

City of Plainwell



“The Island City”

Rick Brooks, Mayor
Lori Steele, Mayor Pro-Tem
Brad Keeler, Council Member
Roger Keeney, Council Member
Todd Overhuel, Council Member

Department of Administration Services
211 N. Main Street
Plainwell, Michigan 49080
Phone: 269-685-6821
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Agenda Planning Commission November 15, 2017 7:00 PM

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Minutes: 09/06/17 Planning Meeting
5. Chairman’s Report
6. New Business:
 - A. Ace Parking Lot Striping – Addition of a Pole Barn
 - B. Fair Trade Coffee Shop - Change of use and traffic flow
7. Old Business:
8. Public Comment
9. Reports and Communications:
 - A. 9/11/17, 9/25/17 & 10/9/17 Council minutes
10. Staff Comments
 - A. City Updates
11. Commissioners Comments
12. Adjournment

The City of Plainwell is an equal opportunity provider and employer

CITY OF PLAINWELL
MINUTES
Planning Commission
September 6, 2017

1. Call to Order at 7:00 p. m. by Chair Lubic
2. Pledge of Allegiance was given by all present.
3. Roll Call: Present: Jay Lawson, Lori Steele, Diana Lubic, Jim Higgs, Chris Haas, Gary Sausaman
Excused: Chris Slinkman
4. Approval of Minutes – 7/19/17
Sausaman motioned to approve minutes as received seconded by Steele. Minutes approved.
5. Chairperson’s Report:
Lubic reported that she will be attending the Michigan State Planning Conference on Mackinac Island in October.
6. New Business:
 - A. **A motion by Hass, supported by Higgs to open the Public Hearing at 7:05 p.m. to hear comment on the request to rezone the Mill property of 542,548,554, 600 Allegan St. from CBD (Central Business District to C2 (General Commercial) for the development of Sweetwater Donut Mill. On a voice vote, all in favor. Motion passed.**
 - B. **Discussion** – the property was originally listed as CBD to avoid Industrial businesses, such as a junk yard from being developed on the Mill property, thus protecting the surrounding neighborhood and businesses. Knowing there was an option of re-zoning at an appropriate time. Rick Schell, of R. E. Schell Enterprises L.L.C. spoke about the fit of the Sweetwater Development in a C2 zone would work due to the parking requirements and the need for a free standing sign along M89, as well as the other businesses on M89 is all zoned C2.
7. Old Business:
None
8. Public Comment:
None
9. Reports and Communications:
A. Accepted the 7/10, 7/24, 8/14 & 8/17 Council Minutes. **Minutes were accepted as presented.**
10. Staff Comments:
Siegel mentioned that the City is in the review process for the Redevelopment Ready Certification through the MEDC.
11. Commissioner Comments:

Higgs commented on the County Commission minutes regarding Allegan County millage for more Sheriff Patrols in the County.

12. Adjournment:
The meeting was adjourned at 7:42 p.m.

Minutes submitted by Denise Siegel, Community Development Manager

DRAFT

CITY OF PLAINWELL



PROJECT / SITE PLAN REVIEW FORM

Rev. 8/2005

Today's Date: **11/08/17**

Parcel Number: **55-205-009-00**

Project Site Address: **939 Industrial Parkway**

Owner(s) w/Contact Information: **Brian McDavid, 269-348-8900 or kingstriper1@aol.com**

Contractor(s) w/Contact Information:

Current Zoning: **M-1**

Wellhead Protection/Flood Hazard District? **No**

Description of Proposed Project: **An Accessory building (Pole Barn) for cold storage using existing pad from a previous building.**

1. Is The Project a Permitted Use? Yes

If No, Is Proposed Use a Permitted Use After Special Approval?

2. Have All the Necessary Copies of the Proposed Project Been Submitted (PDF Format)? Yes

3. Zoning Permit has Been Completed? Yes

4. Is the Site Plan Accompanied By?

- Legal description- **No**
- Gross land area with north point - **Yes**
- Zoning classification- **M-1**
- Zoning and land use of abutting lots, w/structures and improvements indicated **No**
- Name and address of person preparing the site plan-
- Scale- **Yes**
- Structure location(s)- **YES**
- Dimensions of lot and property lines-
- Location of all structures on subject and abutting properties- **No**
- Location of each proposed structure, w/use(s), w/number of stories, gross building area- **Yes**
- Distances between structures and lot lines, setback lines- **Yes**
- Occupancy type – **Cold Storage**
- Fire exits -

5. Parking (and Paving)

- Proper number of parking spots/handicap? **YES**
- Location of loading docks/zone? **YES**
- Adequate loading space? **YES**
- Asphalt or gravel requirement met?

6. Landscaping

- Location and volume meets requirement? **N/A**

7. Lighting

- Exterior lighting kept substantially on property? **Yes**

8. Traffic Flow (vehicular and pedestrian)

- Driveway permit needed? **NO**

- Does traffic circulation provide safe vehicular and pedestrian flow
- Public safety vehicle access?
- Fire lanes needed?

9. Storm Water Retention –

- Location of proposed storm collection area shown?
- Adequate size?

10. Dumpster –N/A

- Location and screening?

11. Water and Sewer Lines (hookups) –

- Will permits be needed?
- Size and location of water connections/meter(s)?
- Is a backflow preventer required?
- Size and location of sewer connections?
- Hydrant location

12. Noise, Odor, Particulate, Vibration, Combustible or Hazardous Material Concerns

13. Signage Plan

- Describe plan:

14. Outside Storage – N/A

- Will outside storage be required?
- Proper screening and distances met?

15. Is Minimum/Maximum Lot Width Requirement Met? Yes

16. Is Minimum/Maximum Lot Area Requirement Met? Yes

17. Is Minimum/Maximum Height Requirement Met? Yes

18. Setback Requirements - Meets

- Front - 165
- Back – 55
- Side – 28 and 136

19. Phase Construction (if applicable) N/A

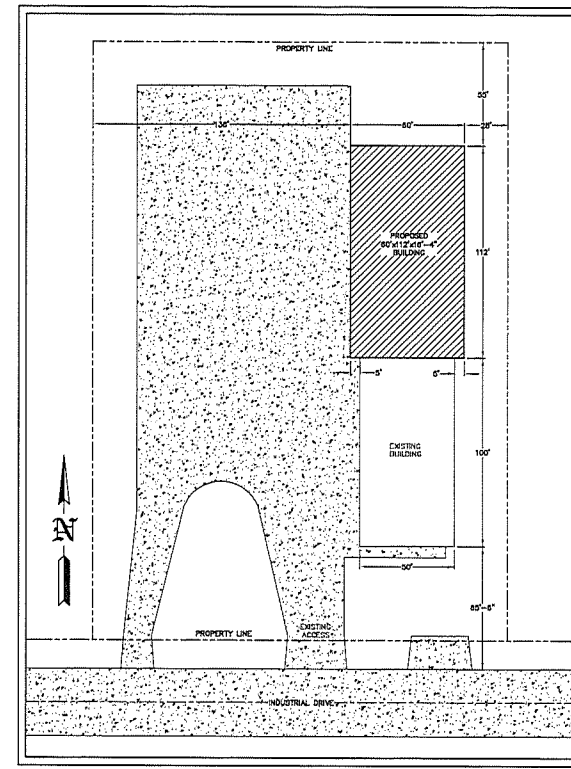
- Description of each phase:

20. Fire Suppression Considerations (if applicable)

- Is sprinkler needed or recommended
- Fire Pump needed (3 stories or more)

