

City of Plainwell



“The Island City”

Rick Brooks, Mayor
Lori Steele, Mayor Pro-Tem
Brad Keeler, Council Member
Roger Keeney, Council Member
Todd Overhuel, Council Member

Department of Administration Services
211 N. Main Street
Plainwell, Michigan 49080
Phone: 269-685-6821
Fax: 269-685-7282
Web Page Address: www.plainwell.org

Agenda Planning Commission September 19, 2018 7:00 PM

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Minutes: 09/05/18 Planning Meeting
5. Chairman’s Report
6. New Business:
 - A. HyTech Springs – Review site plans for a 22,000 sq. foot addition to their existing building.
 - B. Discussion only regarding rezoning 803 N. Main from C2 to R-1A. No action to be taken.
7. Old Business: None
8. Public Comment
9. Reports and Communications:
 - A. 08/27/18 Council Minutes
10. Staff Comments
 - A. City Updates –Barbed Wire Café opened Monday, Sept. 17, 2018
11. Commissioners Comments
12. Adjournment

The City of Plainwell is an equal opportunity provider and employer

**CITY OF PLAINWELL
MINUTES
Planning Commission
September 5, 2018**

1. Call to Order at 7:00 p. m. by Lubic
2. Pledge of Allegiance was given by all present.
3. Roll Call: Present: Jay Lawson, Rachel Colingsworth, Lori Steele, Diana Lubic, Jim Higgs
Excused: Chris Haas, Gary Sausaman
4. Approval of Minutes – 07/18/18
Higgs motioned to approve minutes, as received seconded by Steele. Minutes approved on an all in favor voice vote.
5. Chairperson’s Report: - Lubic mentioned that she will be honored for her 30 years on the Planning Commission and as a member of the MI Planning Association at the annual meeting the end of September in Grand Rapids, MI.
6. New Business:
A. Rizzo Packaging Site Plans for new building. **A motion by Higgs to accept the Site Plans and move them forward to City Council for final approval was made and passed.**
7. Old Business: None
8. Public Comments – None
9. Reports and Communications:
A. 07/23/18 & 08/13/18 Council Minutes
10. Staff Comments:
Siegel, Community Development Manager gave an update on the Sesquicentennial celebration for 2019 and announced two businesses opening in September, Passiflora Home Décor and Plainwell Diner.
12. Commissioner Comments:
13. Adjournment:
The meeting was adjourned at 7:36 p.m.

Minutes submitted by Denise Siegel, Community Development Manager



City of Plainwell – Zoning Permit Application

Rev: 2/2010

Fee: \$5.00 / Additional review fees may be imposed

Date: 9.7.2018

Permit #:

Address of Project: 950 LINCOLN PARKWAY HYTECH SPRING

Parcel ID Number:

Owner's Address:

Contractor: DELTA DESIGN SYSTEMS
Contractor Address: 8240 STADIUM DR KALAMAZOO, MI 49009
Contractor Phone Number: 269-353-7800

Owner's Phone Number: 685-1768

Contractor Phone Number:

Work to be done (please check all that apply):

- New Building Construction
Building Demolition
Fence
Other (please describe):
Existing Building Addition/Alteration
Moving a Building
Sign

Zoning District of this property (check):

- Single Family Residential(R-1A)
Single Family Residential (R-1B)
Single and Two Family Residential (R-1C)
Multi-Family Residential (R-2)
Planned Mobile Home (R-MH)
Local Commercial (C-1)
Planned Unit Development (PUD)
General Commercial (C-2)
Central Business (CBD)
Service Business (SB)
Community Service(C-S)
Restricted Manufacturing (M-1)
General Manufacturing (M-2)

General Description of Project (use back of page if necessary):

Will the work performed in this application change the Use of this property? Yes No

Total Cost of Project: \$1,300,000-

After project is complete, the setbacks established will be (if applicable):

Front: 50 ft. Back: 46 ft. Side: 150 ft. Side - ft.

Does this project involve a (check one): Non-conforming use Non-conforming structure N/A

Is this a home occupation? NO If so what kind

Any type of special equipment use? NO Electrical Plumbing

Is this project consistent with the Master Plan yes no If no please explain on back.

Will this project result in an increase in off-street parking? yes no

I understand that before the issuance of a building permit, I must have an approved Zoning Permit Application. Additionally, the UNDERSIGNED affirms that he/she/they is (are) the owner of subject property authorized to represent the interests of all property owners involved in this application and that the answers and statements herein contained and all maps, plans, and other information herewith submitted and attached are in all respects true to the best of his/her/their knowledge and belief. Additionally, the UNDERSIGNED acknowledges they have received or have been made available all applicable Ordinances relevant to said project, and further, will comply with said Ordinances.

Signature of Applicant(s): [Handwritten Signature]

Date of Signature(s): 9.7.2018

Office Use Only

Approved: Denied:

Signature and Date of Zoning Administrator (or designate):

Remarks:



Preliminary Site Plan Checklist

City of Plainwell Administration Department
 211 N. Main St. Plainwell, MI 49080
 269-685-6821
 Plainwell.org

Project Name: HyTech Springs Addition
 Parcel Number: 55-206-020-20
 Current Zoning District: I (industrial)

Item	Requirement	Shown	NO – N/A
1.	Provide name, address and phone number of applicant	x	
2.	Provide name, address, phone number and sealed with signatures of Michigan licensed architect, engineer, designer, landscape architect or planner who prepared the plan. Plan should be stamped “Preliminary or titled Preliminary Site Plan	x	
3.	Has the Zoning Permit has been completed?	x	
4.	Include the north arrow, legend, graphic and written scale on all sheets	x	
5.	Include the land description	X	
6.	Include the zoning of the site and adjacent parcels	X	
7.	Include the gross land area	X	
8.	Include scale	X	
9.	Include Structure location(s) Dimensions of lot and property lines- Location of all structures on subject and abutting properties- Location of each proposed structure, w/use(s), w/number of stories, gross building area Distances between structures and lot lines, setback lines	X	
10.	Include Occupancy type and Fire exits	X	
11.	Parking and Paving Proper number of parking spots/handicap? Location of loading docks/zone? Adequate loading space? Asphalt or gravel requirement met?	X	
12.	Landscaping Location and volume meets requirement for zoning district	X	
13.	Lighting Exterior lighting kept substantially on property?	X	
14.	Traffic Flow (vehicular and pedestrian) Driveway permit needed? Does traffic circulation provide safe vehicular and pedestrian flow Public safety vehicle access? Fire lanes needed?		N/A
15.	Storm Water Retention Location of proposed storm collection area shown? Is it an adequate size? Need to verify that the existing retention pond can handle the new water	Need information	
16.	Dumpster Location and screening met for zoning district		N/A

Item	Requirement	Shown	No- N/A
17.	Water and Sewer Lines (hookups) Will permits be needed? Size and location of water connections/meter(s)? Need to know size and need a meter Is a backflow preventer required? Yes Size and location of sewer connections? Hydrant location 242 East; 243 Northeast; 244 North; 245 West	More information needed	
18.	Noise, Odor, Particulate, Vibration, Combustible or Hazardous Material Concerns		N/A
19	Signage Plan Describe plan and show signage plan		N/A
20	Outside Storage Will outside storage be required? Proper screen age and distances met?		N/A
21.	Is Minimum/Maximum Lot Width Requirement Met	x	
22.	Is Minimum/Maximum Lot Area Requirement Met	x	
23.	Is Minimum/Maximum Height Requirement Met	x	
24	Are the Setback Requirements met for the zoning district Front - 50 Back - 150 Side - 40	x	
25	Is this a phase Construction? If so Description of each phase:		N/A
26.	Fire Suppression Considerations (if applicable) Is sprinkler needed or recommended YES Fire Pump needed (3 stories or more) N/A	X	
27.	Is this project in a wellhead Protection/Flood Hazard District?		X
28.	Include a brief description of the project- 22, 000 square foot addition	X	

Reviewed by:

Community Development Manager **DS 9/7/2018**

Public Works Superintendent **BN 9/13/18**

Director of Public Safety **BB 9/12/18**

Waste Water Superintendent _____

City Manger _____

Internal Use Only

Site Plan Checklist

Date: **9/07/2018**

Project Name: **HyTech Springs Addition**

Site Address: 950 Lincoln parkway

Telephone number:

Permit #: **2018-35**

Contact Person: **Scott Musser**

Parcel #: **55-206-020-02**

Email Address: **Scott@deltadesignsystems.com**

Approval Date: _____ Planning Commission

Approval Date: _____ City Commission

1. Minutes sent to applicant

2. Conditions of approval none

A. Soil Erosion and Sedimentation control Permit required from Allegan County Water Resources Commissioner

B. Take care of any Fire Department Concerns

C. Provide a CAD compatible plan

3. Sign Plan Signed by City and Applicant

4. Sealed Site Plans sent to PCI: Date _____

5. Site Plan complete: Date _____

6. Easements Required Private Public Date to City Commission _____

HYTECH SPRING & MACHINE

MANUFACTURING EXPANSION

950 LINCOLN PKWY; PLAINWELL, MI 49080

DELTA DESIGN SYSTEMS, INC. KALAMAZOO, MI

PRE-ENGINEERED STEEL BUILDING BY AMERICAN BUILDINGS COMPANY

OWNER

HYTECH SPRING & MACHINE

950 LINCOLN PKWY
PLAINWELL, MI 49080
PHONE: (269) 685-1768

PROJECT MANAGER CONSTRUCTION MANAGER

DELTA DESIGN SYSTEMS, INC.

