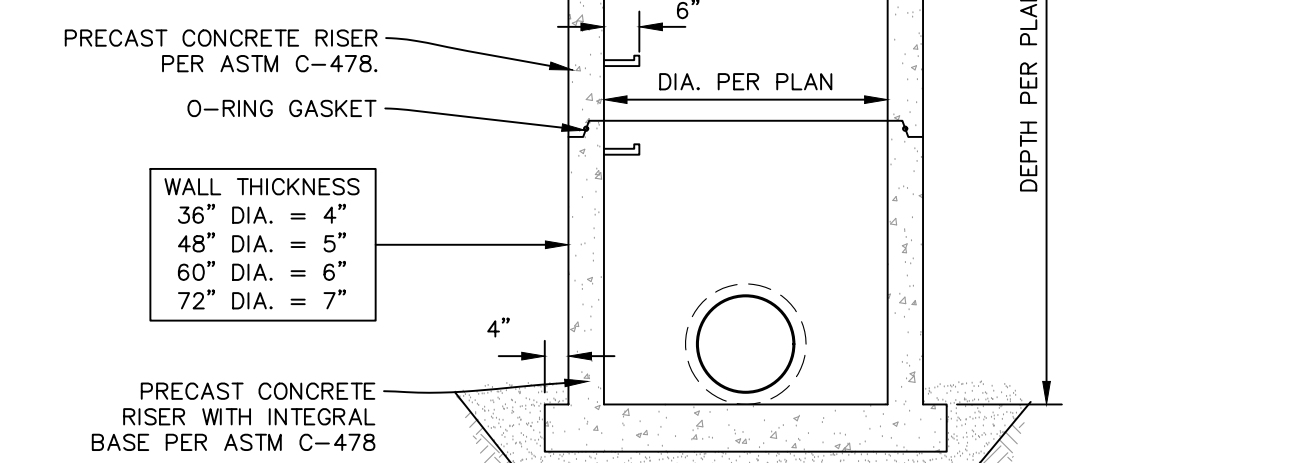
STORM MANHOLE W/OIL SEPARATOR HOOD
NO SCALE



STORM MANHOLE
NO SCALE



STORM MANHOLE W/OIL SEPARATOR HOOD
NO SCALE



STORM MANHOLE
NO SCALE



STORM MANHOLE W/OIL SEPARATOR HOOD
NO SCALE

DRIESENGA & ASSOCIATES, INC.
 Engineering • Surveying • Testing
 1460 WHITEHALL ROAD, SUITE C
 MUSKEGON, MICHIGAN 49445
 Kalamazoo, MI - 269-544-1455
 Holland, MI - 616-396-0255
 Grand Rapids, MI - 616-249-3800
 Detroit, MI - 616-336-0255

REVISIONS

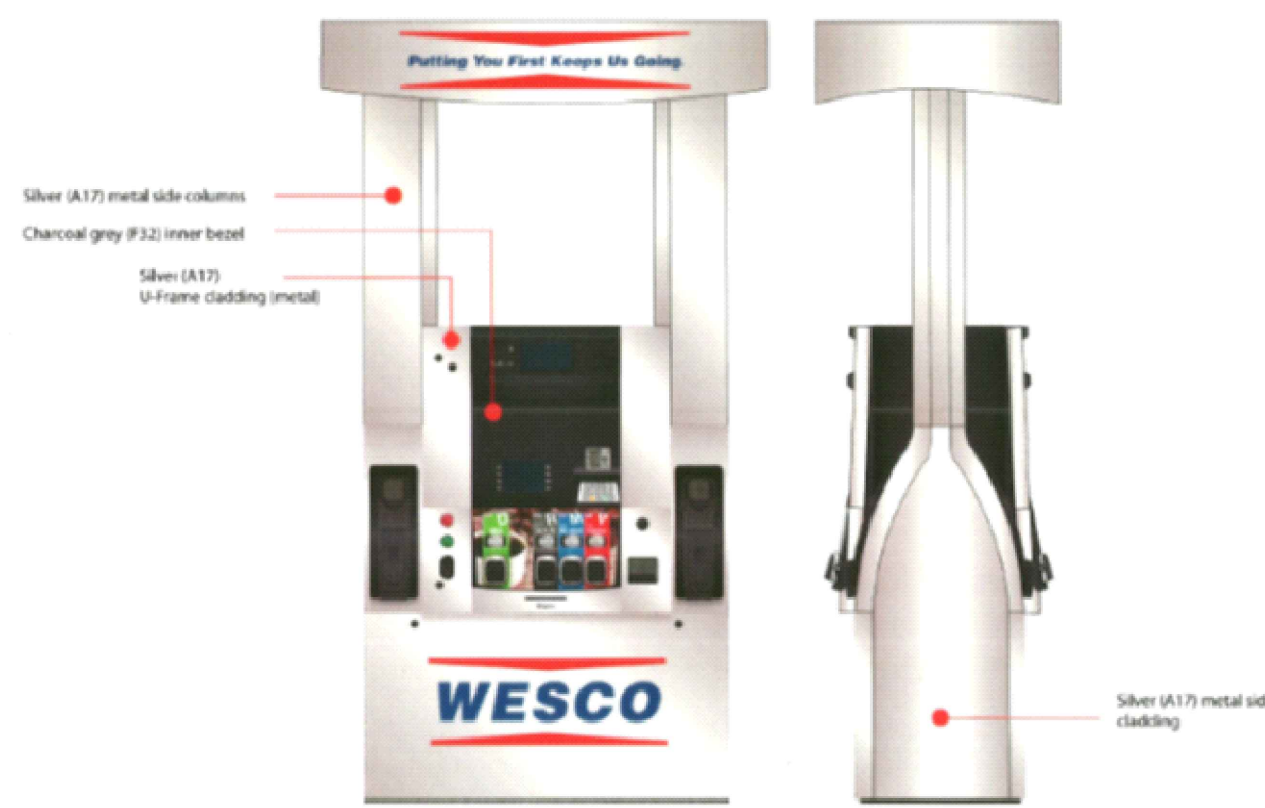
1	ISSUED FOR SITE PLAN APPROVAL 2017-07-12
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WESCO #9 (PLAINWELL) IMPROVEMENTS
 CITY OF PLAINWELL, ALLEGAN CO.
 WESCO, INC.
 SEC. 30, TOWN, RIW
 1460 WHITEHALL ROAD, SUITE C
 MUSKEGON, MICHIGAN 49445

