

City of Plainwell



Brad Keeler, Mayor
Lori Steele, Mayor Pro Tem
Todd Overhuel, Council Member
Roger Keeney, Council Member
Randy Wisnaski, Council Member

Department of Administration Services
211 N. Main Street
Plainwell, Michigan 49080
Phone: 269-685-6821
Fax: 269-685-7282
Web Page Address: www.plainwell.org

“The Island City”

Agenda

**Planning Commission
City Hall Council Chambers
August 16, 2023
6:30 Pm**

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Minutes: 08/02/2023 Planning Meeting
5. Chairman’s Report
6. Public Comment
7. New Business:
 - A. Site Plan Review – Mosaic Distillery
8. Old Business:
9. Reports and Communications:
 - a. Council minutes: 7/24/23
10. Public Comments
11. Staff Comments
12. Commissioners/Council Comments
13. Adjournment

The City of Plainwell is an equal opportunity provider and employer

**CITY OF PLAINWELL
MINUTES
Planning Commission
Wednesday, August 2, 2023**

1. Call to Order at 6:30 pm by Colingsworth
2. Pledge of Allegiance was given by all present.
3. Roll Call:
Present: Rachel Collingsworth, Lori Steele, Jay Lawson, Jim Higgs, Gary Sausaman
Excused: Stephen Bennett, Jim Higgs
4. Approval of Minutes: 05/17/2023
Motion to approve minutes was made by Sausaman and seconded by Lawson. All in favor vote to approve minutes and place on file.
5. Chairperson's Report: None
6. Public Comments: None
7. New Business:
 - A. Public Hearing on Master Plan – Open Public Hearing at 6:32
No discussion and no public was present Closed Public Hearing at 6:33 pm
Motion made by Steele recommending the updated Master Plan to City Council for final approval, seconded by Sausaman. All in favor vote. Motion passed.
 - B. Site Plan Approval for Island City Hospitality, Inc. Holiday Inn Express Siegel presented the staff review of the site plan. **A motion made by Sausaman to approve the Site Plans as presented, with conditions that the Public Safety concerns re: fire suppression/sprinkling are met was seconded by Lawson. All in favor vote. Motion passed.**
8. Old Business: Accept David Collard's resignation and place on file
9. Reports and Communications: 04/24, 05/08, 5/22, 6/12, 6/26, 7/10 were reviewed and placed on file.
10. Public Comments: None
11. Staff Comments: Siegel, Community Development Manager provided an update on the new businesses in downtown
13. Commissioner Comments: None
14. Adjournment: Colingsworth adjourned the meeting at 6:46 p.m.

Minutes submitted by Denise Siegel, Community Development Manager

I. General Notes & Requirements

A. General Requirements:

1. The contractor shall conform to the contractor's regulations as specified by the owner.
2. All construction shall be in accordance with all applicable Federal, State and Local Codes and Ordinances.
3. Contractor shall field verify all dimensions before construction begins and shall be responsible for same.
4. Work shall be planned and scheduled to minimize disturbance of other trades and the Owner's operations.
5. Prior approval must be obtained from the Project Engineer to substitute materials or equipment.
6. All materials and equipment shall be protected from weather damage.
7. Keep the area in a neat, safe and orderly condition at all times.

B. References: The following reference documents, their commentaries and the standards referenced therein, apply to design, fabrication and construction practices and shall be adhered to with regard to the work on the drawings:

1. Michigan Building Code, 2015 Edition (MBC 2015).
2. Applicable Loss Prevention Data Handbook (as required by insurance carrier).
3. American National Standards Institute.
4. Building Code Requirements for Structural Concrete (ACI 318 - latest edition).
5. Specification for Structural Concrete for Building (ACI 301 - latest edition).
6. Cold Weather Concreting (ACI 306 - latest edition).
7. Hot Weather Concreting (ACI 305 - latest edition).
8. ACI Detailing Manual (ACI 315 - latest edition).
9. @Specifications for the Design of Cold Formed Structural Steel Members^A (AISI, latest edition).

Existing Building:

Building area: 9,236.1 square feet

Construction type: 5B, unprotected, partially sprinkled

Existing front, 2 story structure with basement:

3,451.6 sq ft / not included in construction, 8" masonry block fire separation.

Existing middle, 1 story structure, slab on grade (small old boiler room basement (NW corner) approx 200 sq ft, exit thru north build.

3,684.5 sq ft, 8" masonry fire separation all sides

South Shed building: 1 story wood frame with some masonry exterior bearing walls, 2,600 sq ft

Use Group: A-2

Allowable area per Table 506.2 - 6,000 sf

Increase for open area: (506.3) Fully open all sides greater than 30' = 75%
6,000 x 1.75 = 10,500 sq ft

Exits: exit occupancy @ 100 sq ft / occ = 214

Actual # exit = (2) 3' door North - Max exit distance 70'