8240 STADIUM DRIVE
KALAMAZOO, MICHIGAN 49009
PHONE: (269) 353-7800
FAX: (269) 353-7900

ARCHITECT / ENGINEER

BISHOP ARCHITECTURAL GROUP, LLC

2962 ARCTIC AVE.
KALAMAZOO, MICHIGAN 49009
PHONE: (269) 353-7800
FAX: (269) 353-7900

BUILDING CODE REVIEW

2015 MICHIGAN BUILDING CODE, 2015 MICHIGAN PLUMBING CODE.
2015 MICHIGAN MECHANICAL CODE, 2012 MICHIGAN UNIFORM ENERGY CODE
2014 NATIONAL ELECTRICAL CODE

GENERAL BUILDING DESCRIPTION:

WIDTH: 204'-0"
LENGTH: 107'-10"
EAVE HEIGHT: 24'-3" WEST / 24'-5" EAST
PEAK HEIGHT: 28'-7"
SLOPE: 0'-0 1/2"
STORIES: 1
TOTAL SQUARE FOOT: 21,998 S.F.
BAY SPACING: 1@53'-10", 1@54'-0"

DESIGN LOADS

COLLATERAL LOAD: 5.0 PSF
GROUND SNOW LOAD: 35.0 PSF
ULTIMATE DESIGN WIND SPEED: 115.0 MPH
WIND EXPOSURE: C
SEISMIC INFORMATION: Ss: 0.104 S1: 0.046 SITE CLASS: D
SERVICABILITY DESIGN WIND SPEED (3 SEC.): 76.0 MPH
CALCULATED ROOF SNOW LOAD: 24.50 PSF BASED ON GROUND SNOW AND FACTORS.

PURLINS:
PURLINS:
SUPPORTING METAL ROOF ONLY: ROOF LIVE LOAD L/60
SUPPORTING METAL ROOF ONLY: ROOF SNOW LOAD L/180
SUPPORTING NON-PLASTER CEILING: ROOF LIVE OR SNOW LOAD L/240
SUPPORTING PLASTER / DRYWALL CEILING: ROOF LIVE OR SNOW LOAD L/360

RAFTERS:
SUPPORTING METAL ROOF ONLY: ROOF LIVE OR SNOW LOAD L/180
SUPPORTING NON-PLASTER CEILING: ROOF LIVE OR SNOW LOAD L/240
SUPPORTING PLASTER / DRYWALL CEILING: ROOF LIVE OR SNOW LOAD L/360

WALL PANELS: LATERAL WIND LOAD L/60

GIRTS:
SUPPORTING METAL WALL: LATERAL WIND LOAD L/90
SUPP. MASONRY/TILT/STUCCO/EIFS WALL: LATERAL WIND LOAD L/240 <= 1 1/2" (ASSUME PINNED BASE MASONRY.)

FRAMES:
SUPPORTING METAL WALL: LATERAL WIND LOAD * H/60 @ EAVE HT.
SUPP. MASONRY/TILT/STUCCO/EIFS WALL: LATERAL WIND LOAD * H/100 @ EAVE HT. (ASSUME PINNED BASE MASONRY.)

SPANDREL BEAMS
SUPPORTING MASONRY WALL: LATERAL WIND LOAD * L/240 <= 1 1/2"

NOTES:
L= DESIGN LENGTH OF MEMBER (SPAN)
H= HEIGHT FOR MEASURED DEFLECTION

ROOF SNOW = FACTORED 50 YEAR GROUND SNOW
DEFLECTION AS MEASURED PERPENDICULAR TO THE PLANE OF THE ROOF
WIND LOAD IS PERMITTED TO BE TAKEN AS 0.7 TIMES THE COMPONENT AND CLADDING LOAD.
* SERVICABILITY DESIGN WIND LOAD (SERVICABILITY WIND PRESSURE = 42% X 50 YR WIND DESIGN PRESSURE)
** DRIFT LIMITS SHOWN ASSUME PINNED BASE MASONRY

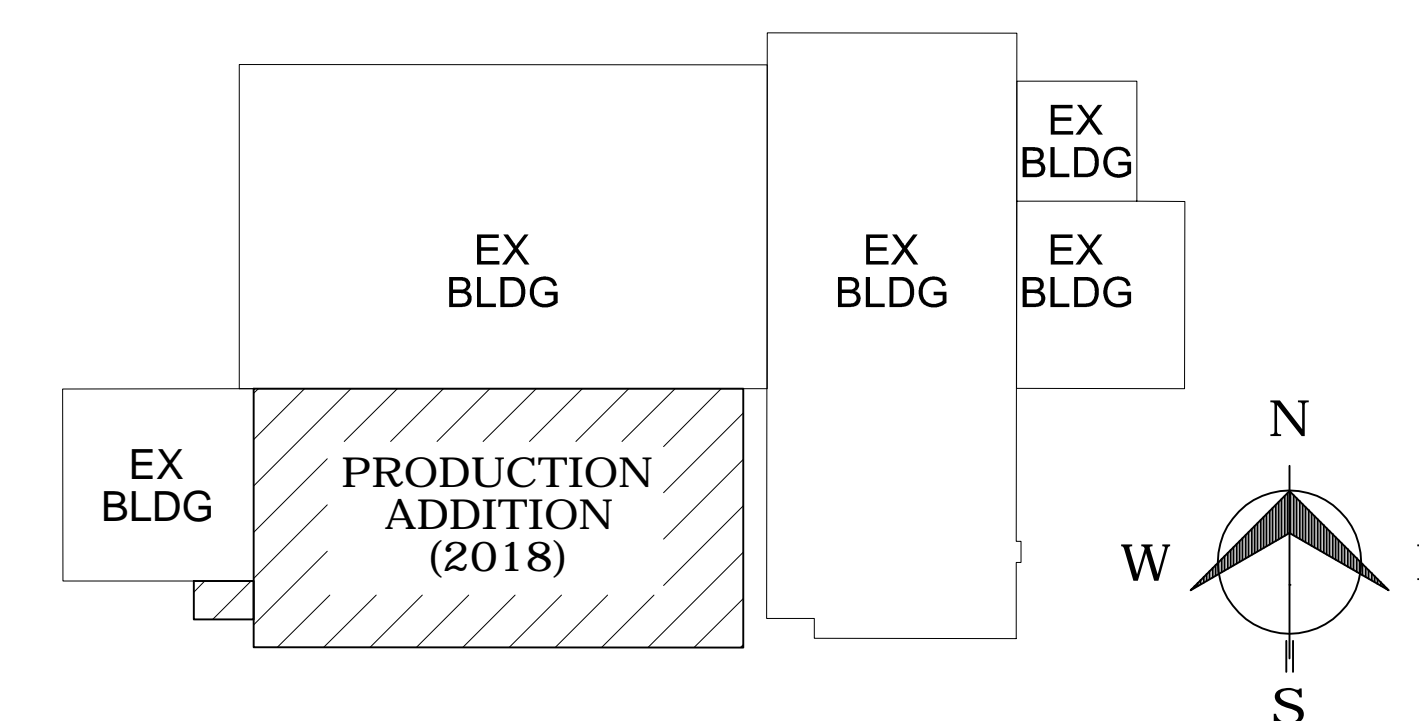
- USE AND OCCUPANCY CLASSIFICATION:**
LOW-HAZARD FACTORY AND INDUSTRIAL; F-2 LOW HAZARD (PER SEC 306.3)
- TYPE OF CONSTRUCTION:**
TYPE IIB NONCOMBUSTIBLE (PER SEC 602, SEC 603, TABLE 601)
- CODE ALLOWANCES:**
FACTORY AND INDUSTRIAL F-2; TYPE IIB:
a. ALLOWABLE STORIES (PER SECTION 507.5); 2 SPRINKLED
b. MAX HEIGHT ABOVE GRADE (PER TABLE 504.3); 75 SPRINKLED
c. ALLOWABLE S.F. (PER SECTION 507.5); UNLIMITED (SPRINKLED)
- FIRE PROTECTION:**
FULLY SPRINKLED (PER SEC 903, SEC 903.2.9, SEC 903.2.9.1) ONE STORY.
PORTABLE FIRE EXTINGUISHERS REQUIRED (906).
- EGRESS**
FLOOR AREA PER OCCUPANT (TABLE 1004.1.2); 100 S.F.
CORRIDOR WIDTH 44 INCHES MIN PER (TABLE 1020.2)
MAX EGRESS DISTANCE (PER TABLE 1017.2); 400'-0" SPRINKLED
MAXIMUM OCCUPANT LOAD BASED ON CODE; 219
ACTUAL OCCUPANT LOAD BASED ON LARGEST SHIFT; 160
- ACCESSIBILITY: (CHAPTER 11)**
BARRIER FREE ACCESS PROVIDE FOR PHYSICAL, SOUND AND SIGHT IMPAIRMENTS. ALL DOOR HARDWARE SHALL MEET FOR BARRIER FREE ACCESS AS CALLED FOR IN CHAPTER 11, SECTION 1109.13 AND ICC/ANSI 117.1
- PLUMBING FIXTURES: (TABLE 403.1 MPC)**
STORAGE:
WATER CLOSETS: MALES : 1 PER 100
FEMALES : 1 PER 100
LAVATORIES: MALES : 1 PER 100
FEMALES : 1 PER 100
SERVICE SINKS: 1 PER FACILITY