Designed By: JMT
 Drawn By: AQA
 Checked By: Date:
 Plot:
 1"=20'
 Scale:
 07-12-2017
 Date:
 1710060.1A
 Job No.:
 Sheet No.:
C-501
 7 of 8

ISSUED FOR APPROVAL

File Name: H:\Videos\Projects\2017\710060.1A WESCO-08 (rebrand)\dwg\710060.1A Site 8.dwg
Last Saved: 7/12/2017 3:12:05 PM

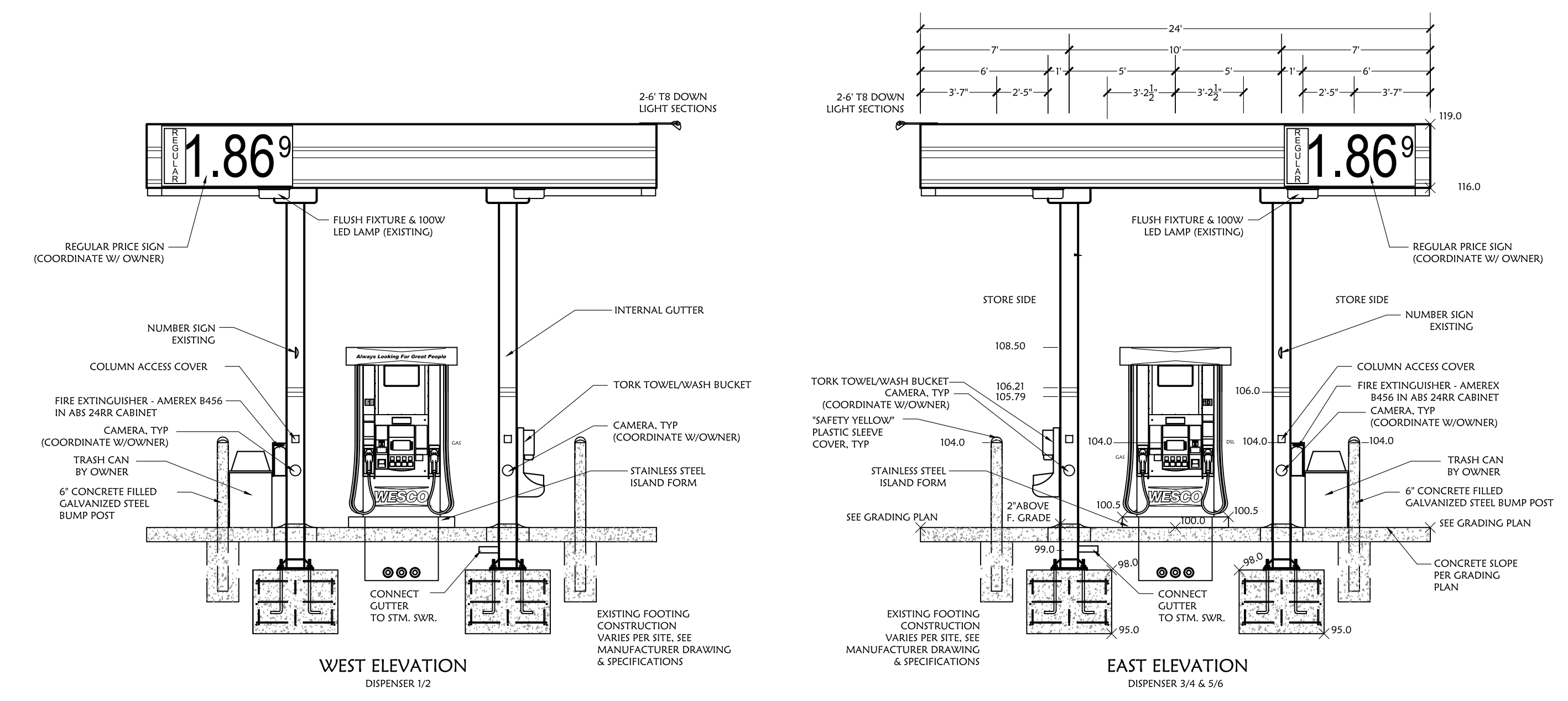
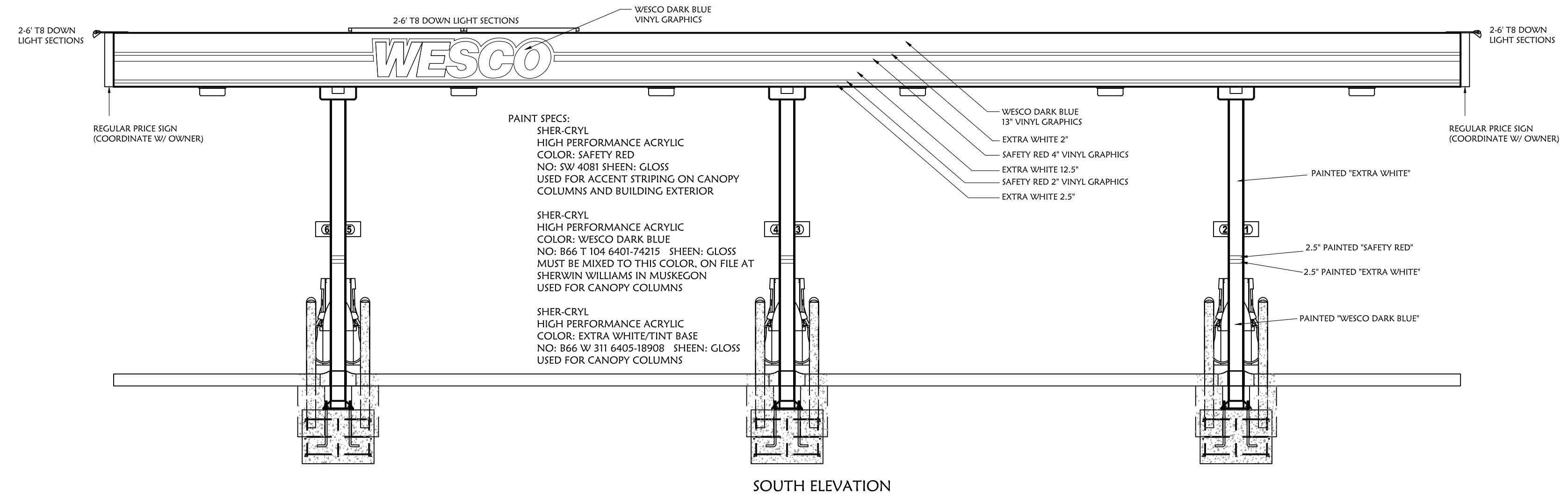