Middle area fully open east side when operational

South 2 exists

Rest rooms: Women - 3 - unisex

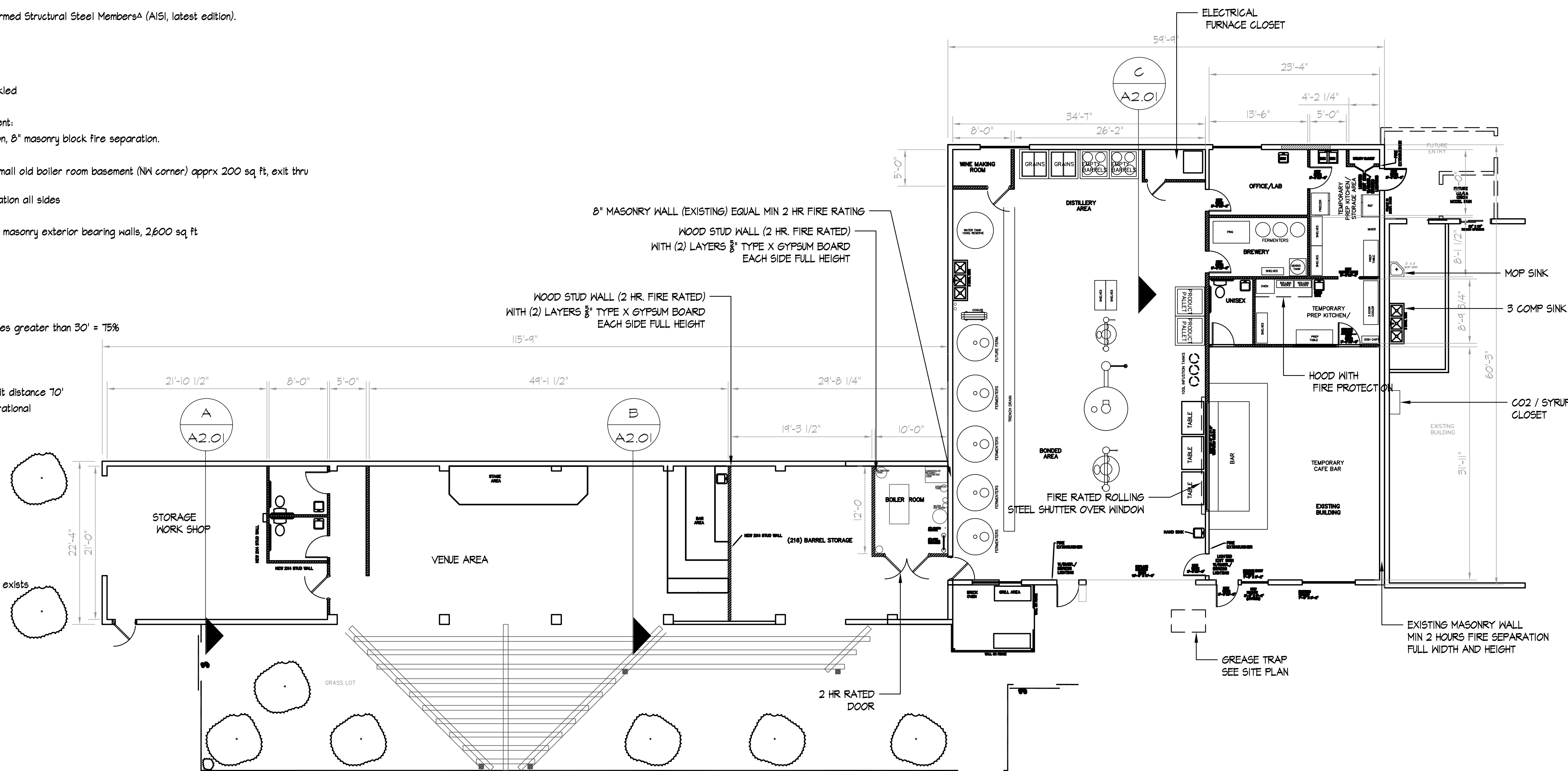
Actual occupant load: 100

Finishes:

North: drop ceiling north half

North: exposed ceiling south half

South: (shed) Exposed masonry or wood as exists

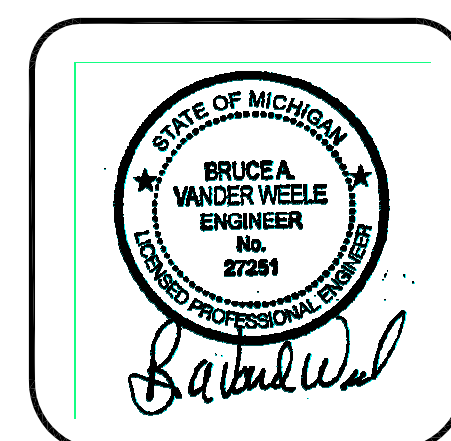


OVERALL FLOOR PLAN
SCALE 1/8" = 1'-0"