DRAWING INDEX:

CO1 COVER SHEET
C-1 PROJECT LAYOUT
C-2 SITE LAYOUT
A-1 ELEVATION
A-2 FLOOR PLAN
MP-1 MECHANICAL AND PLUMBING
E-1 ELECTRICAL
F-1 FOUNDATION
D-1 SECTIONS AND DETAILS

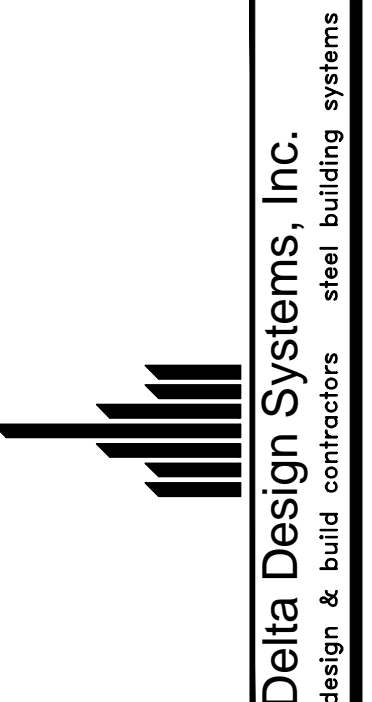
PRE-ENGINEERED METAL BUILDING:

AMERICAN BUILDING COMPANY



JOB NUMBER:
1819

8240 Stadium Drive
Kalamazoo, Michigan 49009
Phone: (269) 353-7800
Fax: (269) 353-7900



NORTH

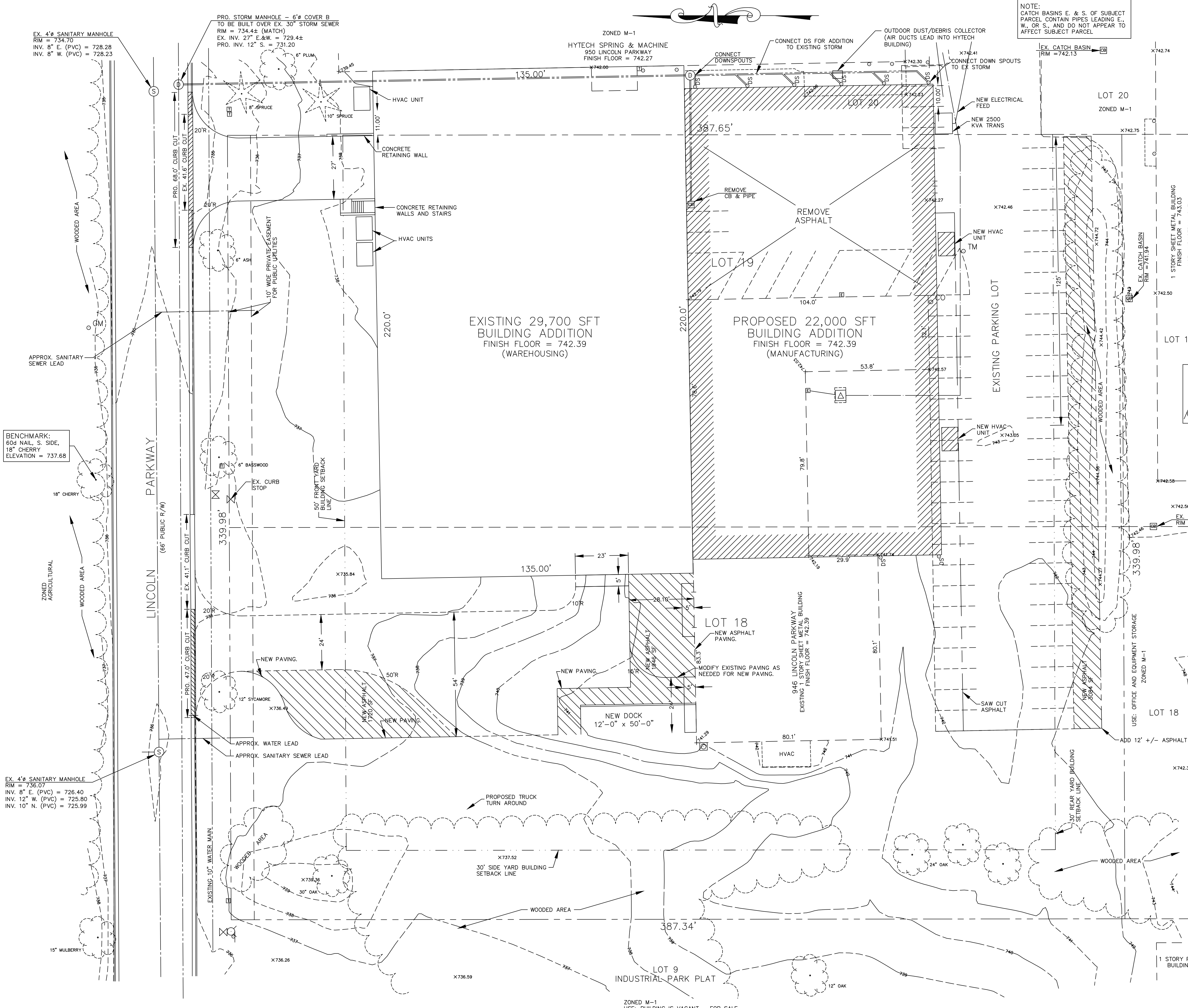
HYTECH SPRING AND MACHINE

950 LINCOLN PARKWAY
PLAINWELL, MI 49080

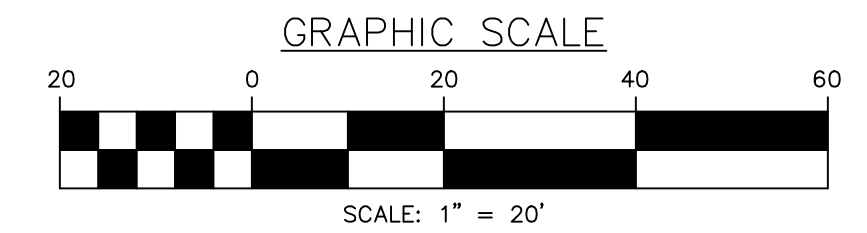
REVISION:
FOR PERMITS
DATE: 23 AUGUST 2018

SHEET NO.:

CO1



NOTE:
CATCH BASINS E. & S. OF SUBJECT PARCEL CONTAIN PIPES LEADING E., W., OR S., AND DO NOT APPEAR TO AFFECT SUBJECT PARCEL.



- LEGEND**
- = EXISTING CONCRETE CURB & GUTTER
 - = EXISTING EDGE OF ASPHALT
 - = EXISTING EDGE OF CONCRETE
 - = EXISTING BUILDING LINE
 - = EXISTING TREE LINE
 - = EXISTING FENCE LINE
 - = EXISTING SANITARY SEWER LINE
 - = EXISTING STORM SEWER LINE
 - = EXISTING GROUND CONTOUR LINE
 - = APPROXIMATE EXISTING BURIED ELECTRIC
 - = PROPERTY LINE
 - = PROPOSED EDGE OF ASPHALT
 - = PROPOSED EDGE OF CONCRETE
 - = PROPOSED BUILDING LINE
 - = PROPOSED STORM SEWER LINE
 - = PROPOSED GROUND CONTOUR LINE
 - ▨ = PROPOSED ASPHALT AREA
 - ▨ = PROPOSED CONCRETE AREA
 - = PROPOSED LEACHING BASIN
 - ⊙ = PROPOSED STORM MANHOLE
 - = PROPOSED SPOT ELEVATION
 - ⊙ = EXISTING SPOT ELEVATION
 - ⊙ = EXISTING SANITARY MANHOLE
 - ⊙ = EXISTING SANITARY CLEAN-OUT
 - ⊙ = EXISTING GROUND TRANSFORMER
 - ⊙ = EXISTING ELECTRIC METER
 - ⊙ = EXISTING GAS WITNESS POST
 - ⊙ = EXISTING GAS METER
 - ⊙ = EXISTING TELEPHONE PEDESTAL
 - ⊙ = EXISTING FIBER OPTIC WITNESS POST
 - ⊙ = EXISTING WATER VALVE
 - ⊙ = EXISTING FIRE HYDRANT
 - ⊙ = EXISTING CATCH BASIN
 - ⊙ = EXISTING POST OR BOLLARD
 - ⊙ = EXISTING SIGN
 - ⊙ = EXISTING DECIDUOUS TREE
 - ⊙ = EXISTING CONIFEROUS TREE



TOTAL SITE INFORMATION:

SITE AREA: 338,795 SFT (7.77 AC)
 ZONING: M-1 CLASSIFICATION
 PROPOSED USE: WAREHOUSE/MANUFACTURING FACILITY
 OWNERS: HY-TECH SPRING AND MACHINE
 950 LINCOLN PARKWAY
 PLAINWELL, MI 49080

SITE DRAINAGE:

DRAINAGE FROM EXISTING BUILDING AND PARKING AREA IS TO REMAIN UNCHANGED THE "NEW" ROOF AREAS WILL DISCHARGE TO GROUND SURFACE PRIOR TO DRAINING TO THE MUNICIPAL SYSTEM.