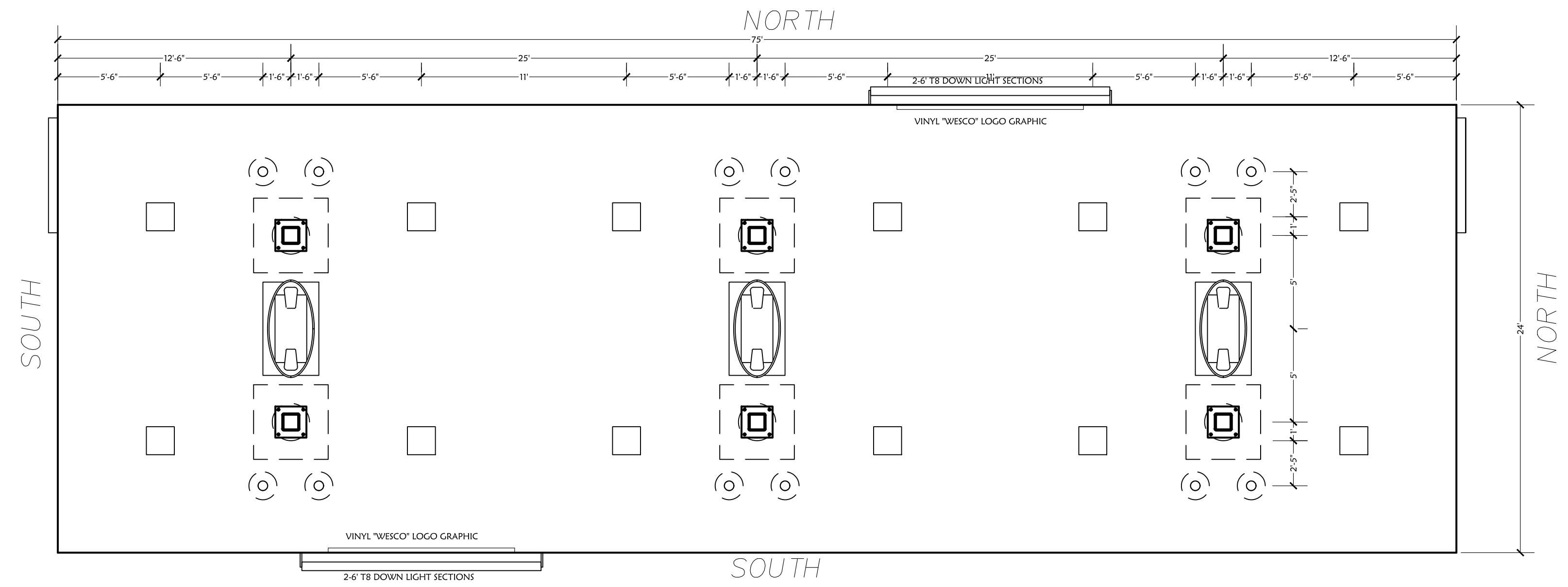


- PROVIDE Ovation-2 DISPENSER AND FEATURES**
- 1 SILVER COLUMNS, VALANCES, & LOWER PUMP PANELS
 - 2 BLACK BEZEL WITH WESCO GRAPHICS
 - 3 X-FLOW METER
 - 4 INNOVATION TV WITH GATEWAY
 - 5 PAY WAVE
 - 6 WAYNE CONNECT-CAT-5e WIRE CONNECTED AT THE DISPENSERS
 - 7 MUSIC & INTERCOM
 - 8 EMV PINPAD
 - 9 EMV READY CARD READER
 - 10 10" SCREEN

*NOTE: SEE GRAPHICS ABOVE.