North



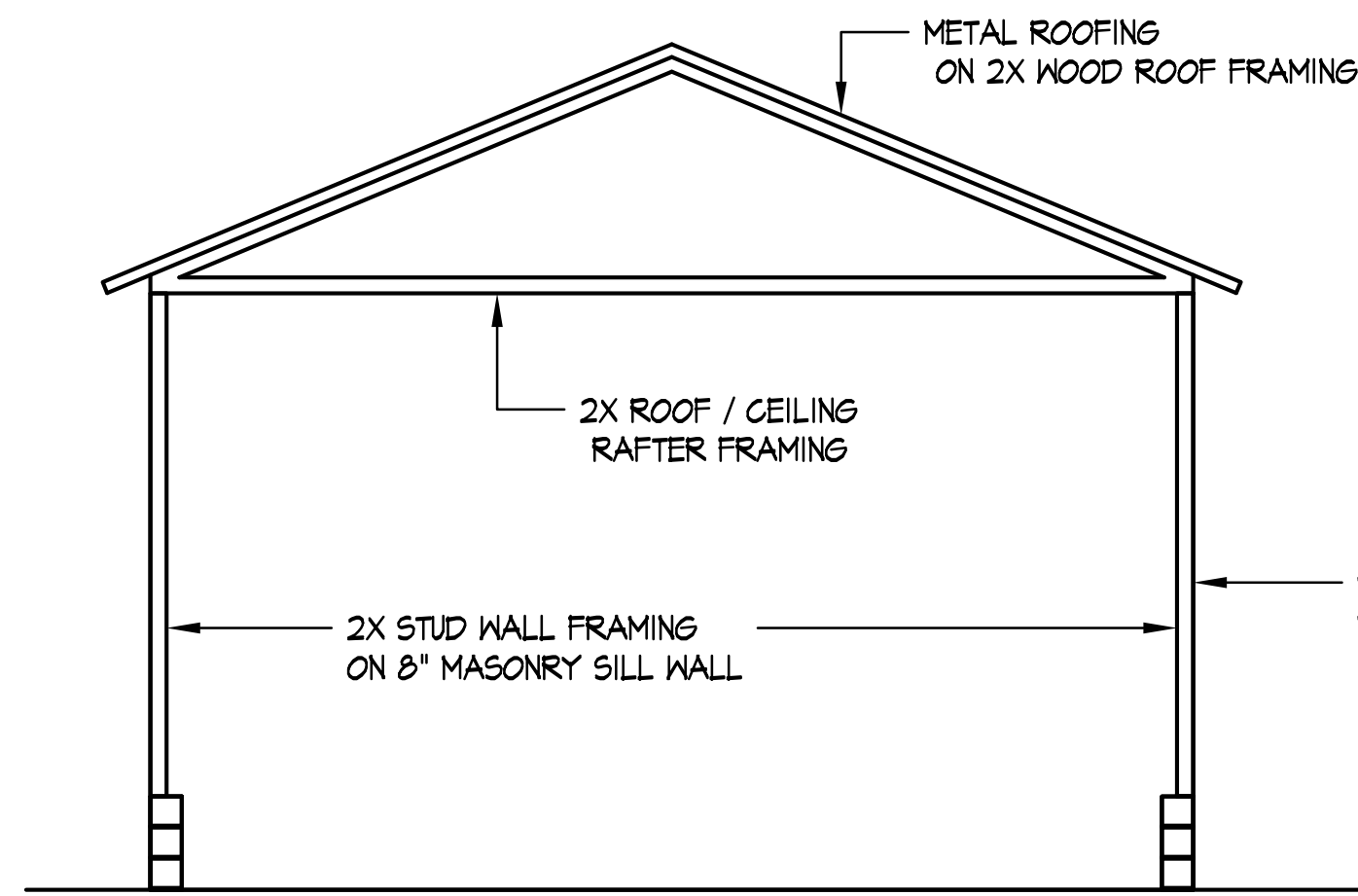
NO.	DATE	REVISION



FIRE & CLAY
BAKE AND STILL HOUSE
PLAINWELL, MICHIGAN
119 WEST BRIDGE ST.

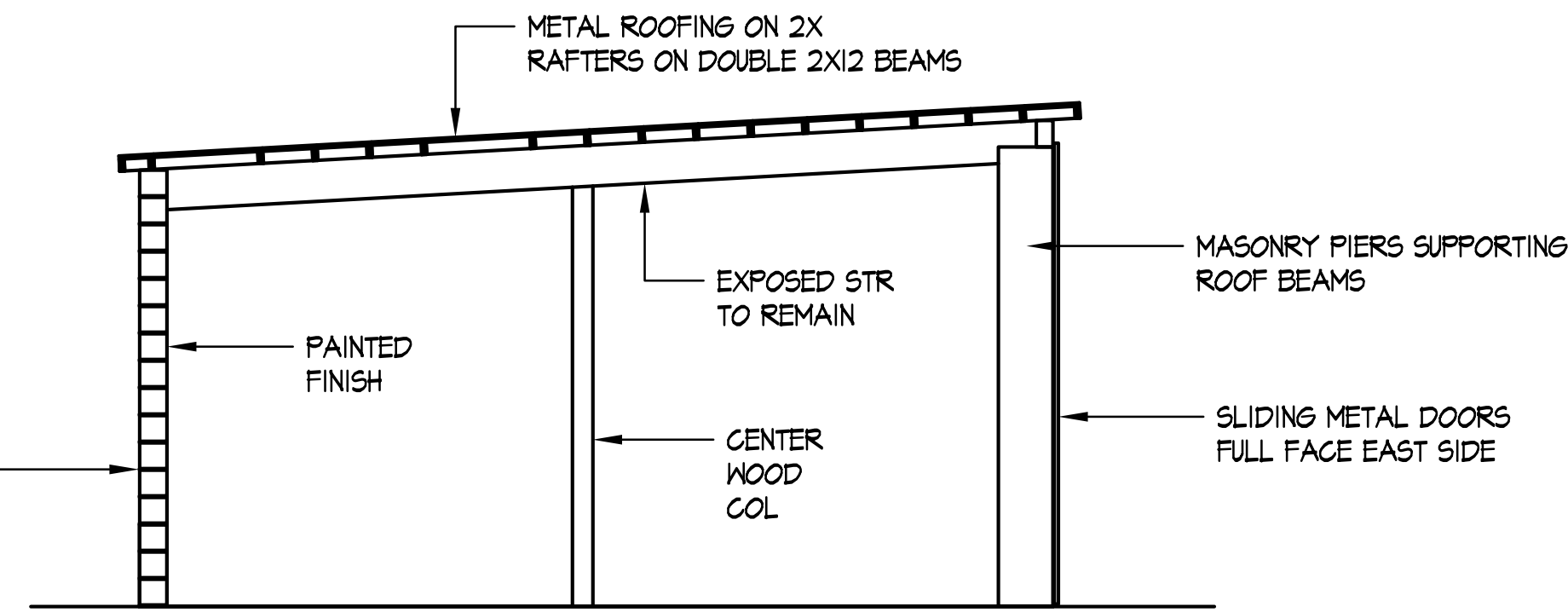
FLOOR PLAN
vanderweele
Design Consultants, P.C.
6330 Termination * Kalamazoo, Michigan 49009
(269) 372-7227 Fax: (269) 372-3964
e-mail: bvanderweele@vanderweele.com