PARKING:

REQUIRED PARKING (INCLUDES EXIST. FACILITIES AND PROPOSED WAREHOUSE):
 1 SPACE FOR EVERY 350 SFT OF OFFICE = 3,200 SFT / 350 = 9.1 SPACES
 1 SPACE FOR EVERY 2000 SFT WAREHOUSE = 63,108 SFT / 2,000 = 32.5 SPACES
 1 SPACE FOR EVERY 650 SFT OF GROSS FLOOR AREA = 36,682 SFT / 650 = 59.5 SPACES
 TOTAL REQUIRED SPACES = 101.1 SPACES => 101 SPACES
 ACTUAL SPACES PROVIDED => 138

LEGAL DESCRIPTION:

LOTS 18 AND 19, INDUSTRIAL PARK PLAT NO. 2, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 29, TOWN 11 NORTH, RANGE 11 WEST, CITY OF PLAINWELL, ALLEGAN COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 12 OF PLATS, PAGES 47 AND 48, ALLEGAN COUNTY RECORDS, EXCEPT THE SOUTH 272.25 FEET THEREOF. CONTAINING 3.02 ACRES MORE OR LESS.

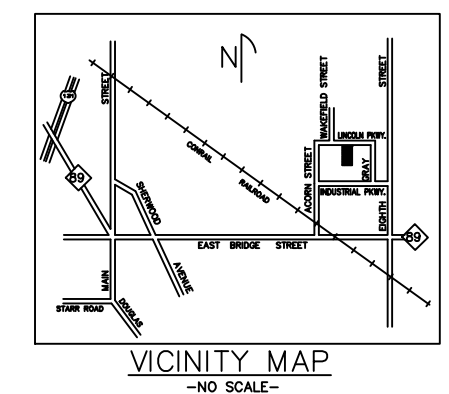
SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD OR OTHERWISE.

NOTE: THIS IS NOT A BOUNDARY SURVEY. PARCEL DIMENSIONS SHOWN ARE BASED ON MEASUREMENTS MADE BETWEEN FOUND MONUMENTATION WHICH HAS NOT BEEN VERIFIED

UTILITY STATEMENT:

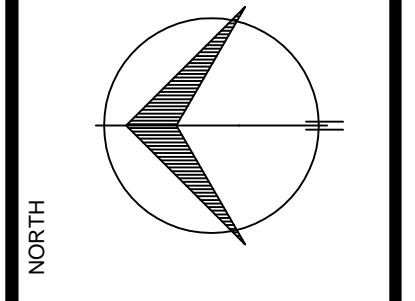
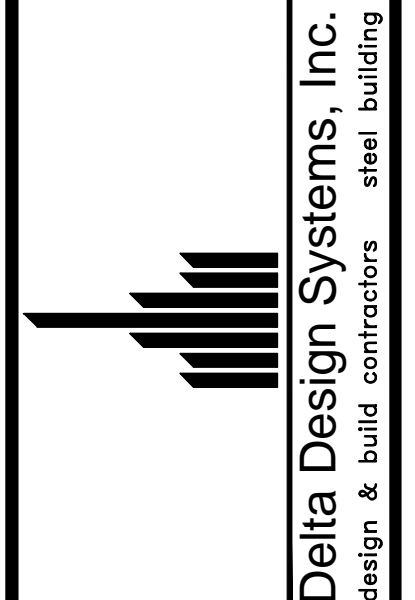
THE EXISTING UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATIONS INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

NEW ASPHALT:
 3084 PARKING
 1946 DOCK AREA
 1720 DOCK TURN AROUND



JOB NUMBER: 1819

8240 Stadium Drive
 Kalamazoo, Michigan 49009
 phone: (269) 353-7800
 fax: (269) 353-7900

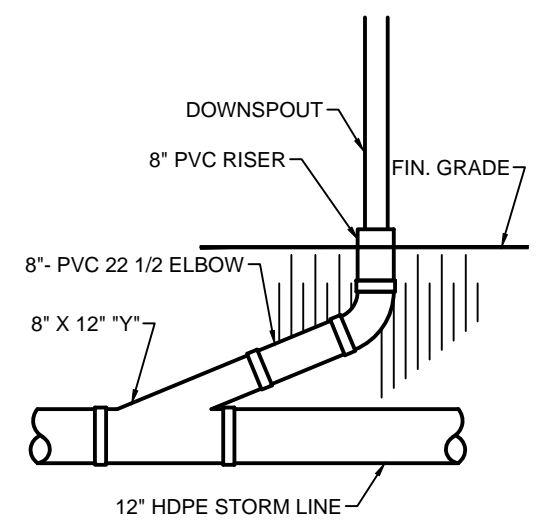


HY-TECH SPRING & MACHINE

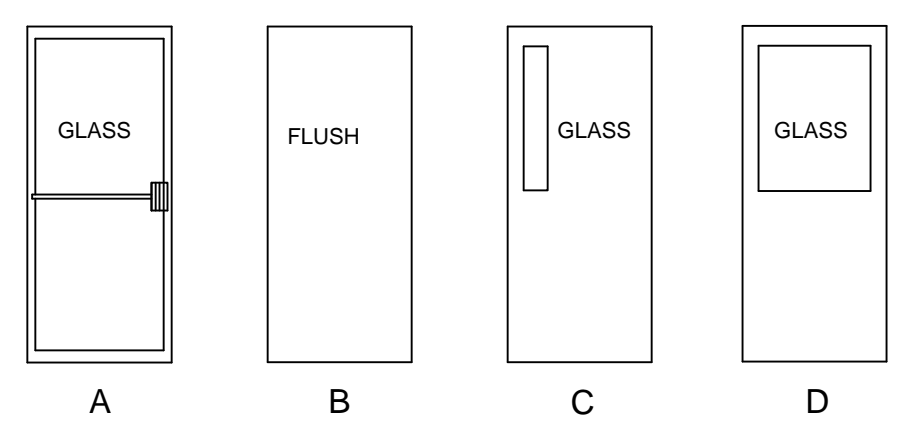
950 LINCOLN PARKWAY
 PLAINWELL, MICHIGAN 49080

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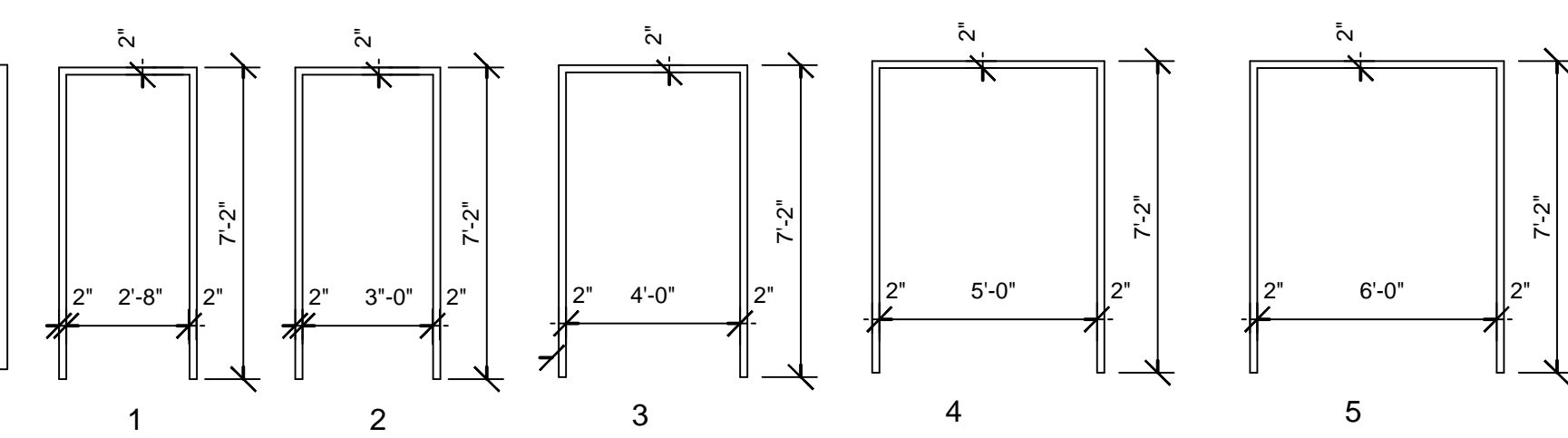
C-1