DISPENSER REBRANDING

NO SCALE



CANOPY & FUEL DISPENSER

NO SCALE

ISSUED FOR APPROVAL

DRIESENGA & ASSOCIATES, INC.
Engineering • Surveying • Testing
www.driesenga.com
Kalamazoo, MI - 269-544-1455
Holland, MI - 616-396-0255
Grand Rapids, MI - 616-249-3800
Detroit, MI - 616-396-0255

REVISIONS	
1	ISSUED FOR SITE PLAN APPROVAL 2017-07-12

WESCO #9 (PLAINWELL) IMPROVEMENTS
SEC. 30, TOLIN, RIW CITY OF PLAINWELL, ALLEGAN CO.
WESCO, INC.
1460 WHITEHALL ROAD, SUITE C
MUSKEGON, MICHIGAN 49445

Designed By: JMT
Drawn By: AQA
Checked By: Date: _____
Plot: NO SCALE
Scale: 07-12-2017
Date: 1710060.1A
Job No.: _____
Sheet No.: **C-502**
8 of 8

CITY OF PLAINWELL



PROJECT / SITE PLAN REVIEW FORM

Rev. 8/2005

Today's Date: 6/22/17

Parcel Number: 55-340-004-00

Project Site Address: 551 W. Allegan

Owner(s) w/Contact Information: Wesco, Inc. 1460 Whitehall Rd. Muskegon, MI 49445

Contractor(s) w/Contact Information: Accurate Excavators, LLC 2821 Central Rd. Muskegon, MI 49445

Current Zoning: C-2

Wellhead Protection/Flood Hazard District? NO/NO

Description of Proposed Project: Replacement of existing fueling canopy and dispensers, construction of new driveways, improvements of existing pavements, and replacement of existing retaining wall.

Dispenser Rebranding is noted on sheet C-502. Is that possible without replacing existing underground storage tanks? The legend on sheet G-002 shows identical graphics for existing and proposed tanks. That graphic is not apparent on sheet G-002. Sheet 1 of 1 and sheet CD-101 use the existing and proposed tank graphic. C-102 shows a proposed Triton Underground Storage Chamber. Sounds like a tank but it does not have a proposed tank graphic. Please explain what a Triton Underground Storage Chamber is. Are new gasoline storage tanks a part of this project? A cover sheet explaining the project should accompany plans that are this complicated.

1. Is the Project a Permitted Use? YES If No, Is Proposed Use a Permitted Use After Special Approval?

2. Have All The Necessary Copies Of The Proposed Project Been Submitted (PDF Format)? YES

3. Zoning Permit has Been Completed? Yes

4. Is the Site Plan Accompanied By:

- Legal description- YES
- Gross land area with north point- NO (missing gross land area)
- Zoning classification- YES
- Zoning and land use of abutting lots, w/structures and improvements indicated- YES
- Name and address of person preparing the site plan- YES
- Scale- YES
- Structure location(s)- YES
- Dimensions of lot and property lines- YES
- Location of all structures on subject and abutting properties- YES
- Location of each proposed structure, w/use(s), w/number of stories, gross building area- YES
- Distances between structures and lot lines, setback lines- NO (setback lines not shown)
- Occupancy type-
- Fire exits- NA to this site plan

5. Parking (and Paving)

- Proper number of parking spots/handicap? No (6 spaces; no barrier-free spaces provided; 15 required for pumps plus employee and 1 for every 75 SF devoted to retail) [PC can recommend modifications to parking req's; Section 53-175]
- Location of loading docks/zone? Unknown; no loading zone shown [Section 53-179] What type of truck? Hours? Applicant should provide information. Loading zone may be waived if applicant demonstrates a loading zone is unnecessary.

- Adequate loading space? NO, 1 required [Section 53-179] Non-conforming but proposal is not changing the nature of the use in this regard. Applicant to demonstrate hours, size of trucks, and no adverse effects.
- Asphalt or gravel requirement met? YES, concrete and asphalt proposed

6. Landscaping

- Location and volume meets requirement? [Section 53-124 B]
 - Minimum 15% total lot area: NO;
 - One tree or shrub per 1,000 SF + one tree for every 1,500 SF of landscaped area: NO
 - Min. 33% of req. landscape area located between any building and street: NO
 - Site is in non-conformance with the zoning code.