ACE PARKING LOT STRIPING PLAINWELL, MI

BUILDING SPECIFICATIONS AND GENERAL NOTES									
OWNER INFORMATION			BUILDING DESIGN INFORMATION			BUILDING AREA			
- NAME	DEAN MCGLAVIN	- DESIGN CODE	2012 MI BLDG. CODE	- AREA OF WORK	1720 SQFT	- EXISTING BUILDING AREA	1720 SQFT	- TOTAL BUILDING AREA	1720 SQFT
- ADDRESS	3000 WEST CAYLIE	- USE OF BUILDING	COLD STORAGE	- ALLOWABLE AREA:		- TABLE AREA	5000 SQFT	- PERIMETER INCREASE	5000 SQFT
- CITY	PLAINWELL	- OCCUPANCY CLASSIFICATION	GROUP (C-1)	- SPRINKLER RICHNESS	0.000	- TOTAL ALLOWABLE AREA	10641 SQFT		
- STATE	MI	- CONSTRUCTION TYPE	TYPE III						
- ZIP	48068	- FIRE SUPPRESSION SYSTEM	NA						
OCCUPANT LOAD AND FUTURE GROWTH		ROOM LABEL	AREA	ROOM AREA PER OCCUPANT	OCCUPANTS PER ROOM	WATER CLOSETS	LAVATORIES	OCCUPANTS PER FUTURE DEVELOPMENT	PERIODIC DEVELOPMENT
		STORAGE	6720	600	14				
TOTAL					14	0	0	0	0
BUILDING DESIGN LOADS		SECT	SEISMIC	SEISMIC	TRUSS DEAD LOADS				
(Pa) = 30.0 PSF	(W.S.) = 110 MPH	- SEISMIC IMPORTANCE FACTOR	1.00	DLTC = 4 PSF					
(Cb) = 1.00	EXPOSURE = C	- SPECTRAL RESPONSE	0.008	SLD = 2 PSF					
(M) = 1.00		- COEFFICIENT SDI	0.008						
(P) = 20.0 PSF		- SPECTRAL RESPONSE	0.008						
(Pa) = 20.0 PSF		- COEFFICIENT SDI	0.008						
(U) = 20.0 PSF		- SITE CLASSIFICATION	S						
(U) = 20.0 PSF		- SEISMIC DESIGN CATEGORY	II						
WITH UNBALANCED LOADS AS REQUIRED									
PLEASE NOTE:									
- DESIGNER LIABILITY LIMITED TO THE PREPARATION OF THE DRAWINGS WITH THE PARAMETER CONTRACTED AND ASCERTAINING TO CODE COMPLIANCE.									
- THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE RECEIVED FROM THE ENGINEER THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, & DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.									
- NO CHANGES, MODIFICATIONS, OR OMISSIONS SHALL BE MADE FROM THESE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE ENGINEER.									
- WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INFORMATION FROM THE ENGINEER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.									
- IMPORTANT!: THIS BUILDING IS DESIGNED USING THE ROOF AS A DIAPHRAGM (DEEP TRIN BEAM) TO TRANSFER DEADWALL AND ROOF WIND LOADS TO THE EXISTING SHEAR WALLS, STEEL PANELS AND AN INTEGRAL PART OF THE BUILDING STRUCTURE AND ANY FUTURE FIELD MODIFICATIONS MADE MAY BE DETRIMENTAL TO THE BUILDING'S STRUCTURAL PERFORMANCE.									
SOIL:									
- SOIL CLASSIFICATION #4 (FIRM) BASED ON ASABE EP466.1 (CLASS OF MATERIAL: SW, SP, SM, SC, MH, AND GC)									
- A 30% BEARING WALLS AREBUILT AT 2000 PSF. ALL FOOTINGS AND SLAB TO BEAR ON UNDISTURBED INORGANIC SOIL OR SOIL COMPACTED TO 95% MODIFIED PROCTOR DENSITY.									
- ALL SOILS BELOW CONCRETE SHALL BE A NON-FROST SUSCEPTIBLE SOIL AS REQUIRED IN ASCE 318.									
- OWNER RESPONSIBLE FOR VERIFYING SITE SOIL CONDITIONS. ALL SOILS TO MEET OR EXCEED REQUIREMENTS AS REFERENCED IN THE GENERAL NOTES. CONSULT GEOTECHNICAL ENGINEER IF NECESSARY.									
CONCRETE:									
- CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-11. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.									
- ALL REBAR SHALL MEET A815 GRADE 40 OR BETTER.									
LAGGING:									
- ALL WOOD CONSTRUCTION SHALL BE OF MATERIALS SHOWN AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE NATIONAL FOREST PRODUCTS ASSOCIATION SPECIFICATIONS FOR WOOD CONSTRUCTION.									
- ALL LAMBER IN CONTACT WITH CONCRETE ABOVE GRADE SHALL BE TREATED IN ACCORDANCE TO ALWA U1-10 LOCAL OR BETTER REQUIREMENTS.									
- ALL LAMBER BELOW GRADE SHALL BE TREATED IN ACCORDANCE TO ALWA U1-10 LOCAL OR BETTER REQUIREMENTS.									
COLUMNS:									
- ALL LAMINATED COLUMNS SHALL BE MEDIUM MANUFACTURED, RWCT CLINCHED, WITH STEEL REINFORCED JOINTS UNLESS SPECIFIED OTHERWISE.									
TRUSSES:									
- DESIGNED IN ACCORDANCE TO 2012 MI BLDG. CODE									
- TRUSS APPROVED									
- THIRD PARTY INSPECTED									
- LATERAL BRACING IS REQUIRED. SEE TRUSS SPECIFICATION SHEETS(S) FOR LATERAL BRACE LOCATIONS.									
STEEL PANEL:									
- PRO-RIB STEEL PANEL									
- 21" MINIMUM THICKNESS BEFORE PAINTING									
- 1/8" NOMINAL THICKNESS AFTER PAINTING									
- 60 GALVANEZED COATING PLUS ZINC PHOSPHATE									
- 40 YEAR PAINT WARRANTY									
- STRUCTURAL STRENGTH: ASTM-A663 GRADE 90 (FULL HARD STEEL)									
- 8000 PSI MINIMUM TENSILE STRENGTH									
STEEL TRUSS:									
- COLOR MATCHED STEEL TRUSS									
- DEAN-A-STAR 1000 PAINT SYSTEM									
FRAMING FASTENERS:									
- GALVANEZED THREADED HARDWARED STEEL WINGSHANK NAILS, UNLESS NOTED OTHERWISE.									
PANEL FASTENERS:									
- COLOR MATCHED GALVANEZED WOODSCIP SCREWS, #10 DIAMETER, 1/4" HEX HEAD.									
HANDLING AND STORAGE:									
- ALL GRADES TO SLOPE AWAY FROM BUILDING AT A MIN. 2% GRADE FOR PROPER DRAINAGE.									
CONSTRUCTION BRACING:									
- TEMPORARY BRACING DURING CONSTRUCTION SHALL BE CONTRACTOR'S RESPONSIBILITY. REFER TO 2012-11 AND/OR 110 SUMMARY SHEET "TYPICAL FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF TRUSSES" BY THE TRUSS PLATE INSTITUTE (TPI) AND THE WOOD TRUSS COUNCIL OF AMERICA (WETA).									
HVAC:									
- HEATING, VENTING AND AIR CONDITIONING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWING AND SHOULD BE APPROVED BY LOCAL OFFICIALS.									
PLUMBING:									
- PLUMBING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWING AND SHOULD BE INSTALLED IN ACCORDANCE WITH REQUIRED BUILDING CODES.									
ELECTRICAL:									
- ELECTRICAL REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWING AND SHOULD BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY LOCAL CODES.									
EXIT LIGHTS:									
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH THE 100 ELECTRICAL CODE.									
- SHALL COMPLY WITH 100/ANSI A117.1 CHAPTER 5.									
ACCESSIBLE PARKING:									
- SHALL COMPLY WITH 100/ANSI A117.1 CHAPTER 4.									
- SHALL COMPLY WITH 100/ANSI A117.1 QUARTER 3 SECTION 309. HANDLES, PULLS, LATCHES, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE FORT GRASPING, TIGHT GRIP OR TWISTING OF THE WRIST TO OPERATE. LEVEL OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE. DESIGNS WITH SLIDING DOORS ARE FULLY OPENED. OPERATING HANDLES SHALL BE COLORED AND USABLE FROM BOTH SIDES. HANDICAP REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" (5200 MM) ABOVE FINISHED FLOOR THE THRESHOLD OF SERVICE DOORS MAY NOT EXCEED 1/2" ON EITHER SIDE OF THE DOOR.									
FIRE EXTINGUISHERS:									
- SHALL BE INSTALLED, PROVIDED, AND MAINTAINED AS SPECIFIED IN NFPA 101.0 (BY OTHERS).									



SITE PLAN
SCALE 1"=30'

SHEET INDEX	
SHEET #	SHEET DESCRIPTION
01	GENERAL NOTES AND SITE PLAN
02	EXISTING
03	FLOOR PLAN
04	ROOF FRAMING PLAN
05	SECTIONAL SECTION & SECTION DETAILS
06	ENDWALL SECTION, SECTION DETAILS & WISC FRAMING DETAILS
07	OVERHEAD DOOR BRACE & SHADER FOOTING DETAIL
08	STEEL APPLICATION DETAILS
09	WALL STRIP LAYOUTS

BUILDING INFORMATION:	
NAME:	ACE PARKING LOT STRIPING
ADDRESS:	330 INDUSTRIAL DRIVE
CITY:	PLAINWELL
STATE:	MI
ZIP:	48068
COUNTY:	ALLEGAN

NOTE:
OWNER/CONTRACTOR SHALL VERIFY ALL SETBACKS WITH LOCAL BUILDING OFFICIAL AT TIME OF CONSTRUCTION.

NOTE:
ALL GRADES SLOPE AWAY FROM THE BUILDING @ A MIN. 2% SLOPE.

Digitally signed by Jeffrey J Murray
Date: 2017.05.07 08:35:02 -06'00'



AAA ENGINEERING SERVICES
1000 S. 10th St., Suite 100, Plainwell, MI 48068
FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEERING@AAAENGINEERING.COM

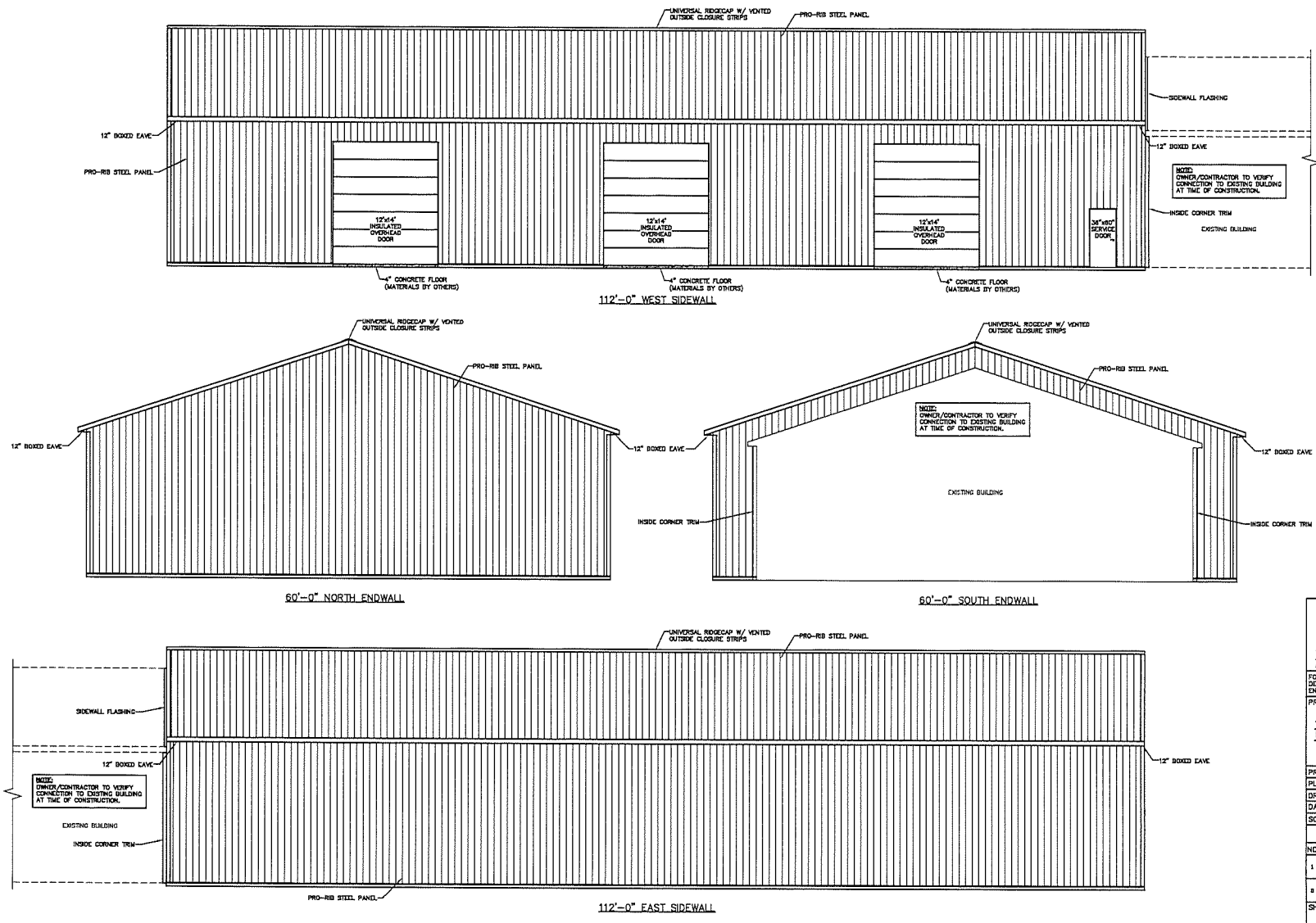
PROJECT TITLE:
ACE PARKING LOT STRIPING
PLAINWELL, MI

PROF. ENGINEER: JEFF MURRAY
PLAN DESIGNER: LOUISE EWALD
DRAWN BY: APA
DATE: 3/8/2017
SCALE: AS NOTED

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		

SHEET TITLE:
GENERAL NOTES AND SITE PLAN
FILE NAME: 533318M
SHEET NO.