DOWNSPOUT AND DRAIN
SCALE: NOT TO SCALE



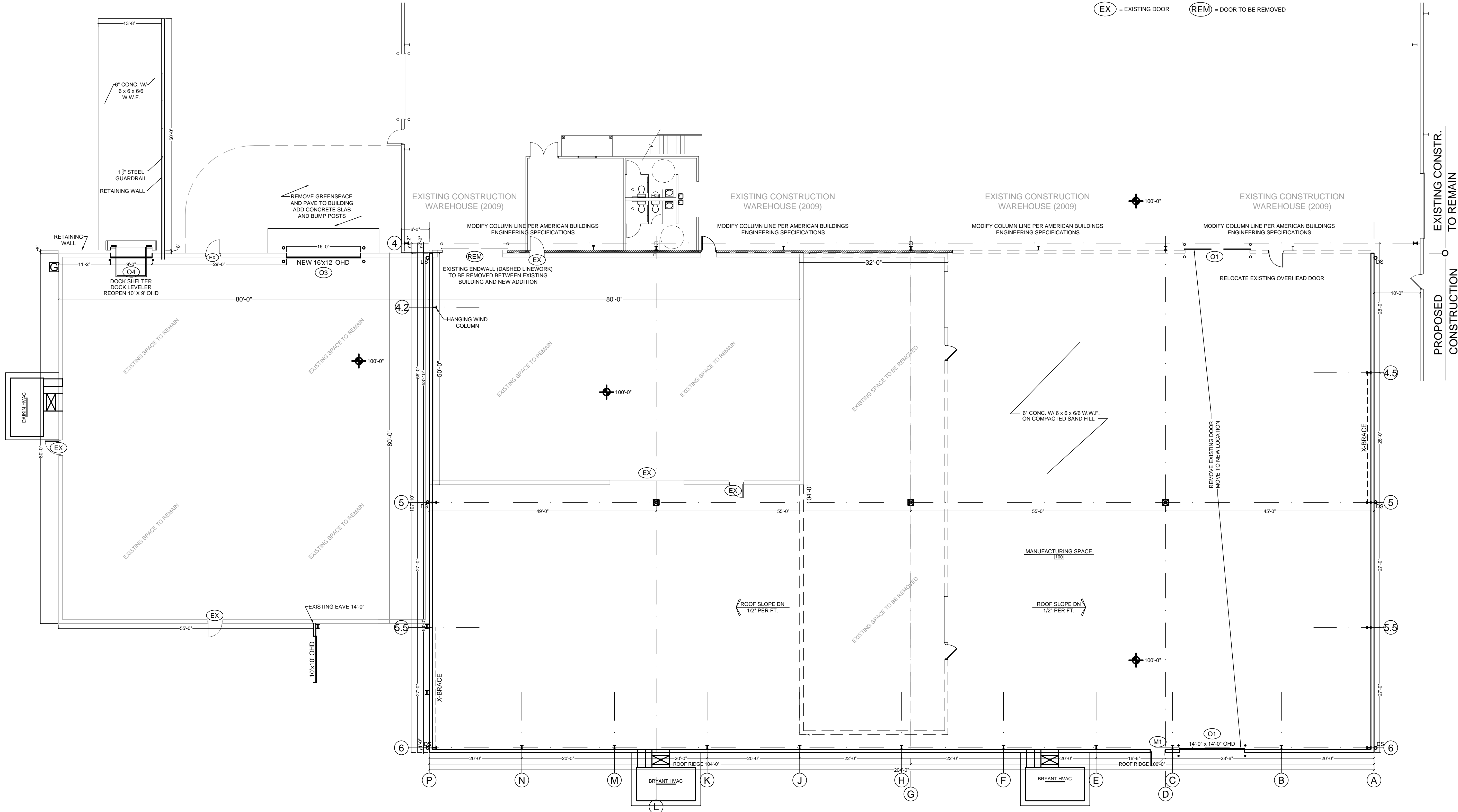
DOOR TYPES
SCALE: NOT TO SCALE



FRAME TYPES
SCALE: NOT TO SCALE

DOOR SCHEDULE													
DOOR NUMBER	DOORWAY DIM.	DOOR			FRAME		FIRE-UL LABEL	CLOSER	THRESHOLD	INSUL WINDOW	WEATHER STRIP	PANIC HARDWARE	REMARKS
		SWING	TYPE	MATL	TYPE	MATL							
O1	14'-0" X 14'-0"	OHD	OHD	METAL	OHD	METAL							ELECTRIC OPENER (EXISTING, MOVED)
O2	10'-0" X 10'-0"	OHD	OHD	METAL	OHD	METAL							MANUAL OPENER
O3	16'-0" X 12'-0"	OHD	OHD	METAL	OHD	METAL							ELECTRIC OPENER
O4	8'-0" X 9'-0"	OHD	OHD	METAL	OHD	METAL							MANUAL OPENER, DOCK SEAL
M1	3'-0" X 7'-0" X 1 3/4"	LH	B	METAL	2	METAL							LEVER LOCKSET W/ PANIC HARDWARE
M2	3'-0" X 7'-0" X 1 3/4"	RH	B	METAL	2	METAL							

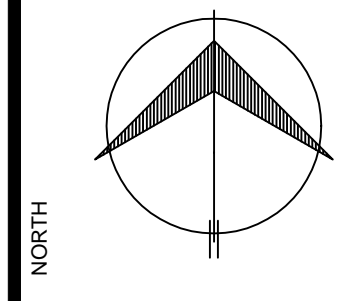
(EX) = EXISTING DOOR (REM) = DOOR TO BE REMOVED



EXISTING CONSTR. TO REMAIN
PROPOSED CONSTRUCTION

HYTECH SPRING AND MACHINE

950 LINCOLN PKWY.
PLAINWELL, MI 49080



Delta Design Systems, Inc.
design & build contractors steel building systems

8240 Stadium Drive
Kalamazoo, Michigan 49009
phone: (269) 353-7800
fax: (269) 353-7900

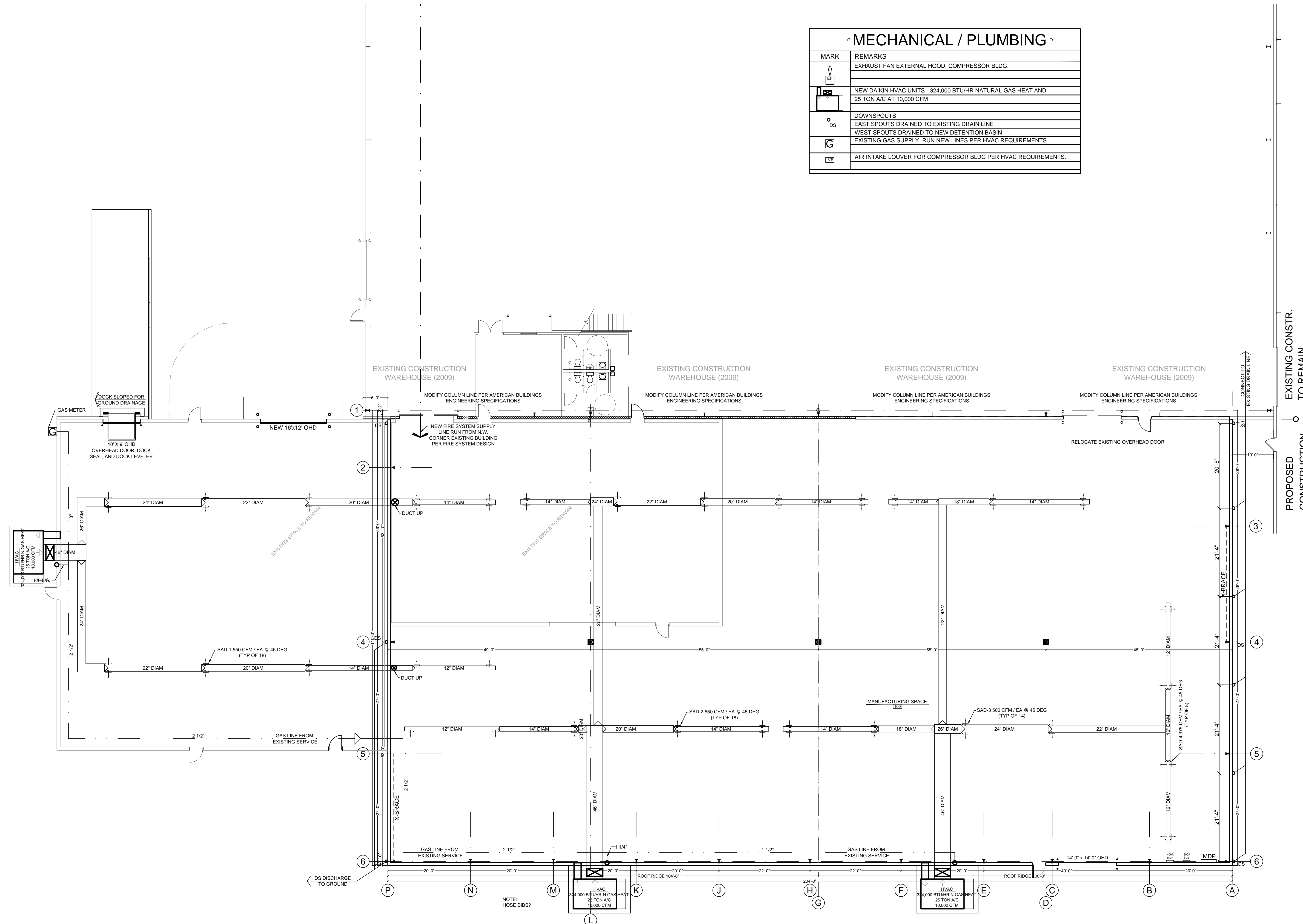
1819

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FLOOR PLAN
SCALE: 3/32" = 1'-0"

A-2

MECHANICAL / PLUMBING	
MARK	REMARKS
EF	EXHAUST FAN EXTERNAL HOOD, COMPRESSOR BLDG.
	NEW DAIKIN HVAC UNITS - 324,000 BTU/HR NATURAL GAS HEAT AND 25 TON A/C AT 10,000 CFM
DS	DOWNSPOUTS EAST SPOUTS DRAINED TO EXISTING DRAIN LINE WEST SPOUTS DRAINED TO NEW DETENTION BASIN
G	EXISTING GAS SUPPLY. RUN NEW LINES PER HVAC REQUIREMENTS.
LYR	AIR INTAKE LOUVER FOR COMPRESSOR BLDG PER HVAC REQUIREMENTS.