7. Lighting

- Exterior lighting kept substantially on property? UNKNOWN; Lighting proposed installed onto canopy covered and tilted down toward interior of site.
- Appears to be flush-mounted, cut-off, not shining on adjacent properties (recommend submittal of photometric plan)

8. Traffic Flow (vehicular and pedestrian)

- Driveway permit needed? YES
- Does traffic circulation provide safe vehicular and pedestrian flow? YES (traffic circulation improved by delineating ingress/egress points along Prince St.)
- Public safety vehicle access? YES
- Fire lanes needed? Fire Chief review required / According to Bill No not needed

9. Storm Water Retention

- Location of proposed storm collection area shown? YES, catch basin
- Adequate size? City Engineer review required? YES

10. Dumpster

- Location and screening? Located as to not conflict with off-street parking. Material and height meets standard [Section 53-126]

11. Water and Sewer Lines (hookups)

- Will permits be needed? NO
- Size and location of water connections/meter(s)?
- Is a backflow preventer required? Yes, existing
- Size and location of sewer connections? 4" east of store
- Hydrant location: w/in MDOT ROW adjacent to site on sidewalk
 - In front of business
 - #521, #517 behind building SE corner Union at Prince St

12. Noise, Odor, Particulate, Vibration, Combustible or Hazardous Material Concerns: N/A

13. Signage Plan

- Describe plan: Master sign plan submitted? COMPLIES. Two (2) LED fuel price sign installed on canopy (6' x 3'). Vinyl "Wesco" sign (6' by 3'). Existing gas price pole sign located near the corner of Prince St and Allegan St will remain. [Section 52-10 D. 1]

14. Outside Storage

- Will outside storage be required? NO
- Proper screening and distances met? N/A

15. Is Minimum/Maximum Lot Width Requirement Met? N/A

16. Is Minimum/Maximum Lot Area Requirement Met? N/A

17. Is Minimum/Maximum Height Requirement Met? YES

18. Setback Requirements – YES

- Front – N/A (none provided)
- Rear – N/A
- Side – 10 feet

19. Phase Construction (if applicable) YES – 3 Phases

- Description of each phase:
 - Phase 1 – Removal and replacement of concrete, dumpster, sidewalk, and brick retaining wall along the western edge of the site and around the outside of the existing building.
 - Phase 2 – Removal and replacement of gas pump canopy, fuel dispensers, concrete, and fuel tanks.
 - Phase 3 – Finish repaving of site with concrete

20. Fire Suppression Considerations (if applicable)

- Is sprinkler needed or recommended- *No*
- Fire Pump needed (3 stories or more)- *No*

Rick

Bill

Denise

Williams and Works /Max (Highlighted)

MINUTES
Plainwell City Council
May 22, 2017

1. Mayor Brooks called the regular meeting to order at 7:01 PM in City Hall Council Chambers.
2. Steve Smail of Lighthouse Baptist Church gave the Invocation.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Brooks, Mayor Pro-Tem Steele, Councilman Keeler, and Councilman Overhuel.
Absent: and Councilman Keeney.
5. Approval of Minutes/Summary:
A motion by Steele, supported by Overhuel, to accept and place on file the Council Minutes and Summary of the 05/08/2017 regular meeting. On voice vote, all voted in favor. Motion passed.
6. General Public Comments:
Steve Smail from Lighthouse Baptist Church invited Council to the July 16 church service that will include honoring public servants, including Senator Tonya Shuitmaker and Representative Mary Whiteford, both of whom will be in attendance.
7. Presentations / County Commissioner Report:
County Clerk Bob Genetski reported on the state of the County Clerk's Office and noted work on consolidating the department's website and making more forms available online. He made specific note of his office's free service of recording Form DD-214 for the Honorable Discharge from military service and that the veteran can always receive certified copies of the form for future use. He also reported on the new election hardware being purchased through Dominion Software and the negotiations which all for the use of the remaining federal and state funds to obtain this equipment at no up-front cost for the city.

Commissioner Don Black reported that the state of the countywide road patrol millage is still in limbo due to unresolved concerns of the municipalities that already offer public safety services, as well as a need for more input from all of the county's municipalities.
8. Agenda Amendments: None.
9. Mayor's Report: Mayor Brooks reported on celebrating with the PHS Senior Class of 2017 on May 23, 2017 and awarding the Bryon Brooks Memorial Scholarship again this year and what a privilege to do so.
10. Recommendations and Reports:
 - A. Clerk/Treasurer Kelley piggybacked on County Clerk Genetski's report on the new voting equipment and reported to Council the need to formalize application to the State for use of the grant funds which allow the equipment to be purchased with no up-front dollars. The resolution authorizes the City Manager to make such application with the State, through the County Clerk's Office.
A motion by Steele, supported by Keeler, to adopt Resolution 17-14 authorizing the City Manager to make grant application with the Michigan Secretary of State for new voting machines. On a voice vote, all in favor. Motion passed.
 - B. Community Development Manager Siegel and Kyle from DC Strong reported on the planned Car/Truck show on July 15, 2017 that benefits DC Strong. The vehicles will be displayed in the gravel lot on the Mill Site on M-89. GHD, Public Safety and Public Works have reviewed the plans and are in support.
A motion by Steele, supported by Keeler, to approve Special Event Permit 2017-03. On a

voice vote, all in favor. Motion passed.

- C.** Community Development Manager Siegel reported the VFW is planning the annual Memorial Day Parade for Monday May 29, 2017, using the same route as prior year. Public Safety Director Bomar has reviewed the plans and has staffing available.

A motion by Keeler, supported by Overhuel, to approve Special Event Permit 2017-06. On a voice vote, all in favor. Motion passed.

- D.** Community Development Manager Siegel reported on the annual 5K benefitting the Plainwell Education Foundation taking place June 14, 2017. The route starts and ends at Hicks Park and is mostly on back road with minimal interruptions on South Main. Public Safety Director Bomar has reviewed the plans and has staffing available.

A motion by Steele, supported by Overhuel, to approve Special Event Permit 2017-07. On a voice vote, all in favor. Motion passed.

- E.** Superintendent Updike reported on the Traffic Control Order to add a Dead End Road sign on Walnut Wood Court in response to local resident concerns.