S1



ELEVATIONS

SCALE: 3/16"=1'-0"



ENGINEERING SERVICES

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEERING@ACEENGINEERING.COM

PROJECT TITLE:
ACE PARKING LOT STRIPING
 PLAINWELL, MI

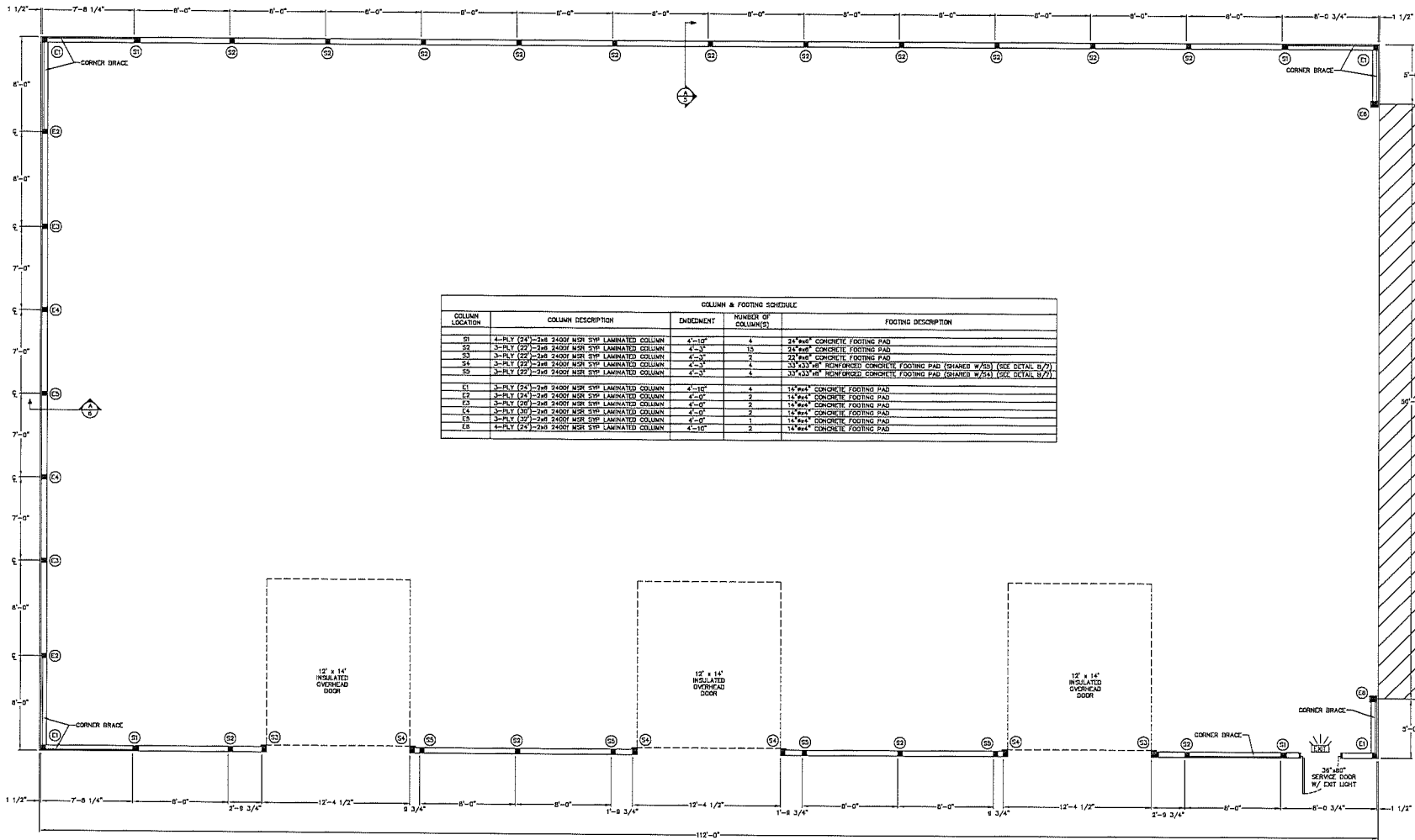
PROF. ENGINEER: JEFF MURRAY
 PLAN DESIGNER: LOUISE EWALD
 DRAWN BY: APA
 DATE: 3/8/2017
 SCALE: AS NOTED

REVISIONS		
NO	DATE	DESCRIPTION
1		
2		

SHEET TITLE:
ELEVATIONS

FILE NAME: S33318MI
 SHEET NO.

S2



COLUMN & FOOTING SCHEDULE				
COLUMN LOCATION	COLUMN DESCRIPTION	EMBEDMENT	NUMBER OF COLUMN(S)	FOOTING DESCRIPTION
S1	4-PLY (24)-2#8 2400F MSR SWP LAMINATED COLUMN	4'-10"	4	24" #8# CONCRETE FOOTING PAD
S2	3-PLY (22)-2#8 2400F MSR SWP LAMINATED COLUMN	4'-3"	15	24" #8# CONCRETE FOOTING PAD
S3	3-PLY (22)-2#8 2400F MSR SWP LAMINATED COLUMN	4'-3"	2	24" #8# CONCRETE FOOTING PAD
S4	3-PLY (22)-2#8 2400F MSR SWP LAMINATED COLUMN	4'-3"	4	33" #3# REINFORCED CONCRETE FOOTING PAD (SHARED W/S4) (SEE DETAIL S/2)
S5	3-PLY (22)-2#8 2400F MSR SWP LAMINATED COLUMN	4'-3"	4	33" #3# REINFORCED CONCRETE FOOTING PAD (SHARED W/S4) (SEE DETAIL S/2)
E1	3-PLY (24)-2#8 2400F MSR SWP LAMINATED COLUMN	4'-10"	4	14" #4# CONCRETE FOOTING PAD
E2	3-PLY (24)-2#8 2400F MSR SWP LAMINATED COLUMN	4'-0"	2	14" #4# CONCRETE FOOTING PAD
E3	3-PLY (28)-2#8 2400F MSR SWP LAMINATED COLUMN	4'-0"	2	14" #4# CONCRETE FOOTING PAD
E4	3-PLY (30)-2#8 2400F MSR SWP LAMINATED COLUMN	4'-0"	2	14" #4# CONCRETE FOOTING PAD
E5	3-PLY (37)-2#8 2400F MSR SWP LAMINATED COLUMN	4'-0"	1	14" #4# CONCRETE FOOTING PAD
E6	4-PLY (24)-2#8 2400F MSR SWP LAMINATED COLUMN	4'-10"	2	14" #4# CONCRETE FOOTING PAD

EXISTING BUILDING
 NOTE: EXISTING BUILDING OVERWALL TO HAVE STEEL ON BOTH INTERIOR AND EXTERIOR OF WALL.



ENGINEERING SERVICES
 8800 STATE ST. 2ND FL. PLAINWELL, MI 48169
 FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEERING@AAAENGINEERING.COM

PROJECT TITLE:
ACE PARKING LOT STRIPING
 PLAINWELL, MI

PROF. ENGINEER: JEFF MURRAY
 PLAN DESIGNER: LOUISE EWALD
 DRAWN BY: APA
 DATE: 3/8/2017
 SCALE: AS NOTED

REVISIONS		
NO	DATE	DESCRIPTION
1		
2		
3		

SHEET TITLE:
FLOOR PLAN
 FILE NAME: S33316M
 SHEET NO.

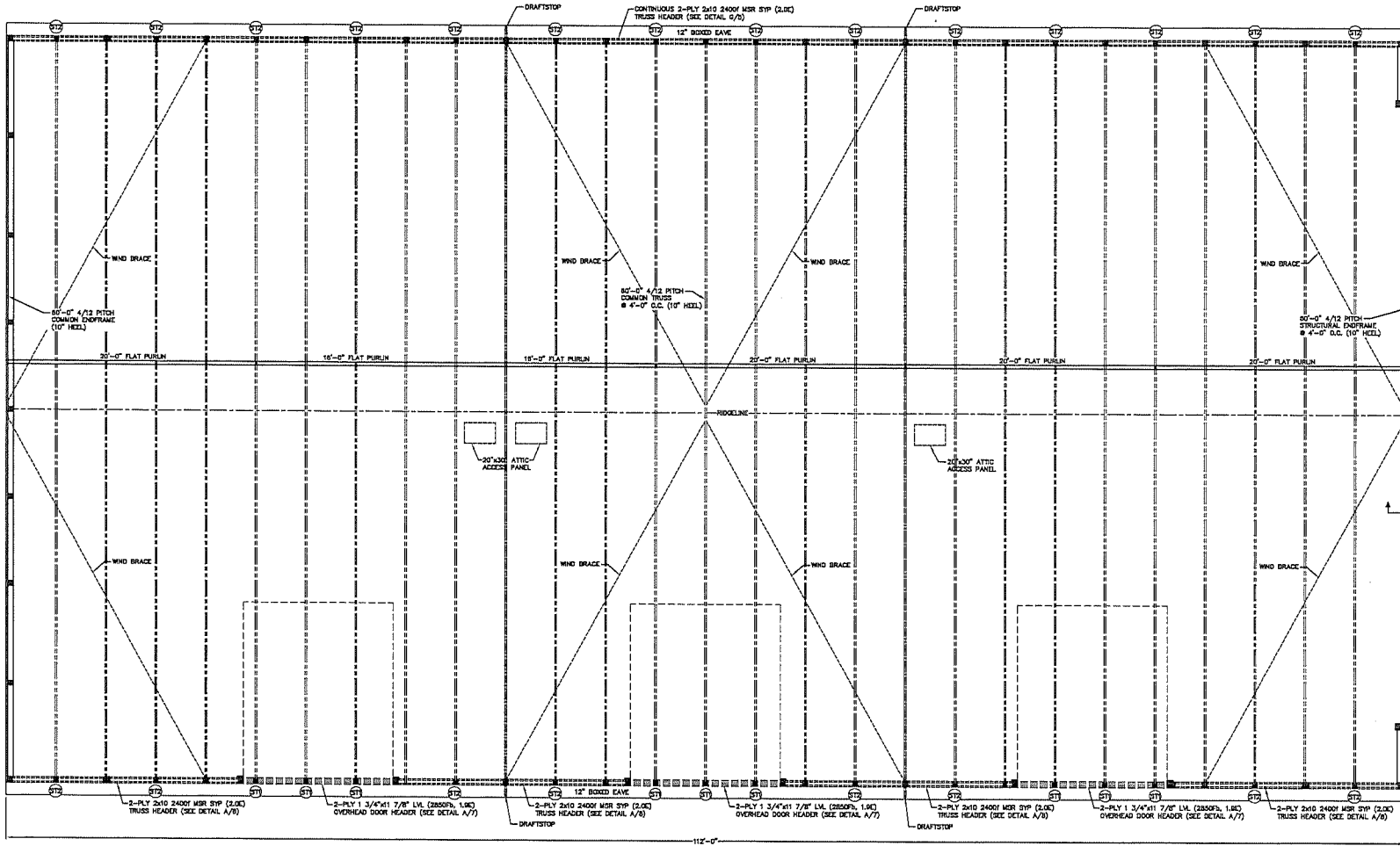


NOTE:
 2x4 #2 SPF CORNER BRACE EXTENDING FROM THE GRABBOARD AT THE INTERIOR COLUMN TO THE TOP OF THE CORNER COLUMN. CORNER BRACE SHALL BE SECURED W/ (3)-3/8" THREADED HARDENED STEEL NAILS TOP-NAILED EACH END AND W/ (1)-1/2" THREADED HARDENED STEEL NAIL AT EACH BRACE TO GIRT LOCATION.