NOTE:
HOSE BIBS?

MECHANICAL AND PLUMBING PLAN
SCALE: 1/8" = 1'-0"

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HY-TECH SPRING & MACHINE

950 LINCOLN PARKWAY
PLAINWELL, MICHIGAN 49080

JOB NUMBER:
1819
8240 Stadium Drive
Kalamazoo, Michigan 49009
phone: (269) 353-7800
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PROPOSED CONSTRUCTION

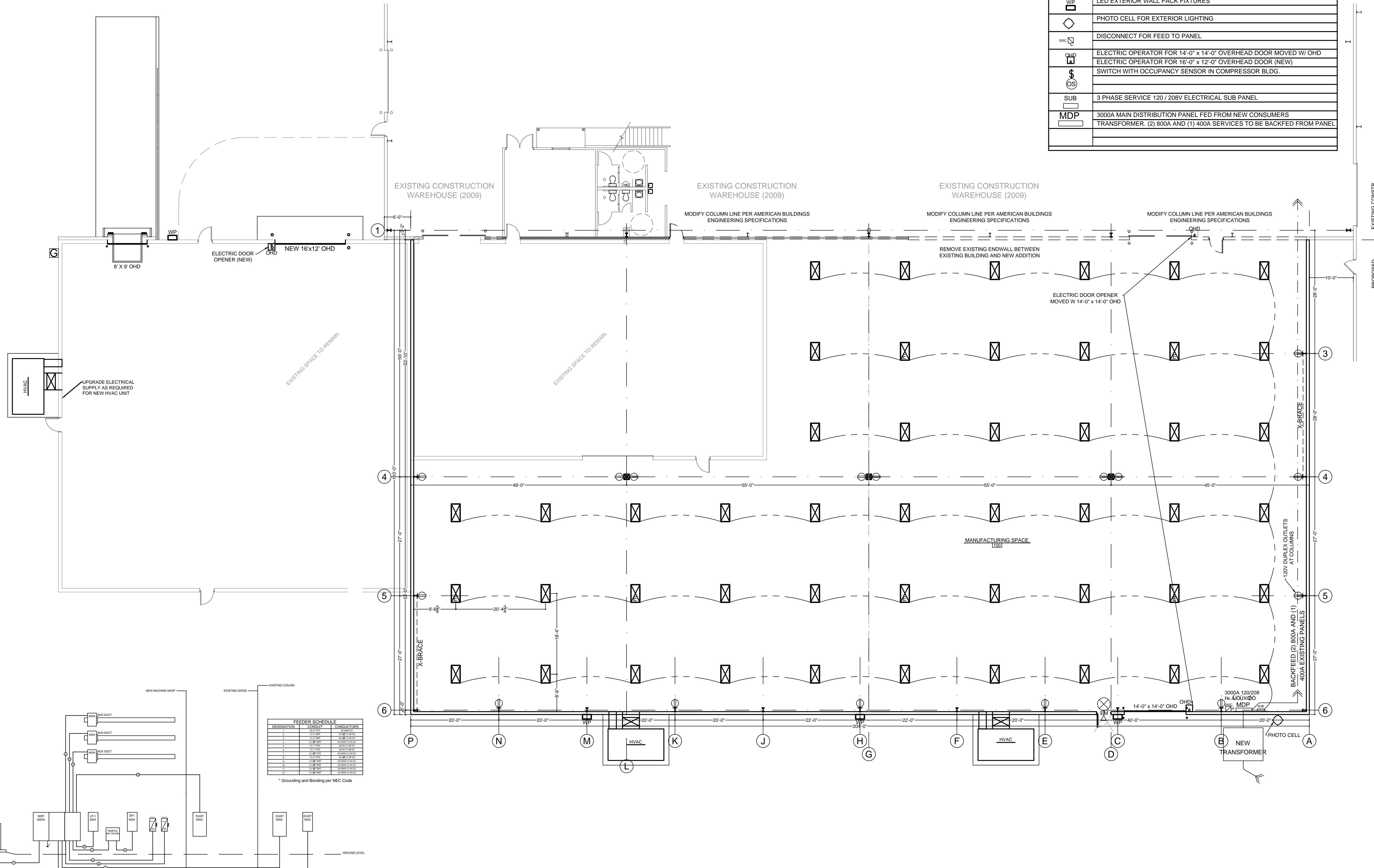
EXISTING CONSTRUCTION

TO REMAIN

Delta Design Systems, Inc.

design & build contractors steel building systems

ELECTRICAL EQUIP	
MARK	REMARKS
⊗	LED HIGH BAY FIXTURES / LED RECESSED 2x4 FIXTURES IN FINISHED ROOMS
⊗	E - FIXTURES MARKED W/ 'E' HAVE EMERGENCY BATTERY BACKUP
EF	EXHAUST FAN FOR COMPRESSOR BLDG.
GFCI	DUPLEX OUTLET W/ GFCI
⊕	DUPLEX OUTLET
⊗	EXIT / EMERGENCY FIXTURES W/ EXTERIOR REMOTE EGRESS FIXTURES
WP	LED EXTERIOR WALL PACK FIXTURES
◇	PHOTO CELL FOR EXTERIOR LIGHTING
DISC	DISCONNECT FOR FEED TO PANEL
OHD	ELECTRIC OPERATOR FOR 14'-0" x 14'-0" OVERHEAD DOOR MOVED W/ OHD
OHD	ELECTRIC OPERATOR FOR 16'-0" x 12'-0" OVERHEAD DOOR (NEW)
OS	SWITCH WITH OCCUPANCY SENSOR IN COMPRESSOR BLDG.
SUB	3 PHASE SERVICE 120 / 208V ELECTRICAL SUB PANEL
MDP	3000A MAIN DISTRIBUTION PANEL FED FROM NEW CONSUMERS TRANSFORMER. (2) 800A AND (1) 400A SERVICES TO BE BACKFED FROM PANEL



DESIGNATION	CONDUIT	CONDUCTORS
1	1" EMT	3# 12 AWG THHN
2	1" EMT	3# 12 AWG THHN
3	1" EMT	3# 12 AWG THHN
4	1" EMT	3# 12 AWG THHN
5	1" EMT	3# 12 AWG THHN
6	1" EMT	3# 12 AWG THHN
7	1" EMT	3# 12 AWG THHN
8	1" EMT	3# 12 AWG THHN
9	1" EMT	3# 12 AWG THHN
10	1" EMT	3# 12 AWG THHN
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12	1" EMT	3# 12 AWG THHN
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93	1" EMT	3# 12 AWG THHN
94	1" EMT	3# 12 AWG THHN
95	1" EMT	3# 12 AWG THHN
96	1" EMT	3# 12 AWG THHN
97	1" EMT	3# 12 AWG THHN
98	1" EMT	3# 12 AWG THHN
99	1" EMT	3# 12 AWG THHN
100	1" EMT	3# 12 AWG THHN

ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

JOB NUMBER: 1819

8240 Stadium Drive
 Kalamazoo, Michigan 49009
 phone: (269) 353-7800
 fax: (269) 353-7900

Delta Design Systems, Inc.
 design & build contractors steel building systems

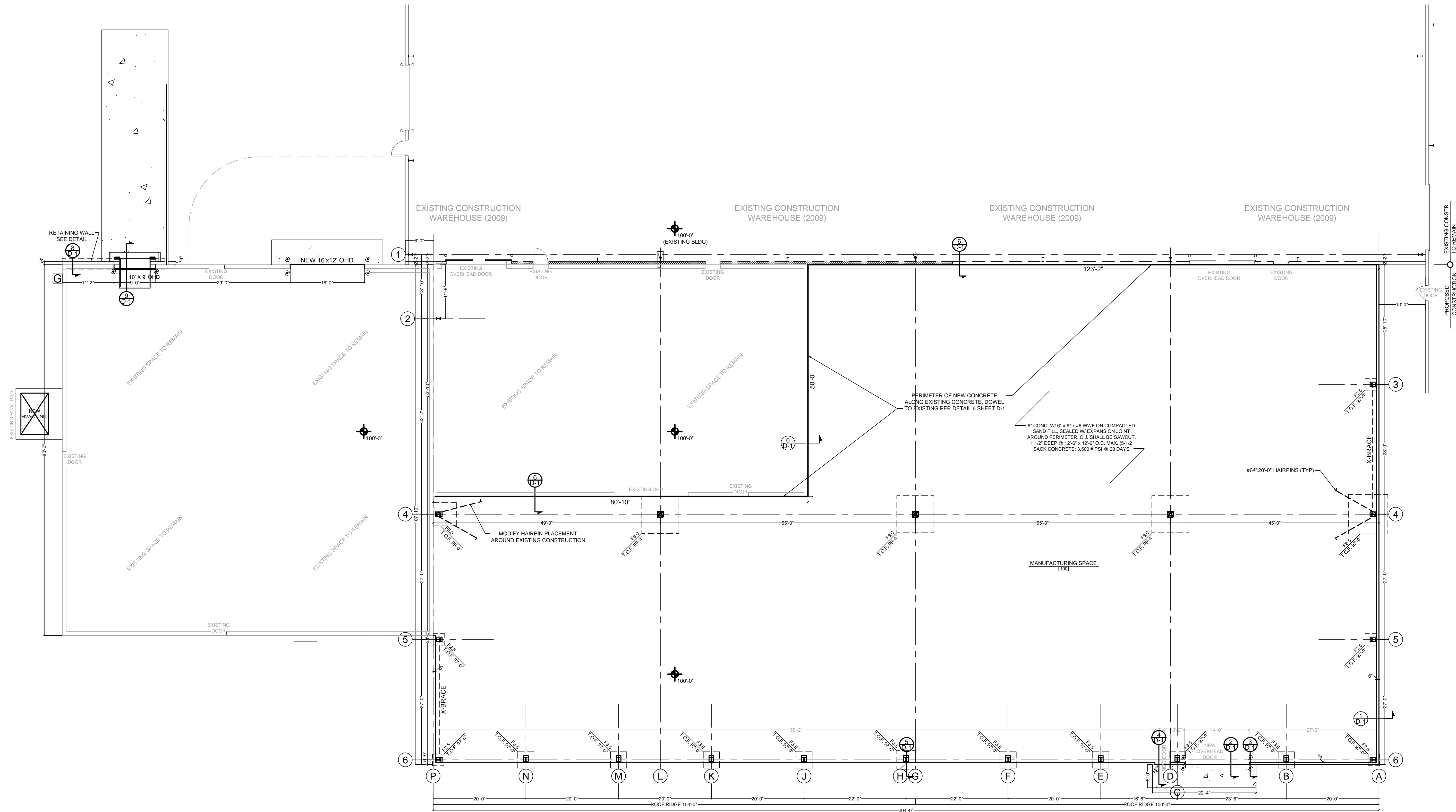
REVISION:
 FOR PERMITS

DATE:
 23 AUGUST 2018

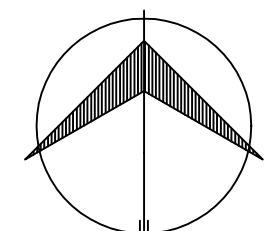

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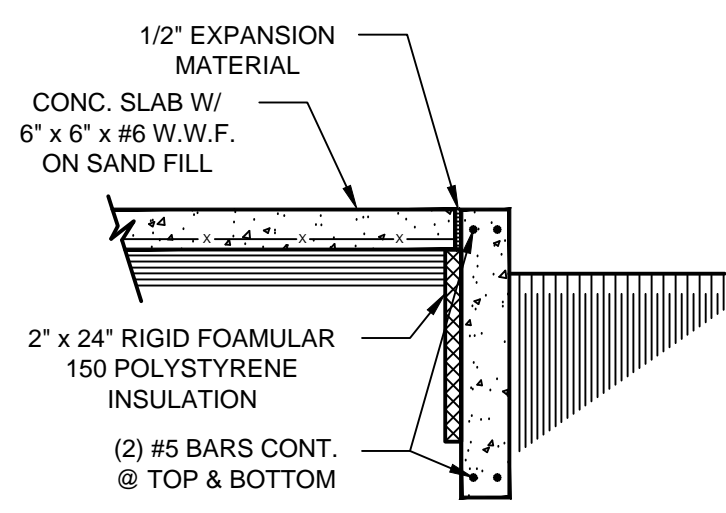
HYTECH SPRING AND MACHINE
 950 LINCOLN PKWY,
 PLAINWELL, MI 49080

E-1

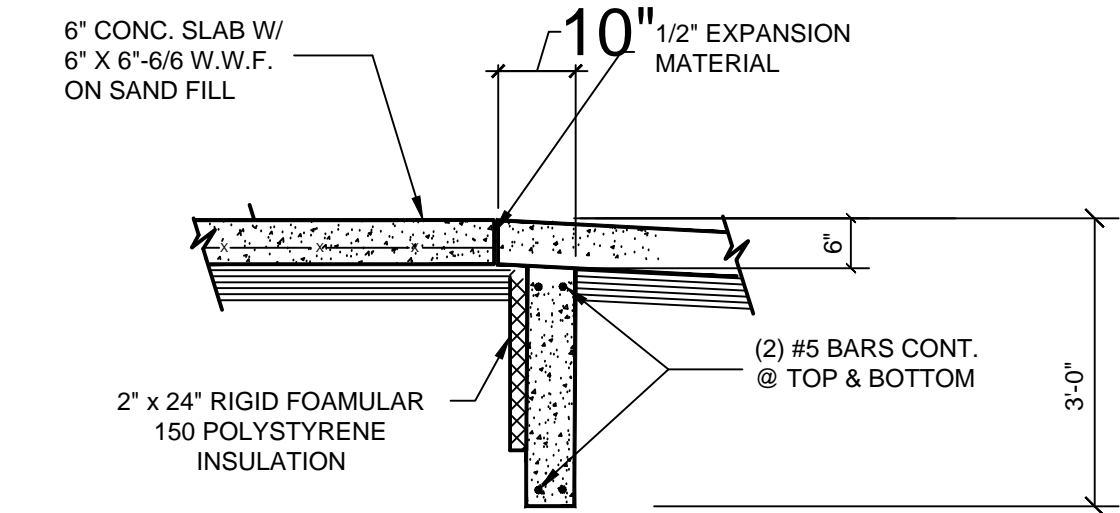


○ FOUNDATION PLAN ○
SCALE: 1/8" = 1'-0"

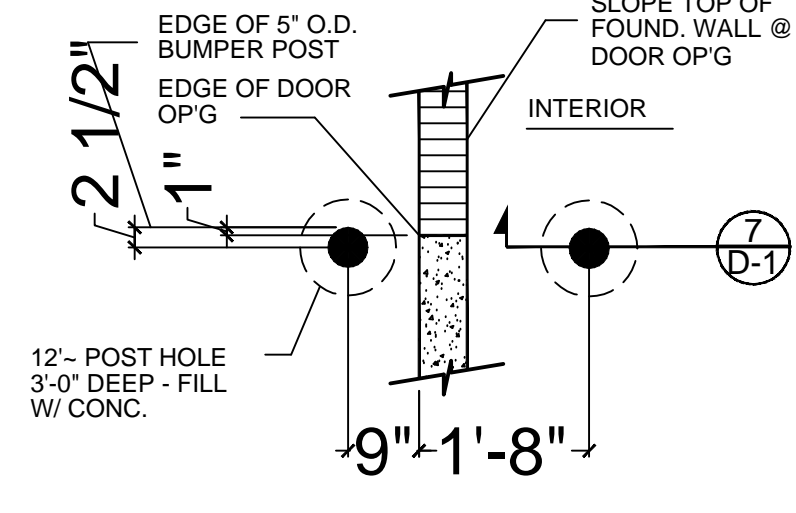
DATE: 08 MAR 2018 23 AUGUST 2018	REVISION: PRELIMINARY FOR PERMIT	SHEET NO.: F-1	<p>HYTECH SPRING AND MACHINE</p> <p>950 LINCOLN PKWY, PLAINWELL, MI 49080</p>
			 <p>Delta Design Systems, Inc. design & build contractors steel building systems</p>
● 8240 Stadium Drive ● Kalamazoo, Michigan 49009 ● phone: (269) 353-7800 ● fax: (269) 353-7900			JOB NUMBER: 1819



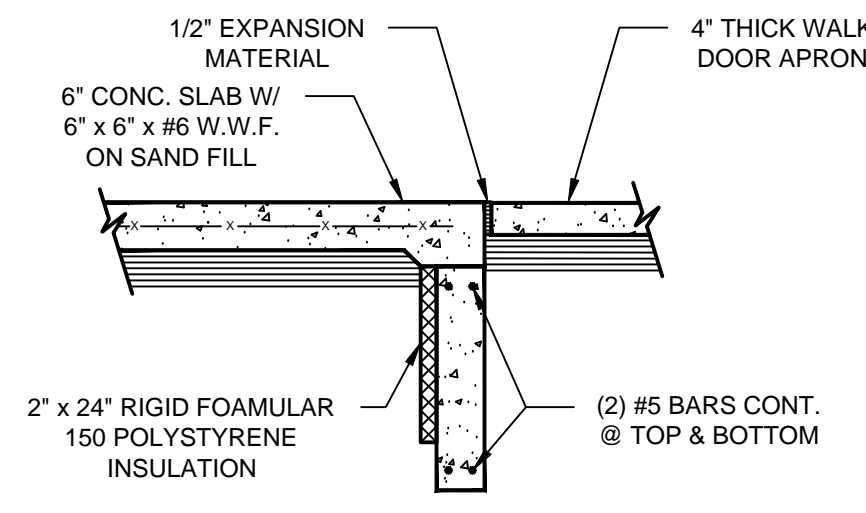
◦ FROST WALL ◦ 1
SCALE: 1/2" = 1'-0"