A motion by Steele, supported by Overhuel, to approve Traffic Control Order 463. On a voice vote, all in favor. Motion passed.

11. Communications:

- A. A motion by Steele, seconded by Overhuel, to accept and place on file the April 2017 Water Renewal Report. On a voice vote, all in favor. Motion passed.**

12. Accounts Payable:

A motion by Keeler, supported by Steele, that the bills be allowed and orders drawn in the amount of \$37,447.56 for payment of same. On a roll call vote, all in favor. Motion passed.

13. Public Comments

None.

14. Staff Comments

Personnel Manager Lamorandier reported that insurance open enrollment was coming up soon. She also noted a successful planting day on Saturday May 20, 2017.

Superintendent Updike reported that many items offered at auction recently all sold.

Community Development Manager Siegel reported continued fundraising efforts for the Dog Park. So far, nearly \$4,500 has been raised after a very successful Dog Park K9 walk over the weekend, which included 75 walkers and 60 dogs. She noted the next major fundraiser would be during the Plainwell Festival Days and would coordinate with the Rotary.

Clerk/Treasurer Kelley reported working on budget, voter registrations and audit prep.

City Manager Wilson reported working with the DEQ, the DNR and others related to work on the Plainwell Dam #2, which includes the Mill Race and the dam near the Mill. He reminded Council that when the City acquired the Mill, it also obtained riparian rights for the Mill Race, so the mill's dam should be included in this important long-term project. He also thanked Sandy Lamorandier and the DPW staff for their great work on the flower planting.

15. Council Comments:

Mayor Pro-Tem Steele reminded everyone that the Plainwell High School graduation is Thursday May 25, so please allow for extra traffic in town for the festivities. She also reported on the passing of Leon Kenyon, long-time Plainwell resident and past member of City Council.

16. Adjournment:

A motion by Steele, supported by Overhuel, to adjourn the meeting at 7:33 PM. On voice vote, all voted in favor. Motion passed.

Minutes respectfully
Submitted by,
Brian Kelley
City Clerk/Treasurer

MINUTES
Plainwell City Council
June 12, 2017

1. Mayor Brooks called the regular meeting to order at 7:00 PM in City Hall Council Chambers.
2. Pledge of Allegiance was given by all present.
3. Roll Call: Present: Mayor Brooks, Mayor Pro-Tem Steele, Councilman Keeler, Councilman Overhuel and Councilman Keeney. Absent: None.
4. Approval of Minutes/Summary:
A motion by Steele, supported by Overhuel, to accept and place on file the Council Minutes and Summary of the 05/22/2017 regular meeting. On voice vote, all voted in favor. Motion passed.
5. General Public Comments: None.
6. Presentations / County Commissioner Report: None.
7. Agenda Amendments: None.
8. Mayor's Report: None.
9. Recommendations and Reports:
 - A. Steve Tyre representing Ace Hardware gave a brief history of his ties to the community and his relationship with the Dorgans. He noted using 14,000 square feet of space in the building, 12,000 of that for retail space, with the main entrance off Anderson Street. He plans to sell fishing and other outdoor supplies. The Phase 2 Environmental study will commence June 13 and once the sale is closed, construction may take four (4) months for a late-summer/early-fall opening with up to 10 mostly part-time employees in the Downtown area. The Planning Commission has reviewed the site plan and is recommending approval.
A motion by Keeler, supported by Keeney, to approve the site plan for the Ace Hardware building as presented. On a voice vote, all in favor. Motion passed.
 - B. Council was briefed on the new Ambulance Agreement between several municipalities in the area, which is essentially an extension of previous agreements. Ryan Cronk from Plainwell Area EMS was in attendance in support of the agreement.
A motion by Steele, supported by Keeney, to approve the Ambulance Service Agreement through June 30, 2020 authorizing the City Manager to execute all documents on behalf of the city. On a roll-call vote, all in favor. Motion passed.
 - C. Superintendent Updike reporting on a pavement marking project to update Main and Prince Streets. It's been some time since they were last done. Bids were solicited and the low-bidder is recommended.
A motion by Overhuel, supported by Steele, to approve the pavement marking project with Ace Parking Lot Striping for \$9,122.40. On a roll-call vote, all in favor. Motion passed.
 - D. Superintendent Updike reported problems with pavement at the Airport, primarily on the approaches, where the loose stone affects the plane's propeller. Accordingly, the pavement needs to be redone. Bids were solicited to repair the ramp and taxiway pavement at the Airport. Of the six bids received, two identical and they happened to be the low-bids. There being no guidance in the Purchasing Policy regarding a tie-bid, While the city is not bound by federal guidance in this case (no federal fund are being used), the bid could be awarded to a local vendor, or done by lottery. One of

the bidders has a Plainwell mailing address, while not located inside the city limits. Either company is qualified to do the work. Council considered a few options.

A motion by Keeney, supported by Keeler, to award the contract for Airport ramp & taxiway pavement repairs to Wyoming Asphalt in the amount of \$25,950. On a roll-call vote, all in favor. Motion passed.

- E.** Community Development Manager Siegel reported that the current website designer has chosen to close her doors, leaving the city to seek a new provider for website development and hosting. Currently the development and hosting are being done by several providers. Muniweb will re-develop the city's website, with an focus on trying to restore some of the lost functionality (e-services & calendars), and will provide the hosting functions, bringing the entire website under one provider. **A motion by Steele, supported by Overhuel, to approve the project with Muniweb for website development and related services for a one-time cost of \$6,800 and a monthly charge of \$200. On a roll-call vote, all in favor. Motion passed.**

- F.** Personnel Manager Lamorandier reported that the Plan Document for employee benefits needed its annual update for current year limitations, plus adding allowances for distributing the Summary Plan Description.