NOTE:
 AN ADDITIONAL SERVICE DOOR MAY BE REQUIRED. OWNER/CONTRACTOR SHALL VERIFY SERVICE DOOR QUANTITY AND LOCATION WITH LOCAL BUILDING OFFICIAL PRIOR TO CONSTRUCTION.

FLOOR PLAN
 SCALE: 1/8"=1'-0"

S3



EXISTING BUILDING
 NOTE: EXISTING BUILDING DOWNWALL TO HAVE STEEL ON IRON INTERIOR AND EXTENSION OF WALL



ENGINEERING SERVICES
 2000 20th Ave. East, Grand Rapids, MI 49508
 FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEERING@MMENGINEERING.COM

PROJECT TITLE:
ACE PARKING LOT STRIPING
 PLAINWELL, MI

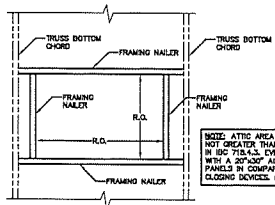
PROF. ENGINEER: JEFF MURRAY
 PLAN DESIGNER: LOUISE EWALD
 DRAWN BY: APA
 DATE: 3/8/2017
 SCALE: AS NOTED

REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

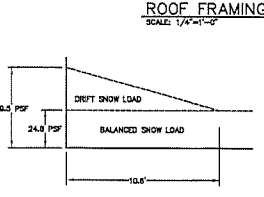
SHEET TITLE:
ROOF FRAMING PLAN
 FILE NAME: S33316M
 SHEET NO.

S4



ATTIC ACCESS FRAMING
 SCALE: 3/4"=1'-0"

NOTE: ATTIC AREA SHALL BE COMPARTMENTALIZED INTO AREAS NOT GREATER THAN 3000 SQ. FT. BY FIRE STOPPING AS SPECIFIED IN SEC. 703.4.5. EVERY ATTIC COMPARTMENT SHALL BE PROVIDED WITH A 20"x20" ACCESS PANEL FROM LOWER AREA OR ACCESS PANELS IN COMPARTMENT WALLS SHALL BE PROVIDED WITH SELF-CLOSING DEVICES. (INCLUDES OVERHANGS)



DRIFT LOAD DIAGRAM
 NOT TO SCALE

ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"

NOTE: TRUSS LATERAL BRACING IS REQUIRED. SEE TRUSS SPECIFICATION SHEETS FOR LATERAL BRACE LOCATIONS.

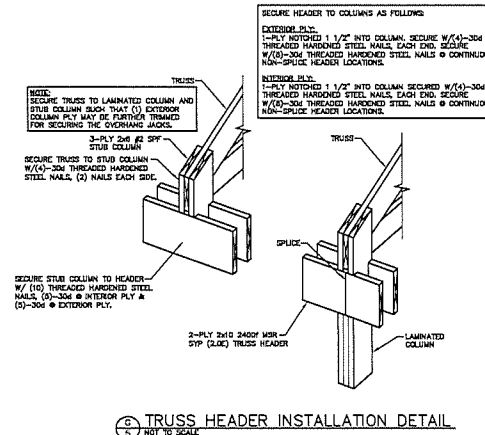
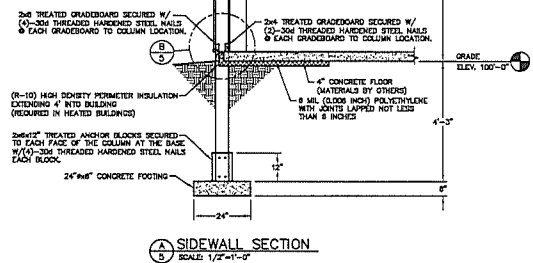
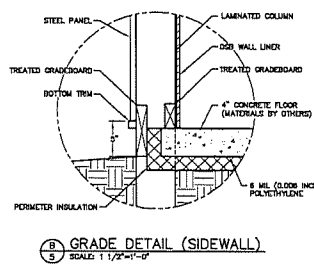
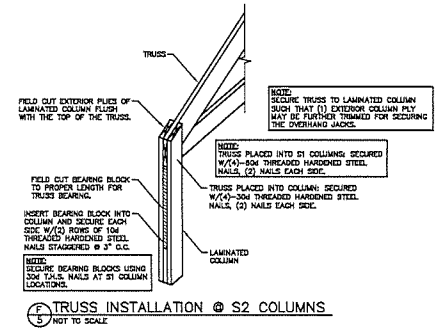
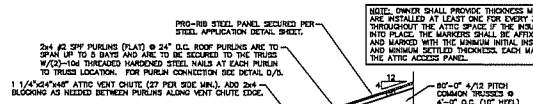
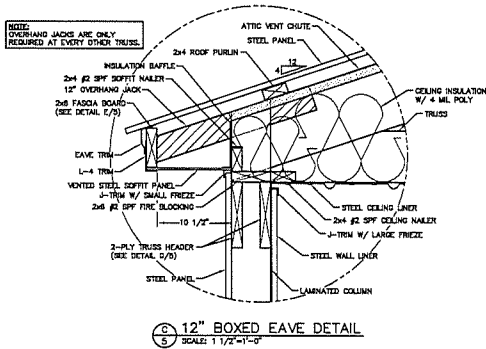
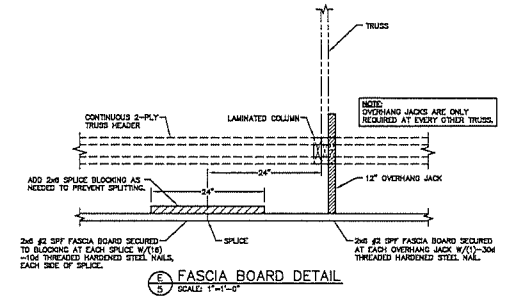
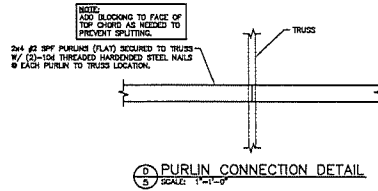
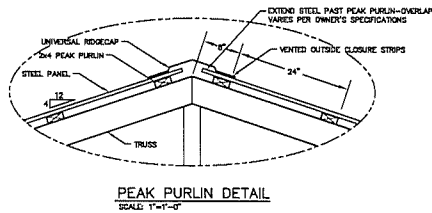
NOTE: 2x4 @ 8 SPF WIND BRACE PLACED ON THE UNDERSIDE OF THE ROOF PURLINS. WIND BRACE SHALL BE SECURED W/2"-DIA THREADED HARDENED STEEL NAILS AT EACH END AND W/1"-DIA THREADED HARDENED STEEL NAIL AT EACH BRACE TO PURLIN LOCATION.

NOTE: 2x4 @ 8 SPF PURLINS (PLAT @ 24" O.C.) ROOF PURLINS ARE TO SPAN UP TO 8 BAYS AND ARE TO BE SECURED TO THE TRUSS W/2"-DIA THREADED HARDENED STEEL NAILS AT EACH END TO TRUSS LOCATION. FOR PURLIN CONNECTION SEE DETAIL A/3.

STUB COLUMN SCHEDULE

COLUMN LOCATION	COLUMN DESCRIPTION	NUMBER OF COLUMNS
ST1	2-PLY 2x4 @ 8 SPF STUB COLUMN (GUT TO IT)	5
ST2	2-PLY 2x4 @ 8 SPF STUB COLUMN (GUT TO IT)	22





AMM ENGINEERING SERVICES
2001 BERRY DR. RAIN FALLS, NH 03083 (603) 893-0888

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEERING@AMMENGINEERING.COM

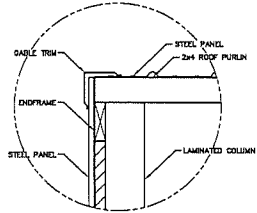
PROJECT TITLE: **ACE PARKING LOT STRIPING**
PLAINWELL, MI

PROF. ENGINEER: JEFF MURRAY
PLAN DESIGNER: LOUISE EWALD
DRAWN BY: APA
DATE: 3/8/2017
SCALE: AS NOTED

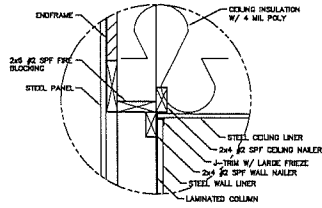
REVISIONS	
NO.	DESCRIPTION
1	
2	

SHEET TITLE: **SIDEWALL SECTION & SECTION DETAILS**

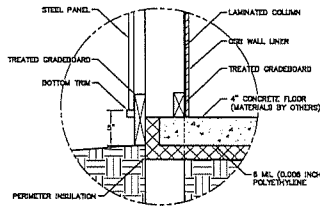
FILE NAME: S33316M1
SHEET NO. **S5**



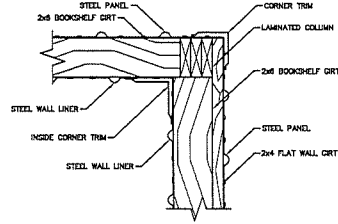
4 GABLE TRIM DETAIL
SCALE: 1 1/2"=1'-0"