XREFs.
PLOT SCALE
ISSUE DATE:
5/15/23
DRAWN BY:
BAV
SHEET NO.
A1.01
PROJECT NO.
10420



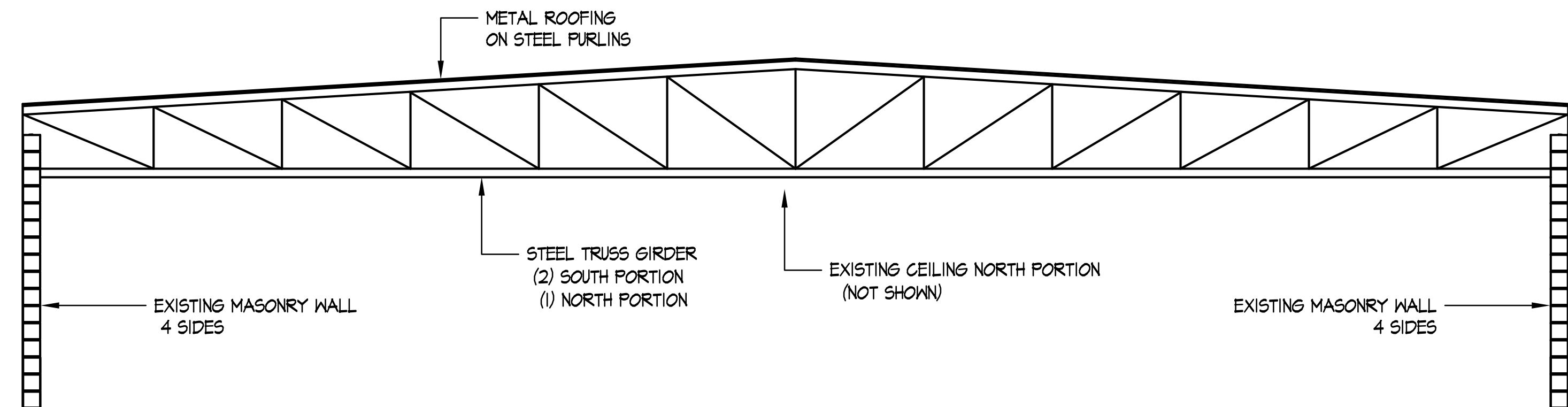
BLDG SECTION A

SCALE 1/4" = 1'-0"
SOUTH END



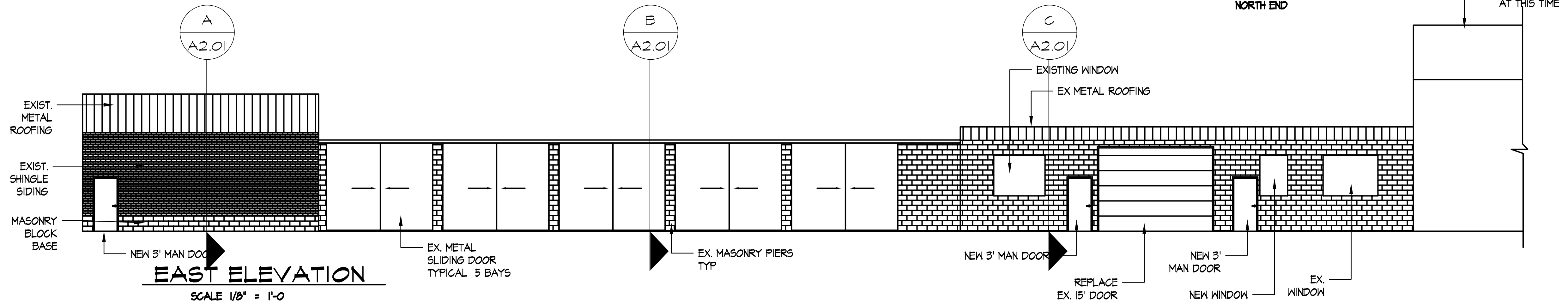
BLDG SECTION B

SCALE 1/4" = 1'-0"
MIDDLE



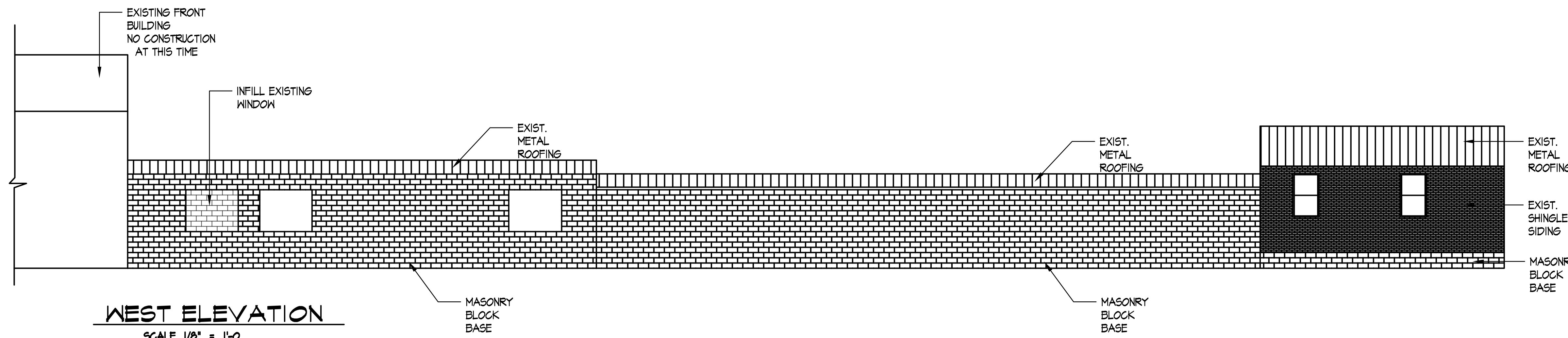
BLDG SECTION C

SCALE 1/4" = 1'-0"
NORTH END



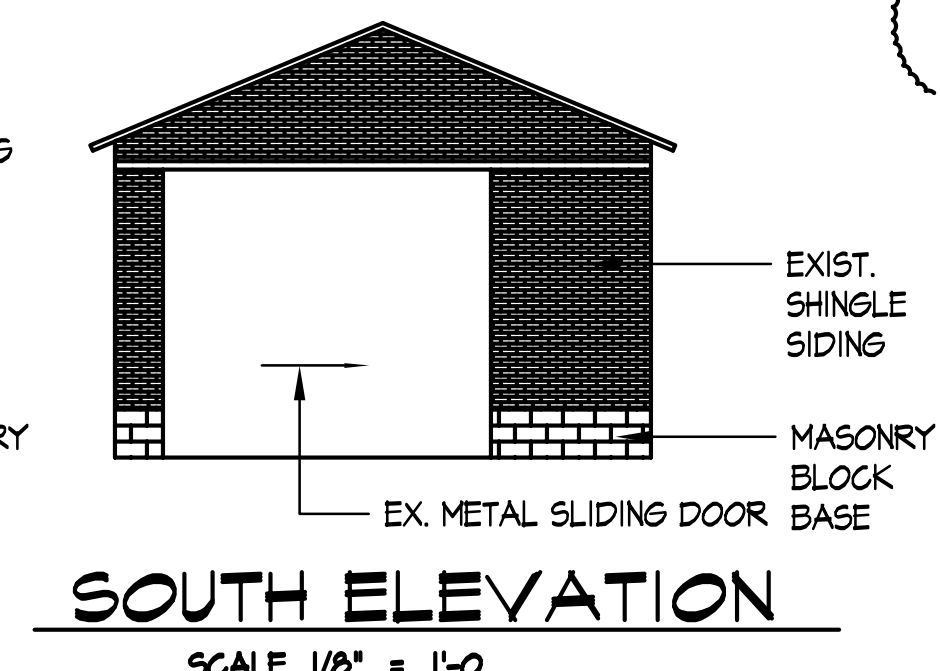
EAST ELEVATION

SCALE 1/8" = 1'-0"



WEST ELEVATION

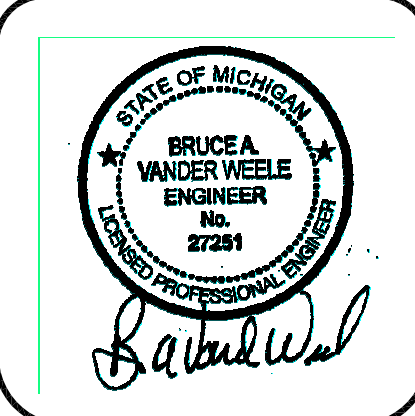
SCALE 1/8" = 1'-0"



SOUTH ELEVATION

SCALE 1/8" = 1'-0"

NO.	DATE	REVISION



FIRE & CLAY
BAKE AND STILL HOUSE
PLAINWELL, MICHIGAN
119 WEST BRIDGE ST.