A motion by Steele, supported by Keeler, to adopt Resolution 17-15 to amend and restate the City of Plainwell Flexible Benefits Plan 501. On a voice vote, all in favor. Motion passed.

- G.** City Manager Wilson and Clerk/Treasurer Kelley reviewed the BRA, TIFA and DDA draft budgets, which are being recommended for approval by the BRA-TIFA-DDA Board. The revenues and expenditures were reviewed for each fund.

A motion by Overhuel, supported by Keeler, to approve the draft BRA budget.

A motion by Keeler, supported by Steele, to approve the draft TIFA budget.

A motion by Keeney, supported by Keeler, to approve the draft DDA budget.

On voice votes for each, all in favor. Motions passed.

- H.** **A motion by Keeney, supported by Keeler, to set a Public Hearing on June 16, 2017 at 7pm for the adoption of the 2017/2018 Plainwell City Budget. On a voice vote, all in favor. Motion passed.**

10. Communications:

- A.** **A motion by Steele, seconded by Overhuel, to accept and place on file the April 2017 DPS Report, the May 2017 Fund Balance and Investment Reports, the DRAFT 05/09/2017 DDA-BRA-TIFA Minutes and the DRAFT 05/17/2017 and 06/07/2017 Planning Minutes.. On a voice vote, all in favor. Motion passed.**

11. Accounts Payable:

A motion by Keeler, supported by Steele, that the bills be allowed and orders drawn in the amount of \$98,547.24 for payment of same. On a roll call vote, all in favor. Motion passed.

12. Public Comments

None.

13. Staff Comments

Personnel Manager Lamorandier reported working on insurance open enrollment.

Director Bomar reported successful festival work over the past several weeks. He noted promotions of staff – the new Deputy Director is John Varley, the new Fire Captain is Dave Rantz, and the new Fire Lieutenant is Jeff Welcher.

Superintendent Updike confirmed good festival work over the past few weeks as well as pavement work.

Superintendent Pond reported completion and near-completion of several capital projects.

Community Development Manager Siegel reported continued fundraising efforts for the Dog Park, including a June 19, 2017 go-live of the Patronicity Crowd Funding Campaign. This site will be live for 60 days and if the city can raise \$20,000, the Michigan Economic Development Corporation will match the funds. She also reported a new Chamber Director has been hired and reminded Council of a July 14 golf outing for the Chamber. Finally, she noted a June 23 ribbon cutting ceremony for the Plainwell Kayak Company.

Clerk/Treasurer Kelley reported finalizing the budget and preparing for the audit.

City Manager Wilson discussed with Council their availability for a workshop to discuss the budget. A quorum of Council members decided on Wednesday June 24, 2016 at 7pm for the budget workshop in Council Chambers.

14. Council Comments:

Councilman Overhuel thanked everyone for a good job at the Plainwell Festival Days.

Mayor Pro-Tem Steele requested and received an update about the recent graffiti on city buildings.

15. Adjournment:

A motion by Steele, supported by Overhuel, to adjourn the meeting at 7:51 PM. On voice vote, all voted in favor. Motion passed.

Minutes respectfully
Submitted by,
Brian Kelley
City Clerk/Treasurer

MINUTES
Plainwell City Council
June 26, 2017

1. Mayor Brooks called the regular meeting to order at 7:01 PM in City Hall Council Chambers.
2. Peter Dams of Lighthouse Baptist Church gave the invocation.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Brooks, Mayor Pro-Tem Steele and Councilman Overhuel. Absent: Councilman Keeler and Councilman Keeney.
5. Approval of Minutes/Summary:
A motion by Steele, supported by Overhuel, to accept and place on file the Council Minutes and Summary of the 06/12/2017 regular meeting and the Minutes of the 06/14/2017 Budget Workshop. On voice vote, all voted in favor. Motion passed.
6. General Public Comments:
State Representative Mary Whiteford gave the Council an update on legislative matters including the State Budget (which includes revenue sharing increases for the city), school pensions and a county-wide recreation study. She also reported working on broadband access and auto insurance reforms. City Council thanked Representative Whiteford for the update. City Manager Wilson asked about state funding for the Department of Environmental Quality (DEQ) to which Representative Whiteford noted there have been ongoing discussions in Lansing.
7. County Commissioner Report:
Commissioner Don Black reported to Council that he will not be seeking re-election when his term expires in 2018 and is looking forward to retirement.
8. Presentations:
Public Works Superintendent Updike presented Sheryl Gluchowski with a plaque and gift for her 25 years of full-time service to the City of Plainwell. Superintendent Updike noted several of Sheryl's accomplishments including her proficiency with the department's software and her work in tracking labor and equipment, as well as procurement and preventative maintenance. Sheryl commented that she appreciates all the people with whom she works for keeping her job fun.