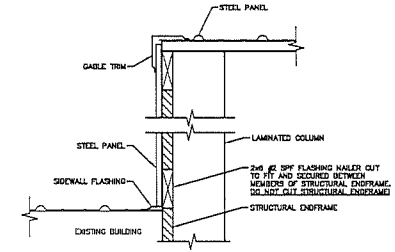
5 CEILING CONNECTION DETAIL
SCALE: 1 1/2"=1'-0"



6 GRADE DETAIL (ENDWALL)
SCALE: 1 1/2"=1'-0"



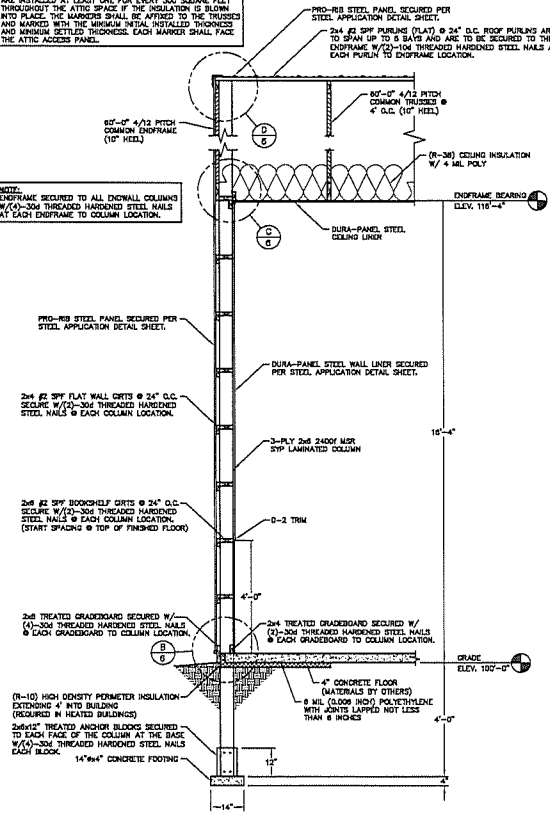
CORNER TRIM DETAIL
SCALE: 1 1/2"=1'-0"



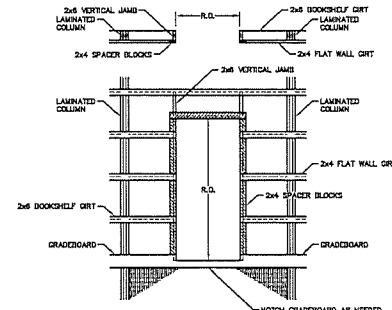
SIDEWALL FLASHING DETAIL
SCALE: 1 1/2"=1'-0"

NOTE: OWNER SHALL PROVIDE THICKNESS MARKERS WHICH ARE INSTALLED AT LEAST ONE FOR EVERY 300 SQUARE FEET THROUGHOUT THE ATTIC SPACE IF THE INSULATION IS BLOWN INTO PLACE. THE MARKERS SHALL BE AFFIXED TO THE TRUSSES AND MARKED WITH THE MINIMUM INSTALLER THICKNESS AND MINIMUM SETTLED THICKNESS. EACH MARKER SHALL FACE THE ATTIC ACCESS PANEL.

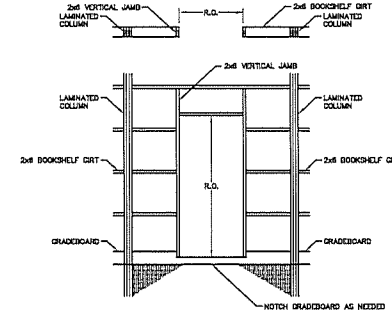
NOTE: ENDFRAME SECURED TO ALL IN-WALL COLUMNS W/ (A)-304 THREADED HARDENED STEEL NAILS AT EACH ENDFRAME TO COLUMN LOCATION.



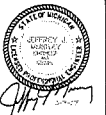
ENDWALL SECTION
SCALE: 1 1/2"=1'-0"



SERVICE DOOR FRAME-OUT DETAIL (ENDWALL)
SCALE: 3/8"=1'-0"



SERVICE DOOR FRAME-OUT DETAIL (SIDEWALL)
SCALE: 3/8"=1'-0"



AAA ENGINEERING SERVICES
901 2400 3RD FLOOR, W. LANSING, MI 48208-0000
TEL: 313.487.8800 FAX: 313.487.8801

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEER@MMWESTMANUFACTURING.COM

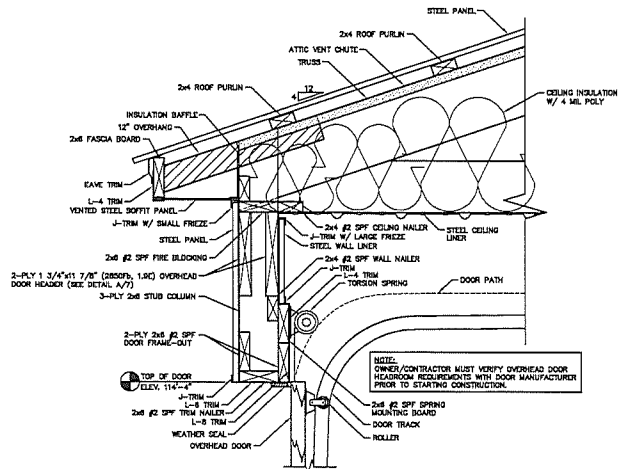
PROJECT TITLE:
ACE PARKING LOT STRIPING
PLAINWELL, MI

PROF. ENGINEER: JEFF MURRAY
PLAN DESIGNER: LOUISE EWALD
DRAWN BY: APA
DATE: 3/8/2017
SCALE: AS NOTED

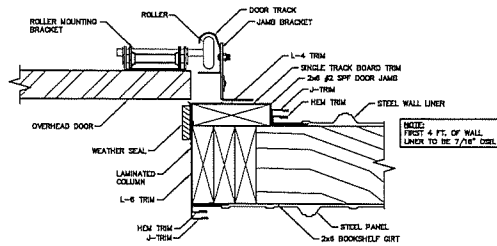
REVISIONS		
NO	DATE	DESCRIPTION
1		
2		

SHEET TITLE:
ENDWALL SECTION, SECTION DETAILS & MISC. FRAMING DETAILS
FILE NAME: S3331614
SHEET NO.

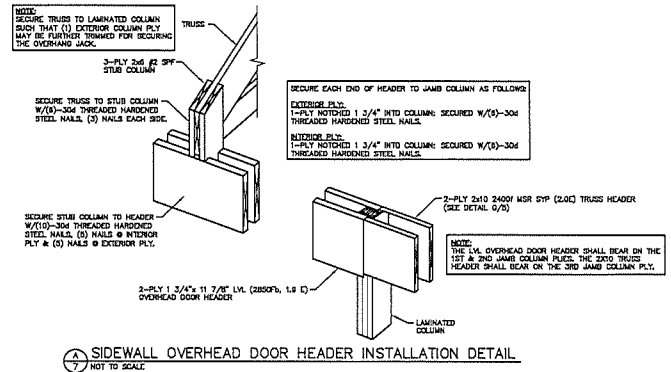
S6



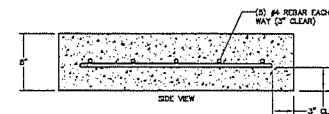
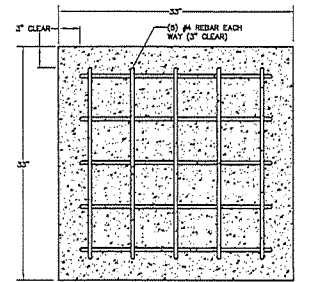
SIDEWALL OVERHEAD DOOR FRAME--OUT DETAIL
SCALE: 1/2"=1'-0"



SIDEWALL OVERHEAD DOOR JAMB DETAIL
SCALE: 3/4"=1'-0"



SIDEWALL OVERHEAD DOOR HEADER INSTALLATION DETAIL
NOT TO SCALE



33" x 33" x 8" SHARED FOOTING
SCALE: 1/2"=1'-0"

NOTE:
ALL #4 REBAR TO BE OF
GRADE 40 OR BETTER.



ENGINEERING SERVICES

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING:
ENGINEERING@WESTMANUFACTURING.COM

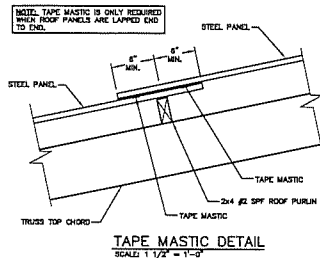
PROJECT TITLE:
ACE PARKING LOT STRIPING
PLAINWELL, MI

PROF. ENGINEER: JEFF MURRAY
PLAN DESIGNER: LOUISE EWALD
DRAWN BY: APA
DATE: 3/8/2017
SCALE: AS NOTED

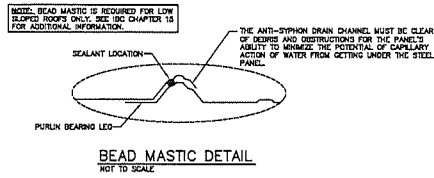
NO.	DATE	DESCRIPTION	BY
1			
2			

SHEET TITLE:
OVERHEAD DOOR DETAILS & SHARED FOOTING DETAIL
FILE NAME: S33316M
SHEET NO.