ELEVATIONS & SECTIONS
Vanderweele
Design Consultants, P.C.
6330 Terrington * Kalamazoo, Michigan 49009
(269) 372-7327 Fax: (269) 372-3964
e-mail: bvanderweele@vanderweele.com

XREFS:
PLOT SCALE
ISSUE DATE: 5/15/23
DRAWN BY: BAV
SHEET NO. **A2.01**
PROJECT NO. **10420**

ELECTRICAL SYMBOL LEGEND

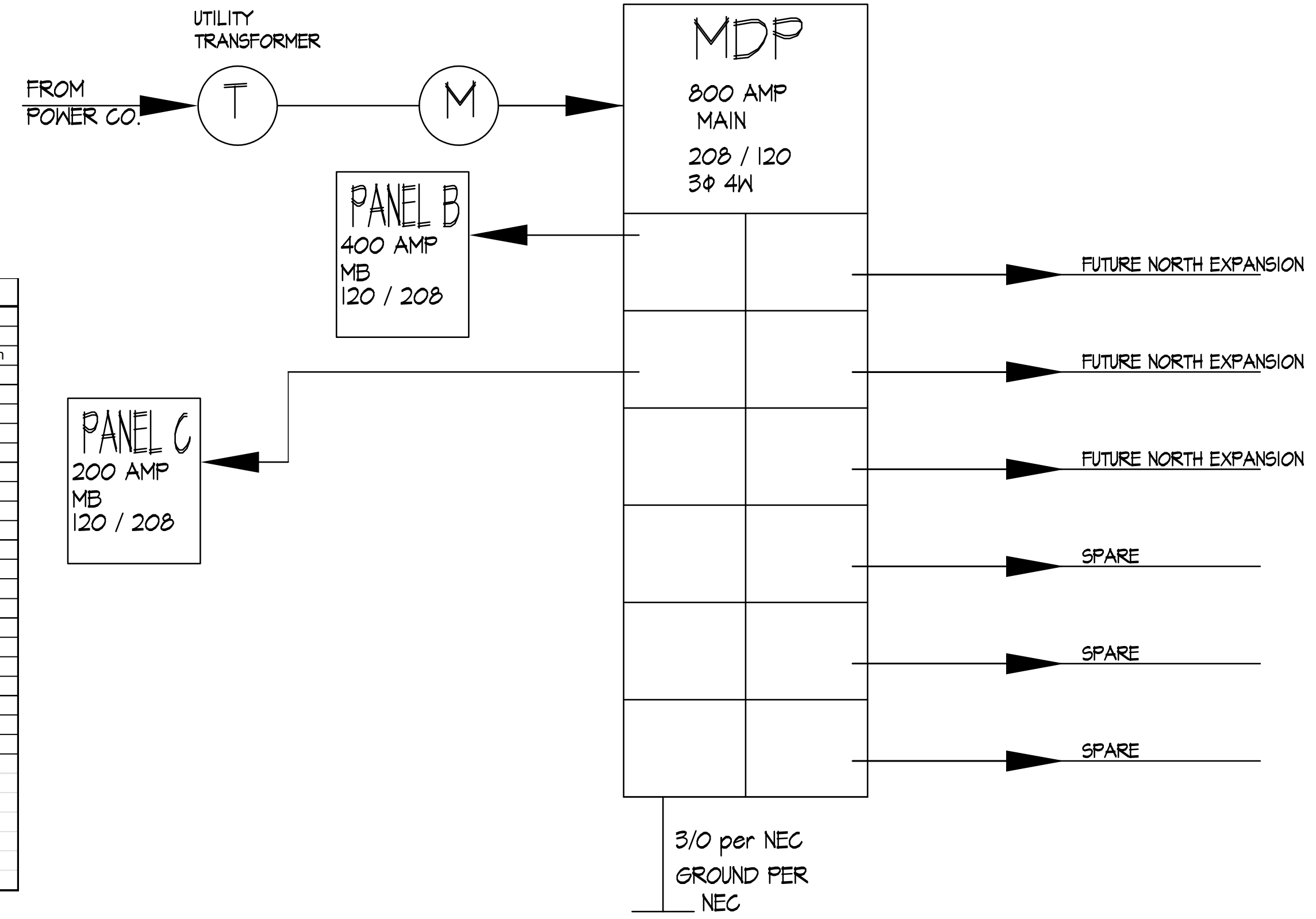
LIGHTING	POWER
2x4 RECESSED FIXTURE	POWER SUBSCRIPTS MP - WEATHER PROOF GFI - GROUND FAULT INTERCEPT C - CEILING MOUNTED F - FURNITURE MOUNTED AC - MOUNTED ABOVE COUNTER
2x4 LAY IN 4 LAMP TB HIGH EFF FIXTURE - ** SEE ALTERNATE PRICING	
BATHROOM COMBO LIGHT / FAN (15 CFM)	
1x4 RECESSED FIXTURE	
1x4 SURFACE/PENDANT FIXTURE	
1x4 FIXTURE NITE LIGHT	
2x2 RECESSED FIXTURE	
2x2 LED SURFACE/PENDANT FIXTURE	
2x2 FIXTURE NITE LIGHT	
8' STRIP/INDUSTRIAL FIXTURE W/ COVER	
STRIP/INDUSTRIAL FIXTURE W/EMERGENCY BACKUP	
LINEAR WALL MTD FIXTURE	
LINEAR WALL MTD FIXTURE W/EMERGENCY BACKUP	
WALL MTD FIXTURE W/ PHOTO CONTROL - 400M	
RECESSED CAN/PENDANT/SURFACE MTD FIXTURE WITH LED	
RECESSED CAN/PENDANT/SURFACE MTD FIXTURE W/ EMERGENCY BACK-UP	
SINGLE FACE WALL MTD EXIT SIGN	
DOUBLE FACE WALL MTD EXIT SIGN	
SINGLE FACE CEILING MTD EXIT SIGN	
DOUBLE FACE CEILING MTD EXIT SIGN	
EXIT SIGN W/ EGRESS LTS WITH EXT DANGLE	
WALL MTD EGRESS FIXTURE	
REMOTE EGRESS HEAD	
SITE POLE MTD FIXTURE	
SITE GROUND MTD FIXTURE	
WALL SWITCH	
3-WAY SWITCH	
4-WAY SWITCH	
INBOARD LAMP BALLAST SWITCH	
OUTBOARD LAMP BALLAST SWITCH	
INCANDESCENT DIMMER SWITCH	
FLUORESCENT DIMMER SWITCH	
LOW VOLTAGE SWITCH	
KEYED SWITCH	
EXPLOSION PROOF SWITCH	
TIMER SWITCH	
OCCUPANCY SENSOR WALL SWITCH	
OCCUPANCY SENSOR	
	PANELBOARDS/POWER DISTRIBUTION
	200-240/120V ELECTRICAL PANELBOARD
	480/120V ELECTRICAL PANELBOARD
	200-240/120V ELECTRICAL DISTRIBUTION PANEL/SWITCHBOARD
	480/277V ELECTRICAL DISTRIBUTION PANEL/SWITCHBOARD
	TRANSFORMER
	AUTOMATIC TRANSFER SWITCH
	CONTROL PANEL/RELAY PANEL
	ELECTRIC METER