Superintendent Updike also reported that Laborer Don Reeves has reached his 20 years of service and noted that Don is very versatile and willing to step in wherever needed around the department.
9. Agenda Amendments: None.
10. Mayor's Report: None.
11. Recommendations and Reports:
 - A. Superintendent Updike presented City Council with a bid tabulation for the 2017 Local Streets Paving program. He noted that a requirement of the city for paving projects is that the bidders provide a "Bid Bond", which demonstrates the company's commitment to do satisfactory work for the project. Upon the opening of bids for this project, two firms, including the low bidder, did not submit a bid bond, which the city considers a material omission so those bids were not considered. It was also noted that the bids were lower because of having received favorable pricing due to bidding the project earlier. The city's recommendation is the lowest compliant bidder, Michigan Paving.
A motion by Steele, supported by Overhuel, to award the 2017 Local Street Paving project

to Michigan Paving for \$102,425.00 as presented. On a roll-call vote, all in favor. Motion passed.

- B.** Clerk/Treasurer Kelley reminded Council that the current contract for citywide curbside recycling and bulk trash services expires on June 30. On June 15, 2017, the city received proposals from two firms for this service. Upon review of the proposal, the administration recommends the low-bidder, Chef Container, to provide these services for the next five years.
A motion by Overhuel, supported by Steele, to accept the low-bid from Chef Container LLC to provide city-wide monthly curbside recycling & semi-annual bulk-trash pickup services for a 5-year period beginning July 1, 2017, pursuant to the Contractor's Proposal and to authorize the City Manager to execute all documents on behalf of the city. On a roll-call vote, all in favor. Motion passed.
- C.** Clerk/Treasurer reported an application to renew eligibility for participation in a Federal Surplus Assistance Program is due to the State of Michigan. This related to the static display of a T-38 aircraft at the Airport. The newest application requires the governing board to designate an authorized coordinator for this program and it's being recommended to designate the City Manager as that coordinator.
A motion by Steele, supported by Overhuel, to adopt Resolution 17-16 designating the City Manager as the city's authorized coordinator for the Federal Surplus Assistance Program. On a voice vote, all in favor. Motion passed.
- D.** Clerk/Treasurer Kelley reported that four members of various board and commissions have terms that expire on June 30, 2017. Each has confirmed their willingness to continue serving and, accordingly, are being recommended for re-appointment.
A motion by Overhuel, supported by Steele, to confirm the Mayor's re-appointment of William Parsons to the Library Board, Adam Hopkins to the DDA-BRA-TIFA Board, Jennifer Loftus to the Board of Review and Matthew Bradley to the Parks & Trees Commission. On a voice vote, all in favor. Motion passed.
- E.** Clerk/Treasurer Kelley presented Council with budget amendments for the 2016/2017 budget year to capture re-allocations of appropriations and to capture several known projects affecting use of fund balance.
A motion by Steele, supported by Overhuel, to approve the budget amendments as presented. On a voice vote, all in favor. Motion passed.
- F.** Clerk/Treasurer Kelley presented Council with an updated schedule of fines & fees for the upcoming fiscal year. The only changes noted were the frequency of one fee in the police department, the name of the returned check fee and the changing of meter fees to the actual costs at the time of purchase.
A motion by Steele, supported by Overhuel, to adopt Resolution 17-17 Fines & Fees as presented. On a voice vote, all in favor. Motion passed.
- G.** **A motion by Steel, supported by Overhuel, to open a public hearing for the 2017/2018 Budget at 7:41pm. On a voice vote, all in favor. Motion passed.**
City Manager Wilson presented Council and the public an overview of the 2017/2018, including capital projects.

No public comment.

A motion by Steele, supported by Overhuel, to close the public hearing at 8:09pm. On a voice vote, all in favor. Motion approved.

A motion by Steele, supported by Overhuel, to adopt Resolution 17-18, General Appropriations Act for Fiscal Year 2017-2018. On a voice vote, all in favor. Motion passed.

A motion by Steele, supported by Overhuel, to adopt Resolution 17-19, Special & Operating

Funds Appropriations Act for Fiscal Year 2017-2018. On a voice vote, all in favor. Motion passed.

12. Communications:

A. A motion by Steele, seconded by Overhuel, to accept and place on file the May 2017 Water Renewal and DPS Reports, and the DRAFT 06/13/2017 DDA-BRA-TIFA Minutes. On a voice vote, all in favor. Motion passed.

13. Accounts Payable:

A motion by Overhuel, supported by Steele, that the bills be allowed and orders drawn in the amount of \$125,489.93 for payment of same. On a roll call vote, all in favor. Motion passed.

14. Public Comments

None.

15. Staff Comments

Personnel Manager Lamorandier congratulated Sheryl Gluchowski for all her hard work.

Superintendent Updike noted preliminary work on paving projects, mowing grass and finishing up projects.

Superintendent Pond reported completion and near-completion of several capital projects.

Community Development Manager Siegel reported ongoing fundraising efforts for the Dog Park, including a \$750 grant from the Anna Pipp Foundation. She reminded Council of a July 14 golf outing for the Chamber at Shamrock Hills. Finally, she reported a successful ribbon cutting for the Plainwell Kayak Company and construction progress at Barbed Wire Café.

Clerk/Treasurer Kelley reported having attended clerk training last week and preparing for audit work.

City Manager Wilson congratulated Sheryl Gluchowski and Don Reeves for their continued great service.

16. Council Comments:

Councilman Overhuel and Mayor Pro-Tem Steele congratulated Sheryl Gluchowski and Don Reeves.

17. Adjournment:

A motion by Steele, supported by Overhuel, to adjourn the meeting at 8:19 PM. On voice vote, all voted in favor. Motion passed.

Minutes respectfully
Submitted by,
Brian Kelley
City Clerk/Treasurer