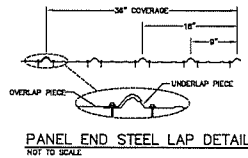
S7



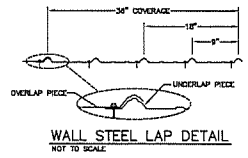
TAPE MASTIC DETAIL
SCALE: 1 1/2" = 1'-0"



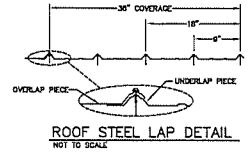
BEAD MASTIC DETAIL
NOT TO SCALE



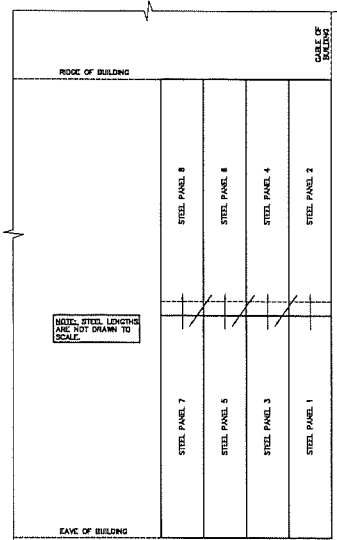
PANEL END STEEL LAP DETAIL
NOT TO SCALE



WALL STEEL LAP DETAIL
NOT TO SCALE

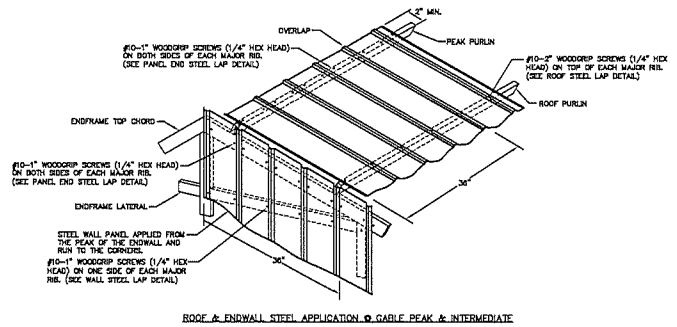


ROOF STEEL LAP DETAIL
NOT TO SCALE

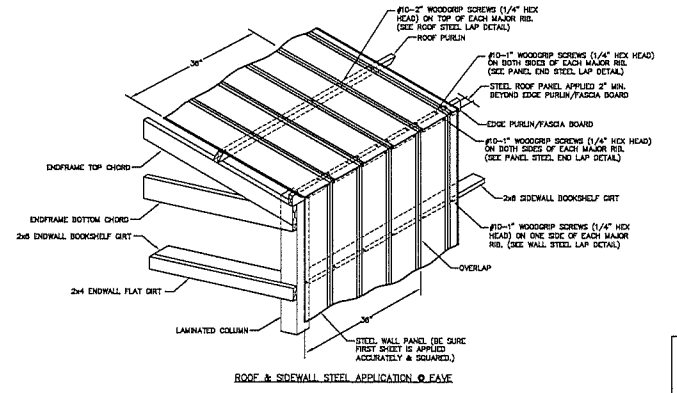


ROOF STEEL APPLICATION SEQUENCE
NOT TO SCALE

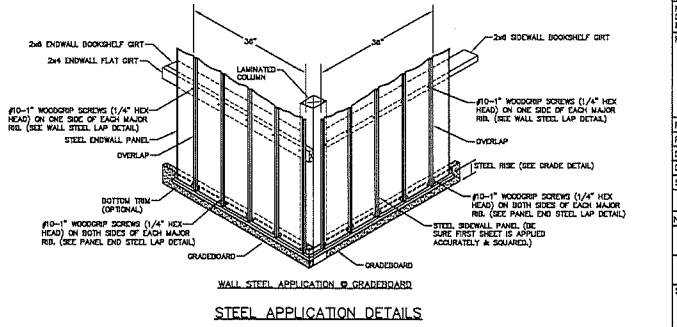
- STEEL PANEL INSTALLATION GENERAL NOTES:**
- 1) PROPER LAPPING OF STEEL PANEL IS VERY IMPORTANT IN THE PANEL'S ABILITY TO PREVENT LEAKING. OVERSHEATING AND UNDERSHEATING OF LAP IS NOT PERMITTED.
 - 2) FASTENER TIGHTNESS IS CRITICAL IN THE LONGEVITY OF THE FASTENER'S ABILITY TO HELP PREVENT LEAKS AND STRUCTURAL LOAD CARRYING CAPACITY. OVERTIGHTENING OF SCREWS WILL REDUCE THE SCREWS' MEMBRANE CAPACITY, REGARDLESS OF THE CONSTRUCTION MATERIALS INVOLVED. UNDERTIGHTENING OF SCREWS WILL INCREASE THE POTENTIAL OF ROOF LEAKS.
 - 3) FASTENER LOCATION IS CRITICAL FOR INSTALLERS TO MINIMIZE THE POTENTIAL OF OIL CANNING, DIMPLING, AND OTHER APPEARANCE RELATED ISSUES.
 - 4) THE ANTI-SYPHON DRAIN CHANNEL MUST BE CLEAR OF DEBRIS AND OBSTRUCTIONS FOR THE PANEL'S ABILITY TO MINIMIZE THE POTENTIAL OF CAPILLARY ACTION OF WATER FROM GETTING UNDER THE STEEL PANEL.



ROOF & ENDWALL STEEL APPLICATION @ CABLE PEAK & INTERMEDIATE



ROOF & SIDEWALL STEEL APPLICATION @ EAVE



WALL STEEL APPLICATION @ GRABBERBOARD

STEEL APPLICATION DETAILS



AAA ENGINEERING SERVICES
 1000 STATE ST. 5TH FLOOR, WILMINGTON, MA 01897
 WWW.AAAENGINEERINGSERVICES.COM

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNERS AT THE FOLLOWING: ENGINEERING@AAAENGINEERING.COM

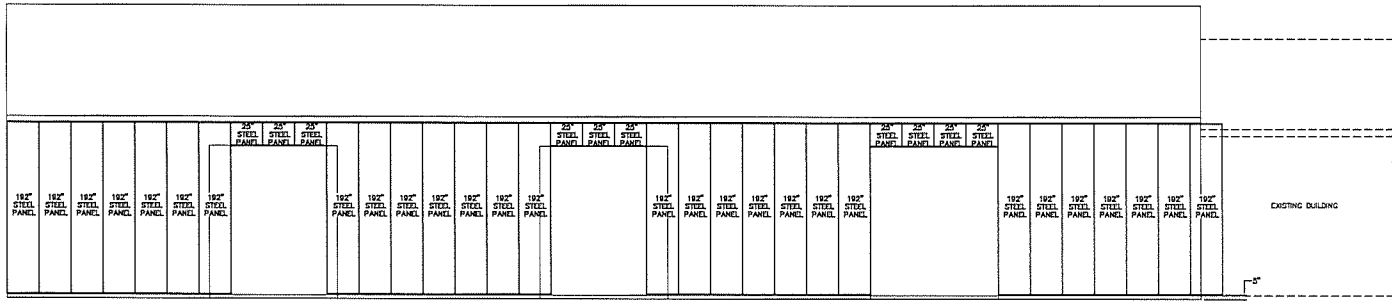
PROJECT TITLE:
ACE PARKING LOT STRIPING
 PLAINWELL, MI

PROF. ENGINEER: JEFF MURRAY
 PLAN DESIGNER: LOUISE EWALD
 DRAWN BY: APA
 DATE: 3/8/2017
 SCALE: AS NOTED

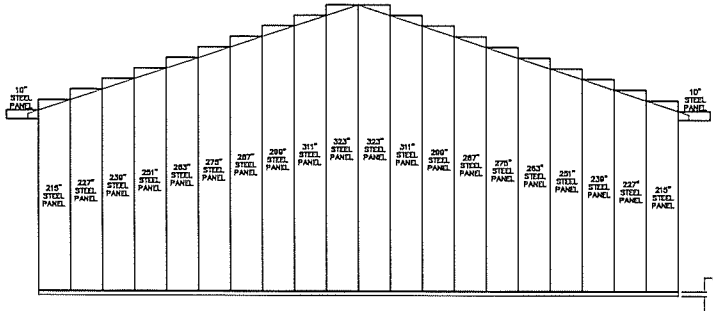
REVISIONS	
NO	DATE
1	
2	

SHEET TITLE:
STEEL APPLICATION DETAILS

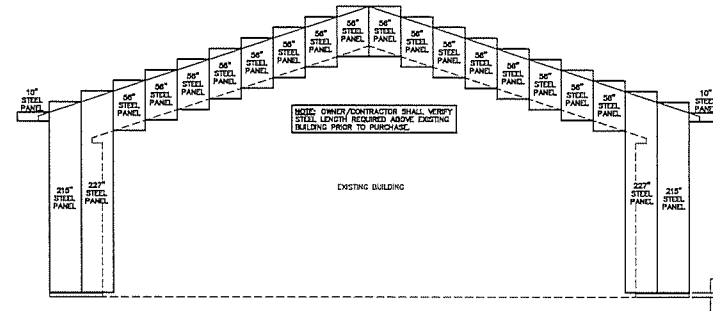
FILE NAME: S33316W
 SHEET NO.
S8



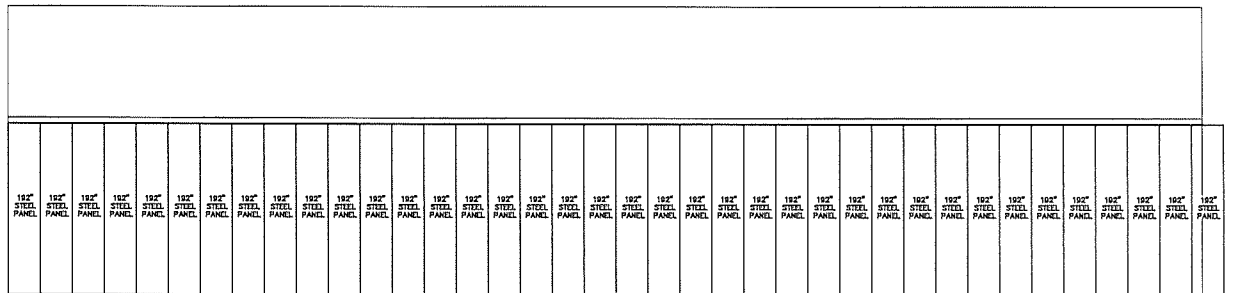
112'-0" WEST SIDEWALL



60'-0" NORTH ENDWALL



60'-0" SOUTH ENDWALL



112'-0" EAST SIDEWALL

WALL STEEL LAYOUTS
SCALE: 3/16"=1'-0"



ENGINEERING SERVICES
2000 20th St. East, Okemos, MI 48864-1000

FOR SUBSTITUTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEERING@MMENGINEERING.COM

PROJECT TITLE:
ACE PARKING LOT STRIPING
PLAINWELL, MI

PROF. ENGINEER: JEFF MURRAY
PLAN DESIGNER: LOUISE EWALD
DRAWN BY: APA
DATE: 3/8/2017
SCALE: AS NOTED

NO	DATE	REVISIONS	BY
1			
2			

SHEET TITLE:
WALL STEEL LAYOUTS

FILE NAME: S33318MI
SHEET NO.