ELECTRICAL SPECIFICATIONS:

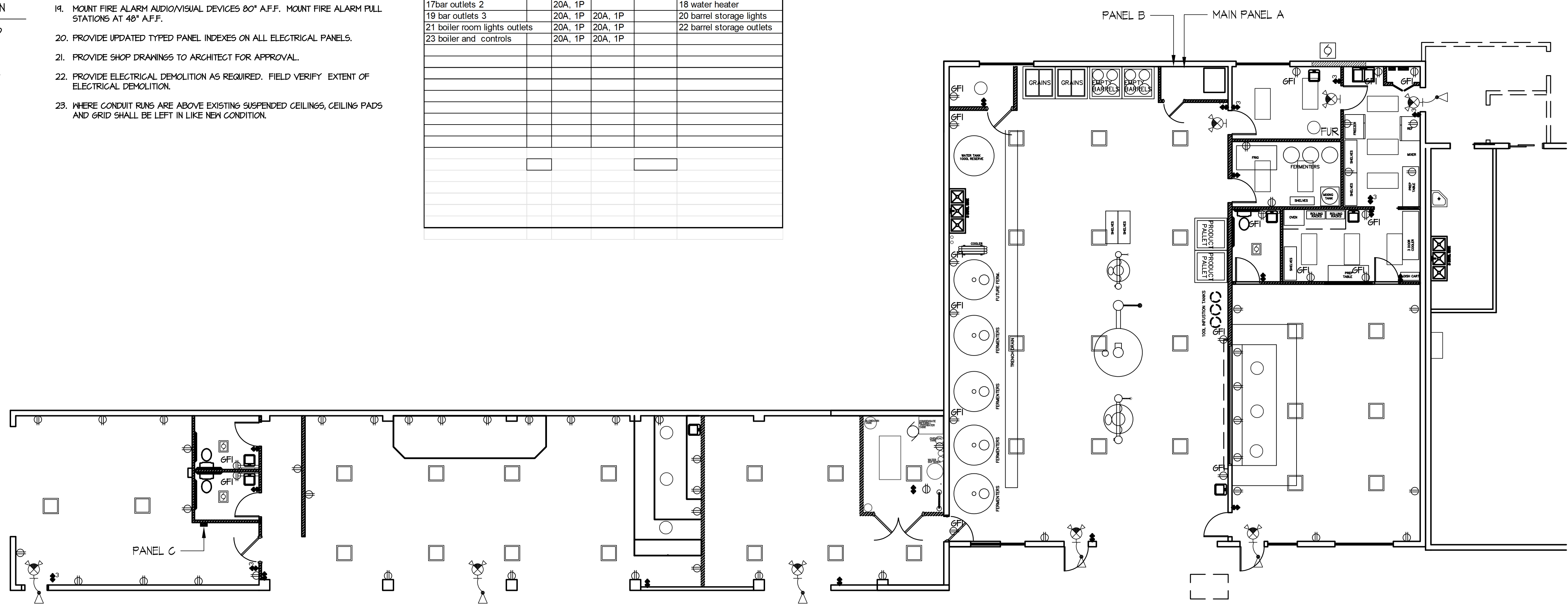
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL AUTHORITIES HAVING JURISDICTION.
- SECURE AND PAY FOR ALL PERMITS AND FEES.
- SWITCHBOARDS, PANELBOARDS, AND MOTOR CONTROL CENTERS SHALL BE FIELD MARKED TO WARN QUALIFIED PERSONS OF POTENTIAL ARC FLASH HAZARDS. PROVIDE APPROPRIATE WARNING SIGNS PER NEC 110.16.
- LISTED OR LABELED EQUIPMENT SHALL BE INSTALLED AND USED IN ACCORDANCE WITH ANY INSTRUCTIONS INCLUDED IN THE LISTING OR LABELING PER NEC 110.3(B). ELECTRICAL CONTRACTOR SHALL VERIFY ALL INSTALLATION REQUIREMENTS.
- ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THAT ALL OVERCURRENT PROTECTIVE DEVICES INTERRUPT RATINGS EXCEED AVAILABLE FAULT CURRENTS PER NEC 110.9.
- ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THAT ALL ELECTRICAL EQUIPMENT SHORT CIRCUIT RATINGS EXCEED AVAILABLE SHORT CIRCUIT CURRENT PER NEC 110.10.
- ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THAT WORKING AND DEDICATED EQUIPMENT SPACE REQUIREMENTS FOR ALL ELECTRICAL EQUIPMENT ARE MET PER NEC 110.26.
- ALL BRANCH CIRCUITS ARE ASSUMED TO HAVE THREE OR LESS CURRENT CARRYING CONDUCTORS IN A RACEWAY OR CABLE. WHERE THE NUMBER OF CURRENT CARRYING CONDUCTORS IN A RACEWAY OR CABLE EXCEEDS THREE, THE ELECTRICAL CONTRACTOR SHALL APPLY ADJUSTMENT FACTORS PER NEC TABLE 310.15 (B)(2)(a).
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES FOR INSTALLATION OF ALL EQUIPMENT. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
- ALL WIRING SHALL BE COPPER NO. 12 AWG MINIMUM SIZE, TYPE THHN/THWN INSULATION. FOR ALL BRANCH CIRCUITS OVER 100 FEET LONG, CONDUCTOR SIZE SHALL BE NO. 10 AWG MINIMUM SIZE.
- ALL WIRING SHALL BE INSTALLED IN A METALLIC CONDUIT SYSTEM UNLESS NOTED OTHERWISE ON THE DRAWINGS. ALL CONDUIT USED IN WET OR DAMP AREAS SHALL BE WATER TIGHT. PROVIDE FLEXIBLE METAL CONDUIT FOR CONNECTION TO ALL MOTORS. PROVIDE A SEPARATE EQUIPMENT GROUNDING CONDUCTOR WITH ALL FLEXIBLE METAL CONDUIT. MAXIMUM LENGTH OF FLEXIBLE METAL CONDUIT ALLOWED IS 2 FT. RUN ALL NEW CONDUIT CONCEALED WHERE POSSIBLE. WHERE EXISTING DOES NOT PERMIT CONCEALED, RUN EXPOSED. ALL CONDUIT RUN EXPOSED SHALL BE RUN SQUARE TO THE BUILDING AND PAINTED TO MATCH SURFACE MOUNTED ON.
- MAXIMUM LOAD FOR A 20 AMP BRANCH CIRCUIT SHALL BE 15 AMPS OR 1800 VOLT-AMPS AT 120 VAC.
- ALL WIRING RUN WITHIN RETURN AIR PLENUMS SHALL BE UL LISTED FOR SUCH USE.
- ALL BRANCH CIRCUITS SHALL BE 20A, 1P, C.B., (2) #12, #12 GND, 3/4" C UNLESS NOTED OTHERWISE. 1/2" IS PERMITTED FOR SWITCH LEGS.
- ALL RECEPTACLES SHALL BE 20AMP, 125V, SPECIFICATION GRADE, GROUNDING TYPE, IVORY COLOR WITH STAINLESS STEEL COVER PLATES. PROVIDE GFCI AND WEATHERPROOF TYPES WHERE SHOWN. VERIFY AND COORDINATE ALL POWER OUTLET TYPES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
- ALL LIGHT SWITCHES SHALL BE SILENT TYPE, SPECIFICATION GRADE, 20AMP, 277V, IVORY COLOR WITH STAINLESS STEEL COVER PLATES. PROVIDE THREE WAY, FOUR WAY, AND DIMMER SWITCHES WHERE SHOWN.
- PROVIDE SINGLE GANG BOX FOR TELEPHONE/COMPUTER OUTLETS. PROVIDE 3/4 INCH CONDUIT TO ABOVE SUSPENDED CEILING OR UP TO CEILING DECK. PROVIDE PULL WIRE AND TEFLON BUSHINGS.
- PROVIDE TEFLON BUSHINGS ON ALL CONDUIT STUBS THROUGH WALLS AND ABOVE CEILING.
- MOUNT FIRE ALARM AUDIO/VISUAL DEVICES 80" A.F.F. MOUNT FIRE ALARM PULL STATIONS AT 48" A.F.F.
- PROVIDE UPDATED TYPED PANEL INDEXES ON ALL ELECTRICAL PANELS.
- PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
- PROVIDE ELECTRICAL DEMOLITION AS REQUIRED. FIELD VERIFY EXTENT OF ELECTRICAL DEMOLITION.
- WHERE CONDUIT RUNS ARE ABOVE EXISTING SUSPENDED CEILING, CEILING PADS AND GRID SHALL BE LEFT IN LIKE NEW CONDITION.