S9



PAID

NOV - 9 2017

Plainwell Treasury Office
Rev: 2/2010

City of Plainwell – Zoning Permit Application

Fee: \$5.00 / Additional review fees may be imposed

Date: 11/08/2017

Permit #: 2017 - 43

Address of Project: 203 S. Main St

Parcel ID Number: 55-100-057-00

Owner: David & Danone Gless

Contractor: DAVID GLESS

Owner's Address: 40 W. B Ave, P-well

Contractor Address: 40 W. B AVE PLAINWELL

Owner's Phone Number: 269-762-0392

Contractor Phone Number: 269-720-9539

Work to be done (please check all that apply):

- New Building Construction
- Building Demolition
- Fence
- Other (please describe):
- Existing Building Addition/Alteration
- Moving a Building
- Sign

Zoning District of this property (check):

- | | |
|---|---|
| <input type="checkbox"/> Single Family Residential (R-1A) | <input type="checkbox"/> Single Family Residential (R-1B) |
| <input type="checkbox"/> Single and Two Family Residential (R-1C) | <input type="checkbox"/> Multi-Family Residential (R-2) |
| <input type="checkbox"/> Planned Mobile Home (R-MH) | <input type="checkbox"/> Local Commercial (C-1) |
| <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> General Commercial (C-2) |
| <input checked="" type="checkbox"/> Central Business (CBD) | <input type="checkbox"/> Service Business (SB) |
| <input type="checkbox"/> Community Service (C-S) | <input type="checkbox"/> Restricted Manufacturing (M-1) |
| <input type="checkbox"/> General Manufacturing (M-2) | |

General Description of Project (use back of page if necessary): COFFEE (+ TEA + H. CHOC) $\frac{3}{8}$ FAIR
TRADE GIFTS. COFFEE ETC & IN DRIVE THRU 6-9 AM; GIFTS 9-5 OR 6.

Will the work performed in this application change the Use of this property? Yes No

Total Cost of Project: around \$4,500

After project is complete, the setbacks established will be (if applicable):

Front: _____ ft. Back: _____ ft. Side: _____ ft. Side _____ ft.

Does this project involve a (check one): Non-conforming use Non-conforming structure
 N/A

Is this a home occupation? If so what kind _____

Any type of special equipment use? no Electrical _____ Plumbing _____

Is this project consistent with the Master Plan yes no If no please explain on back.

Will this project result in an increase in off-street parking? yes no

I understand that before the issuance of a building permit, I must have an approved Zoning Permit Application. Additionally, the UNDERSIGNED affirms that he/she/they is (are) the owner of subject property authorized to represent the interests of all property owners involved in this application and that the answers and statements herein contained and all maps, plans, and other information herewith submitted and attached are in all respects true to the best of his/her/their knowledge and belief. Additionally, the UNDERSIGNED acknowledges they have received or have been made available all applicable Ordinances relevant to said project, and further, will comply with said Ordinances.

Signature of Applicant(s):

Date of Signature(s):

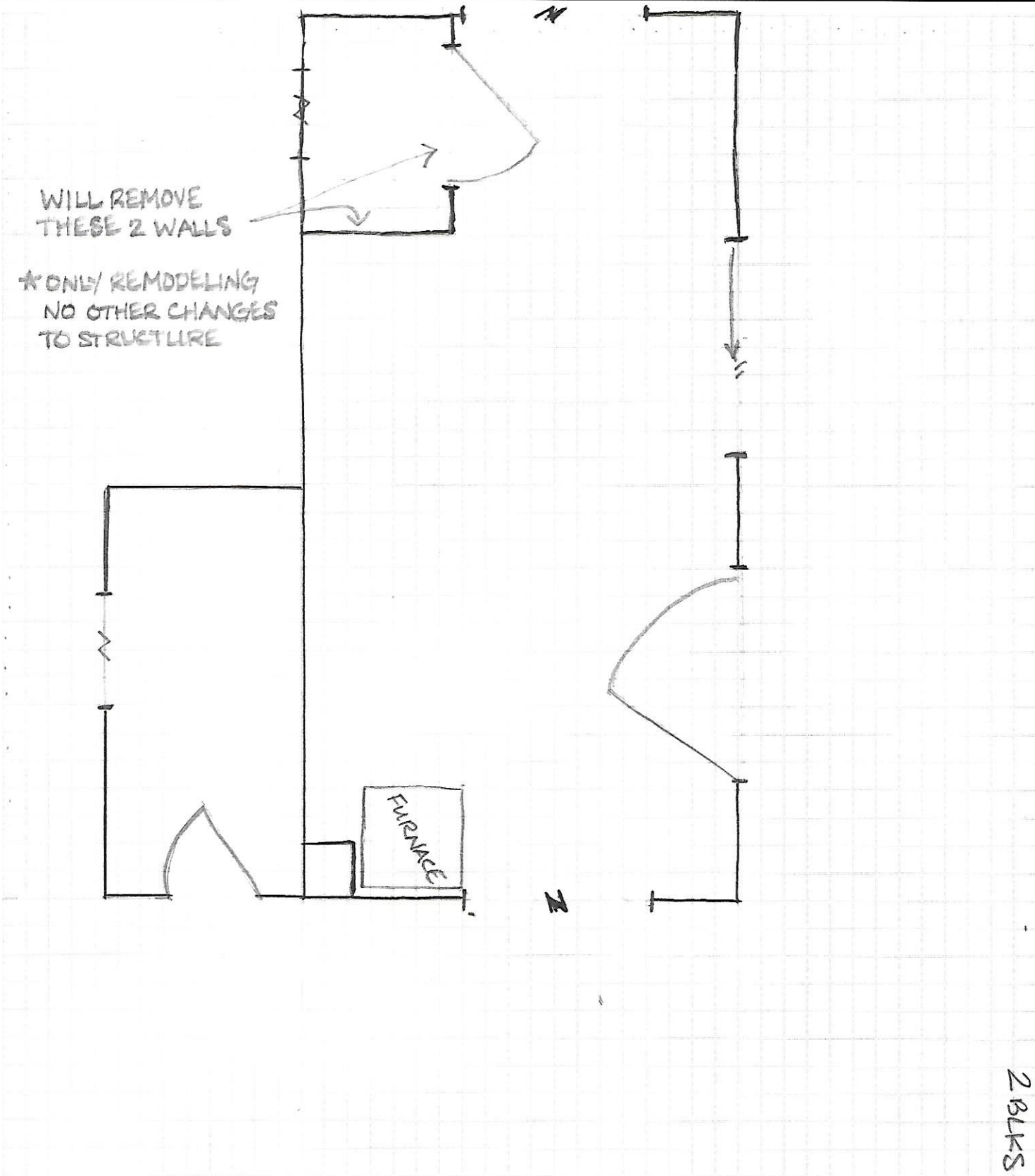
11-8-17

Office Use Only

Approved: Denied:

Signature and Date of Zoning Administrator (or designate): Louise Siegel

Remarks:

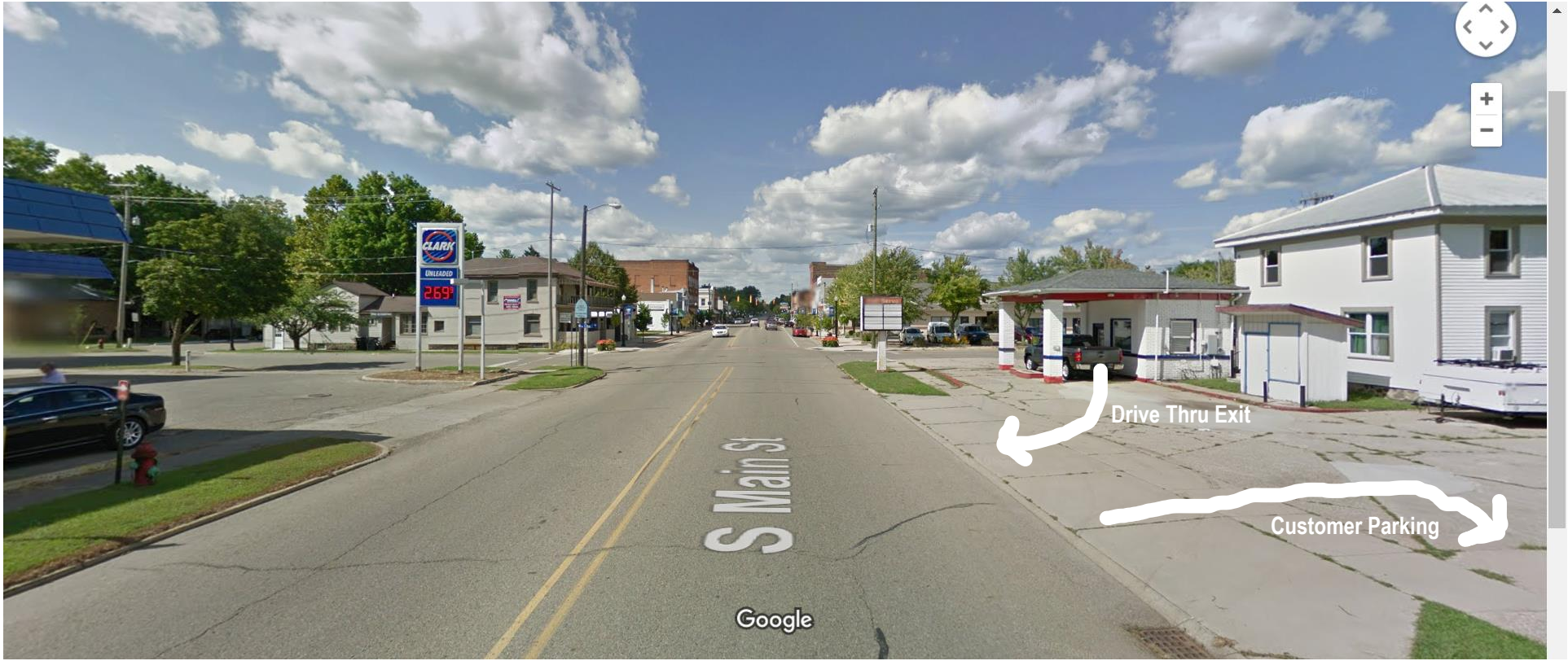


2 BLKS = 1'

42

The Station- Fair Trade Coffee and Gifts, 203 South Main Street, Plainwell, MI 49080. Formerly known as Skyline Computer Technologies





Google

Drive Thru Exit

Customer Parking



FAIRTRADE



Full Service



MINUTES
Plainwell City Council
September 11, 2017

1. Mayor Pro-Tem Steele called the regular meeting to order at 7:01 PM in City Hall Council Chambers.
2. Steve Smail of Lighthouse Baptist Church gave the invocation.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Pro-Tem Steele, Councilman Keeler, Councilman Overhuel and Councilman Keeney. Absent: Mayor Brooks.
5. Approval of Minutes/Summary:
A motion by Keeler, seconded by Overhuel, to accept and place on file the Council Minutes and Summary of the 08/28/2017 regular meeting. On voice vote, all voted in favor. Motion passed.
6. General Public Comments: None
7. County Commissioner Report / Presentations:
Commissioner Don Black noted recent County Commission Board actions.
8. Agenda Amendments:
Added Item 10E - Rezoning of the parcels located at 542, 548, 554, 600 Allegan St. from Central Business District (CBD) to General Commercial (C-2).
A motion by Overhuel, seconded by Keeler, to amend the Agenda accordingly. On a voice vote, all in favor. Motion passed.
9. Mayor's Report:
Mayor Pro-Tem Steele remembered 9/11 and thanked Director Bomar and his staff for all their hard works.
10. Recommendations and Reports:
 - A. Superintendent Updike reported having gone out for bid for street sweeping. Only one bid was received and it is recommended to award the contract to Superior Sweeping.
A motion by Keeler, seconded by Keeney, to approve the contract with Superior Sweeping for 2017/2018 street sweeping with a total project cost of \$17,000.00. On a roll-call vote, all in favor. Motion passed.
 - B. Superintendent Pond reported the need to replace the bio-bed media at the Water Renewal Plant, which aids in odor control. The existing bed has reached the end of its useful life.
A motion by Keeler, seconded by Keeney, to approve the project with Renewed Earth and AIS re replace the bio-bid media at the Water Renewal Plant for a total project cost of \$11,186.25. On a roll-call vote, all in favor. Motion passed.
 - C. Superintendent Updike reported bids received for crack filling on Main Street and how it compared with the cost of the city doing the work on its own. The recommendation is to use a local vendor who quoted the lowest price.
A motion by Keeler, seconded by Keeney, to approve the project with Bronco Asphalt Maintenance for crack filling on Main Street from Starr Road to the Grand Elk Railroad in the amount of \$7,495.00. On a roll-call vote, all in favor. Motion passed.
 - D. Community Development Manager Siegel reported that as part of the DNR Recreation Passport Grant, the city must retain the services of a state-registered professional to act at "Prime

Professional” to act as liaison between the city and the state for the grant. Of the bids solicited, one firm submitted a quote.

A motion by Overhuel, seconded by Keeney, to approve the project with Fleis & Vandenbrink for engineering services for the Sherwood Park Improvements as part of the MDNR Passport Grant in the amount of \$10,000.00. On a roll-call vote, all in favor. Motion passed.

- E. Community Development Siegel reported that the parcels being bought by Sweetwater’s Donuts on the Mill Property were zoned CBD (Central Business District) and should be C-2 (General Commercial) to better fit the actual use of the property after it is sold. This will allow for more appropriate signage, setbacks and parking. The Planning Commission reviewed the rezoning request and recommends approval. City Manager Wilson noted that the Mill Property was zoned CBD after the city bought it so that any redevelopment could be controlled, knowing that rezoning to actual use was always an option.

A motion by Keeney, seconded by Keeler, to approve the rezoning of parcels located at 542, 548, 554 and 600 Allegan Street from Central Business District (CBD) to General Commercial (C-2). On a voice vote, all in favor. Motion passed.

11. Communications:

- A. **A motion by Keeney, seconded by Overhuel, to accept and place on file the August 2017 Investment & Fund Balance Reports and the DRAFT 08/17/2017 Parks & Trees Minutes. On a voice vote, all in favor. Motion passed.**

12. Accounts Payable:

A motion by Keeler, seconded by Overhuel, that the bills be allowed and orders drawn in the amount of \$354,382.16 for payment of same. On a roll call vote, all in favor. Motion passed.

13. Public Comments

None.

14. Staff Comments

Superintendent Pond reporting working on pricing for the capital projects.

Superintendent Updike updated Council on the timing of the paving project..

Community Development Siegel reported having received comments related to the Redevelopment Ready Community (RRC) certification and working through that process.

Director Bomar reported positive traffic flows around Starr Elementary and that his staff continues to monitor and tweak to improve safety around the school.

Clerk/Treasurer Kelley reported that the auditors are onsite working on year-end.

City Manager Wilson reported that there is a River-to-River Trail meeting on Thursday September 14, 2017 from 5-7pm at the Old Mill. He also reported that the Village of Martin would be receiving a Notice of Violation for six (6) instances dating back to October 2016. He also noted a possible billing issue with Gun Plain Township related to surcharges.

15. Council Comments: None.

16. Adjournment:

A motion by Keeler, seconded by Overhuel, to adjourn the meeting at 7:23 PM. On voice vote, all voted in favor. Motion passed.

Minutes respectfully

Submitted by,

Brian Kelley

Clerk/Treasurer

MINUTES
Plainwell City Council
September 25, 2017

1. Mayor Brooks called the regular meeting to order at 7:00 PM in City Hall Council Chambers.
2. Scott Fenner of Lighthouse Baptist Church gave the invocation.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Brooks, Mayor Pro-Tem Steele, Councilman Keeler, Councilman Overhuel and Councilman Keeney. Absent: None.
5. Approval of Minutes/Summary:
A motion by Steele, seconded by Overhuel, to accept and place on file the Council Minutes and Summary of the 09/11/2017 regular meeting. On voice vote, all voted in favor. Motion passed.
6. General Public Comments: None
7. County Commissioner Report / Presentations: None.
8. Agenda Amendments: None.
9. Mayor's Report: None.
10. Recommendations and Reports:
 - A. Community Development Manager Siegel reported to Council about the volunteer efforts to put on the Fall Festival, which includes Pumpkins in the Park, Arts & Eats and a bevy of activities on that Saturday in October. This annual event is well attended.
A motion by Steele, seconded by Keeler, to approve Special Event Permit 2017-10 – Fall Festival (Pumpkins in the Park). On a voice vote, all in favor. Motion passed.
 - B. Superintendent Pond reported the need to replace the organic mulch in the Water Renewal Bio-Filter. The mulch will be coming directly from the Renewed Earth facility near Otsego and spread with specialized conveyers.
A motion by Keeler, seconded by Keeney, to approve the project with Superior Ground Cover Inc. to install and spread organic mulch at the Water Renewal Plant for a total project cost of \$5,312.00. On a roll-call vote, all in favor. Motion passed.
11. Communications:
 - A. **A motion by Steele, seconded by Overhuel, to accept and place on file the August 6, 2017 Planning Commission Minutes. On a voice vote, all in favor. Motion passed.**
12. Accounts Payable:
A motion by Keeler, seconded by Keeney, that the bills be allowed and orders drawn in the amount of \$51,238.62 for payment of same. On a roll call vote, all in favor. Motion passed.
13. Public Comments
None.
14. Staff Comments

Superintendent Pond reporting new painting at all of the tanks, using summer help.

Superintendent Updike updated Council on the timing of the paving project and that Renewed Earth is taking some of the leaves at the DPW facility for use in its operations.

Community Development Siegel briefed Council on the redevelopment of the city's website, which is slated to go-live on November 10. She also noted that the new Industrial Park Help-Wanted Sign is up and looks great. She noted several upcoming events including the Scarecrow Stroll Contest.

Director Bomar reported on the department's participation on 40 fire and lockdown drills during the school year at all of the Plainwell Community School buildings within the city limits. He also noted several upcoming projects.

Clerk/Treasurer Kelley reported that the auditors are nearing completion of the June 2017 financial statements.

15. Council Comments: None.

16. Adjournment:

A motion by Steele, seconded by Overhuel, to adjourn the meeting at 7:17 PM. On voice vote, all voted in favor. Motion passed.

Minutes respectfully
Submitted by,
Brian Kelley
Clerk/Treasurer

MINUTES
Plainwell City Council
October 09, 2017

1. Mayor pro tem Steele called the regular meeting to order at 7:02 PM in City Hall Council Chambers.
2. Scott Smail of Lighthouse Baptist Church gave the invocation.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Pro-Tem Steele, Councilman Keeler, Councilman Overhuel and Absent: Councilman Keeney and Mayor Brooks
5. Approval of Minutes/Summary:
A motion by Overhuel, seconded by Keeler, to accept and place on file the Council Minutes and Summary of the 09/25/2017 regular meeting. On voice vote, all voted in favor. Motion passed.
6. General Public Comments: None
7. County Commissioner Report / Presentations: None.
8. Agenda Amendments: None.
9. Mayor's Report: None.
10. Recommendations and Reports:
 - A. Community Development Manager Siegel reported to Council about the volunteer efforts to put on the annual Tree Lighting and Holiday Parade, on Friday, December 1 and Sat. December 2. These annual events are well attended.
A motion by Keeler, seconded by Overhuel, to approve Special Event Permit 2017-13 – Tree Lighting/Holiday Parade. On a voice vote, all in favor. Motion passed.
 - B. City Manager, Wilson spoke to Council regarding adoption to renew the franchise agreement with Charter Communications and allow the City Manager to execute all related documents.
A motion by Overhuel, seconded by Keeler, to approve the renewal of the franchise agreement with Charter Communications and allow the City Manager to execute related documents. On a roll-call vote, all in favor. Motion passed.
 - C. City Manager, Wilson spoke to Council regarding the bid of \$16,500 to add 2,452 sq. ft. of 4" sidewalk on N. Anderson.
A motion by Keeler, seconded by Overhuel, to approve the \$16,500 for the addition of 2,452 sq. ft. of 4" sidewalk along N. Anderson St. On a roll-call vote, all in favor. Motion Passed.
 - D. City Manager, Wilson spoke to Council regarding approving the Russet Street pavement patch from Wyoming Asphalt & Paving Inc. for \$3,775.00.
A motion by Overhuel, seconded by Keeler, to approve the Russet Street pavement patch by Wyoming Asphalt & Paving in the amount of \$3,775.00. On a roll-call vote, all in favor. Motion Passed.
11. Communications:
 - A. **A motion by Keeler, seconded by Overhuel, to accept and place on file the August 2017 Public Safety Report, the September 2017 Investment and Fund Balance Reports, the**

Draft, 9/12/2017 DDA-BRA-TIFA Minutes. On a voice vote, all in favor. Motion passed.

12. Accounts Payable:

A motion by Keeler, seconded by Overhuel, that the bills be allowed and orders drawn in the amount of \$95,995.57 for payment of same. On a roll call vote, all in favor. Motion passed.

13. Public Comments

None.

14. Staff Comments

Superintendent Pond reporting

Community Development Siegel briefed Council on upcoming events including the Scarecrow Stroll Contest, Pumpkin in the Park and Arts and Eats all scheduled for Sat. Oct. 21. Siegel also announced the Ribbon Cutting for Beltone Hearing is scheduled for Thursday, Oct. 12 at 131 S. Main St. Ste 3 at 4 p.m.

Director Bomar reported on the new radios for the department with a go live date of November 1. He also commented on pistols that were purchased two years ago have all been recalled and new pistols are on order for replacement of the recalled pistols.

15. Council Comments: None.

16. Adjournment:

A motion by Overhuel, seconded by Keeler, to adjourn the meeting at 7:25 PM. On voice vote, all voted in favor. Motion passed.

Minutes respectfully

Submitted by,

Denise Siegel

Community Development Manager