PANEL SCHEDULE B					
CIRCUIT	A'	C.B.	C.B.	B	CIRCUIT
1 Shop lights	20A, 1P	20A, 1P			2 stage area lights south
3 shop n wall outlets	20A, 1P	20A, 1P			4 stage area lights north
5 shop east wall outlets	20A, 1P	20A, 1P			6 bar area lights
7 rest room lights outlets	20A, 1P	20A, 1P			8 special light stage
9 rr hall outlets lights	20A, 1P	20A, 1P			10 special light stage
11 stage west outlets	20A, 1P	20A, 1P			12 special light stage
13 stage west north outlets	20A, 1P	20A, 1P			14 exterior lighting
15 bar outlets 1	20A, 1P	40A, 2P			16 water heater
17bar outlets 2	20A, 1P				18 water heater
19 bar outlets 3	20A, 1P	20A, 1P			20 barrel storage lights
21 boiler room lights outlets	20A, 1P	20A, 1P			22 barrel storage outlets
23 boiler and controls	20A, 1P	20A, 1P			24 exterior lights
25 exit lights	20A, 1P	20A, 1P			26 spare

PANEL SCHEDULE C					
CIRCUIT	A'	C.B.	C.B.	B	CIRCUIT
1 Shop lights	20A, 1P	20A, 1P			2 stage area lights south
3 shop n wall outlets	20A, 1P	20A, 1P			4 stage area lights north
5 shop east wall outlets	20A, 1P	20A, 1P			6 bar area lights
7 rest room lights outlets	20A, 1P	20A, 1P			8 special light stage
9 rr hall outlets lights	20A, 1P	20A, 1P			10 special light stage
11 stage west outlets	20A, 1P	20A, 1P			12 special light stage
13 stage west north outlets	20A, 1P	20A, 1P			14 exterior lighting
15 bar outlets 1	20A, 1P	40A, 2P			16 water heater
17bar outlets 2	20A, 1P				18 water heater
19 bar outlets 3	20A, 1P	20A, 1P			20 barrel storage lights
21 boiler room lights outlets	20A, 1P	20A, 1P			22 barrel storage outlets
23 boiler and controls	20A, 1P	20A, 1P			



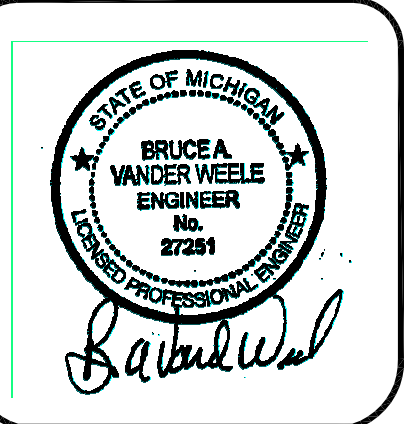
ELECTRICAL SCHEMATIC



ELECTRICAL PLAN

SCALE 1/8" = 1'-0"

NO.	DATE	REVISION



FIRE & CLAY
BAKE AND STILL HOUSE
PLAINWELL, MICHIGAN
119 WEST BRIDGE ST.

Electrical
vanderweele
Design Consultants, P.C.
6330 Terhoning • Kalamazoo, Michigan 49009
(269) 372-7227 Fax: (269) 372-3964
e-mail: bvanderweele@vanderweele.com

XREFs:
PLOT SCALE
ISSUE DATE:
5/15/23
DRAWN BY:
BAV
SHEET NO.
E1.01
PROJECT NO.
10420

MINUTES
Plainwell City Council
July 24, 2023

1. Mayor Keeler called the regular meeting to order at 7:00 PM in City Hall Council Chambers.
2. Scott Smail of Lighthouse Baptist Church gave the invocation.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Keeler, Mayor Pro-Tem Steele, Councilmember Overhuel, Councilmember Wisnaski and Councilmember Keeney.
5. Approval of Minutes:
A motion by Steele, seconded by Overhuel, to accept and place on file the Council Minutes of the July 10, 2023 regular meeting. On a voice vote, all voted in favor. Motion passed.
6. Public Comment: John Spencer, a representative for House Republican Leader Matt Hall, introduced himself to Council and provided his contact information.
7. County Commissioner Report: County Commissioner Dugan shared that Allegan County's death rate is comparable to other counties, citing a recent medical examiner's report. He stated that there is discussion concerning aggregate and mineral rights on City owned property, as the State of Michigan is looking to acquire these rights from local communities. He provided an update on the Allegan County Courthouse remodel, stating that there were no funds available at this time. He said that there are currently two visiting Judges coming to the Courthouse and providing support. He gave an update on the Allegan County Sheriff Department body cams, and shared that Plainwell has received matching funds for a water/sewer project. He spoke about power generated by Calkins Dam in Allegan, and the hope to relicense it for continued use by the City of Allegan.
8. City Clerk Leonard reported no changes to the Agenda.
A motion by Steele, seconded by Overhuel, to approve the Agenda for the July 24, 2023 meeting as presented. On a voice vote, all voted in favor. Motion passed.
9. Mayor's Report: None.
10. Recommendations and Reports:
 - A. City Manager Lakamper provided an update on the curbside recycling and bulk trash removal services. Further research indicated that a special tax assessment district was unnecessary.
A motion by Keeney, seconded by Steele, to approve Resolution 2023-25 establishing fees for monthly curbside recycling and semi-annual bulk trash pickups to be collected on the 2023 Winter Tax Bill. On a roll call vote, all in favor. Motion passed.
 - B. Water Renewal Superintendent Pond discussed the annual purchase of chlorine and sulfur gas necessary for Plant operation.
A motion by Wisnaski, seconded by Keeney, to approve the annual purchase of chlorine and sulfur gas from Haviland Products for \$14,600.00. On a roll call vote, all voted in favor. Motion passed.

C. Water Renewal Superintendent Pond discussed the annual purchase of ferric chloride necessary for Plant operation.

A motion by Keeney, seconded by Overhuel, to approve the annual purchase of ferric chloride from Webb Chemical for \$46,436.00. On a roll call vote, all voted in favor. Motion passed.

D. Water Renewal Superintendent Pond discussed the annual purchase of polymer necessary for Plant operation.

A motion by Overhuel, seconded by Wisnaski, to approve the annual purchase of polymer from WaterSolve LLC for \$8,800.00. On a roll call vote, all voted in favor. Motion passed.

E. City Manager Lakamper discussed a request from Profielnorm USA for a topographical survey of the lot at 830 Miller Rd. This survey is in addition to previously requested survey work.

A motion by Wisnaski, seconded by Keeney, to approve the Professional Services Agreement with Fleis & Vandenbrink Engineering for \$9,800.00 for survey work at 830 Miller Road as part of the land sale to Profielnorm USA. On a roll call vote, all voted in favor. Motion passed.

11. Communications:

A motion by Steele, seconded by Overhuel, to accept and place on file the June 2023 Department of Public Safety and Water Renewal Reports, the draft June 15, 2023 Parks & Trees Meeting Minutes and the draft July 11, 2023 DDA/BRA/TIFA Meeting Minutes. On a voice vote, all voted in favor. Motion passed.

12. Accounts Payable:

A motion by Keeney, seconded by Wisnaski, that the bills be allowed and orders drawn in the amount of \$523,479.58 for payment of same. On a roll call vote, all voted in favor. Motion passed.

13. Public Comments: None

14. Staff Comments:

Finance Director Kelley shared that he is working on the end of the year audit.

Superintendent Nieuwenhuis stated that the bridge is curing. The next step, epoxy and stone chips, will be happening soon.

Community Development Manager Siegel reported that an extension has been granted for the dam project, which has been delayed by lack of access to the property for testing purposes. She shared that the rental rehab project at Perfect Image Salon is complete and all apartments have tenants. She stated the Planning Commission has reviewed a site plan provided by Holiday Inn. There will be a Public Hearing in August concerning the Master Plan.

Water Renewal Superintendent Bryan Pond said that a recent surface water PFAS test came back well within limits.

Public Safety Director Callahan stated that the new Rescue 1 boat is here, and the department is happy with the purchase.

City Manager Lakamper discussed the lead abatement project, stating the closing of the EGLE loan has been extended by 6 months. The company providing the lead abatement service is looking to adjust their process, and work has stopped for now. He discussed the dam project, stating that we need access to do construction work. He shared that while the dam located at City Hall is fine, the trestle bridge has been deemed a potential barrier to fish migration. The City may need to consider removal of the trestle bridge. He provided an RFQ update.

15. Council Comments: Councilmember Overhuel thanked everyone for coming and congratulated Finance Director Kelley on his grandson and Superintendent Nieuwenhuis on his daughter's wrestling victory. Mayor Pro-Tem Steele also congratulated Superintendent Nieuwenhuis and his daughter.
16. Adjournment:
A motion by Steele, seconded by Keeney, to adjourn the meeting at 7:49 PM. On a voice vote, all voted in favor. Motion passed.

Minutes respectfully
submitted by,
Ginger J Leonard
City Clerk

MINUTES APPROVED BY CITY COUNCIL
August 14, 2023


Ginger J Leonard, City Clerk