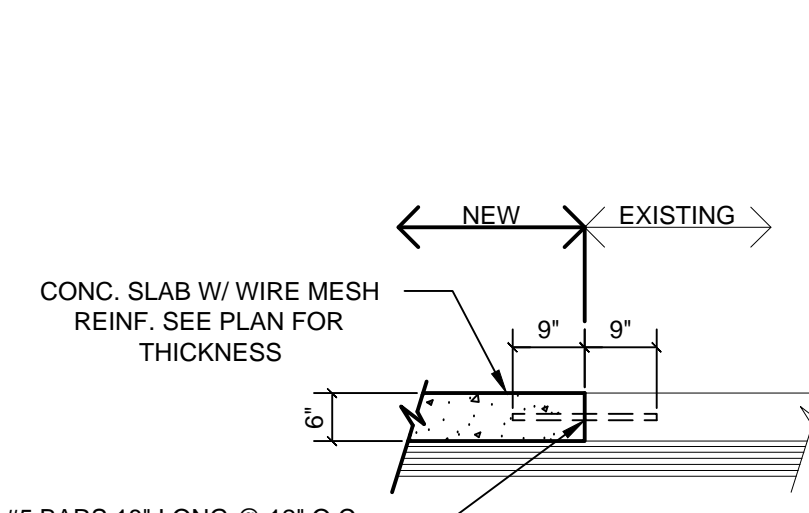
◦ OVER HEAD DOOR OPENING ◦ 2
SCALE: 1/2" = 1'-0"



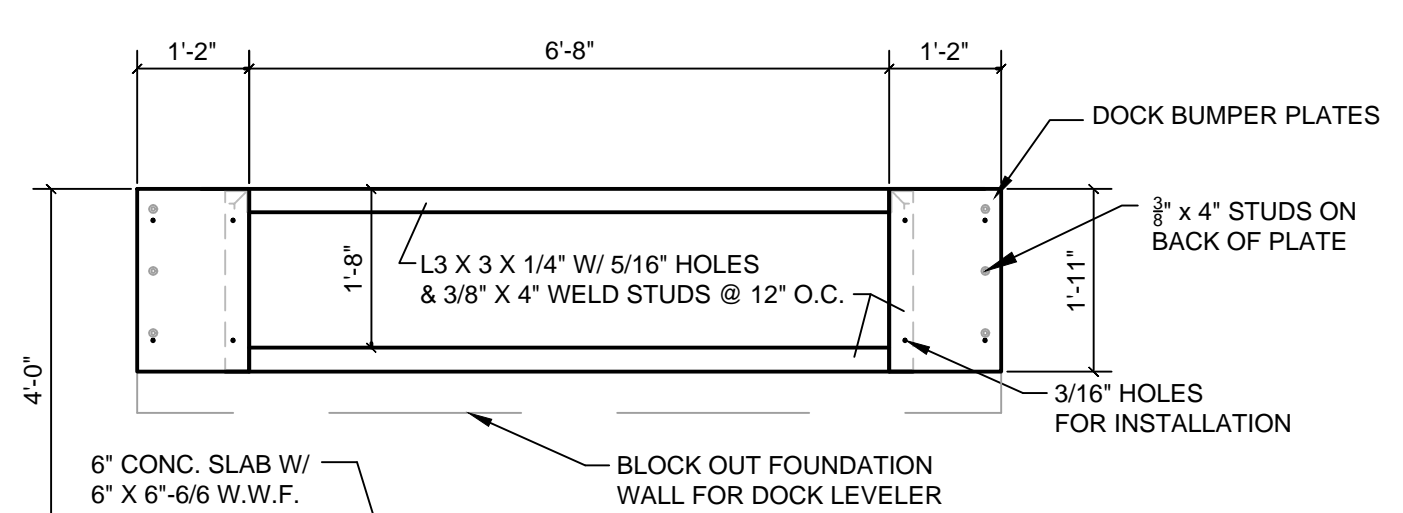
PLAN OF TYP.
◦ BUMPER POSTS ◦ 3
SCALE: 1/2" = 1'-0"



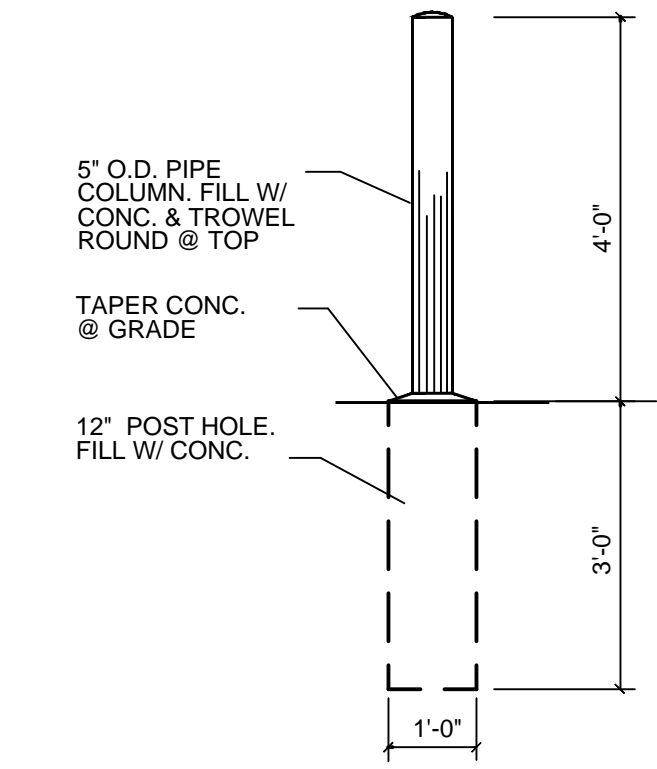
◦ MAN DOOR OPENING ◦ 4
SCALE: 1/2" = 1'-0"



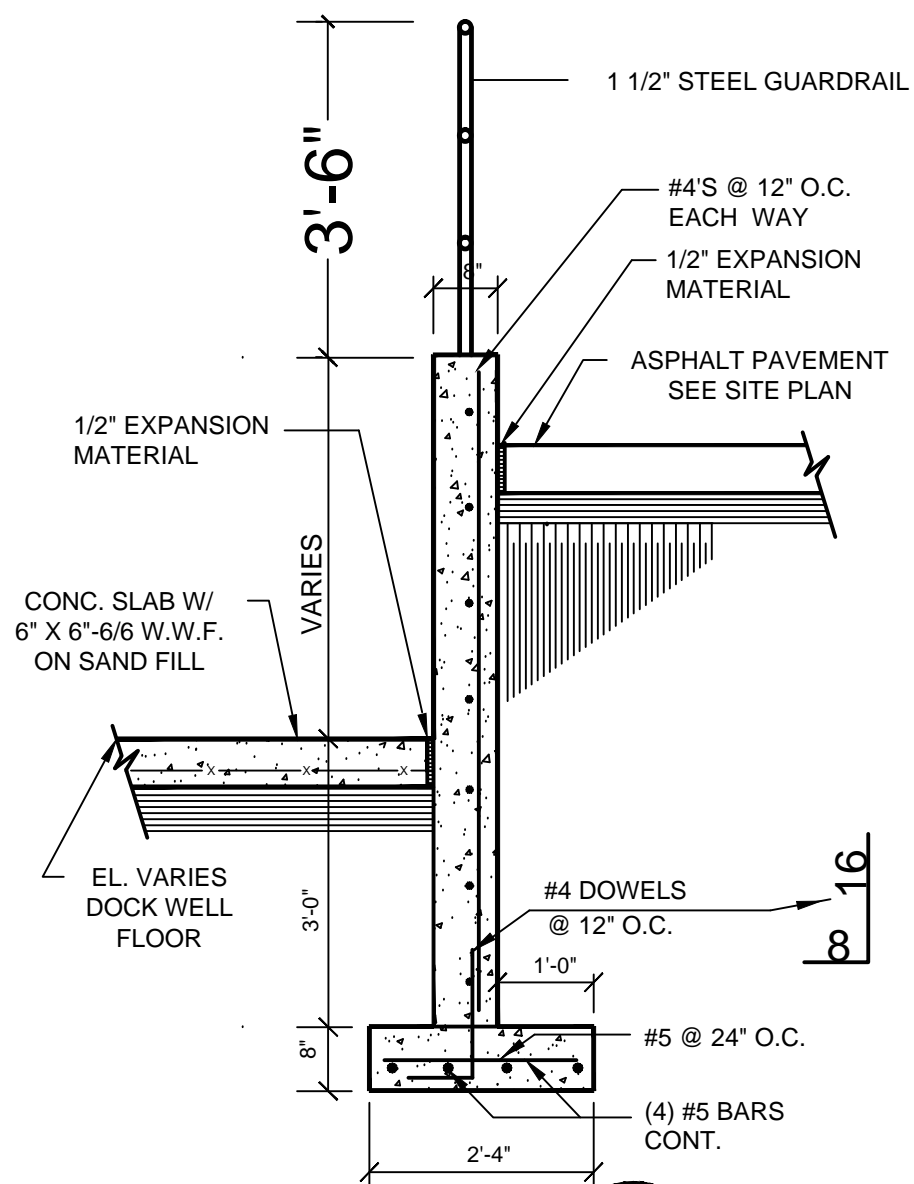
◦ OHD DOWEL JOINT ◦ 6
SCALE: 1/2" = 1'-0"



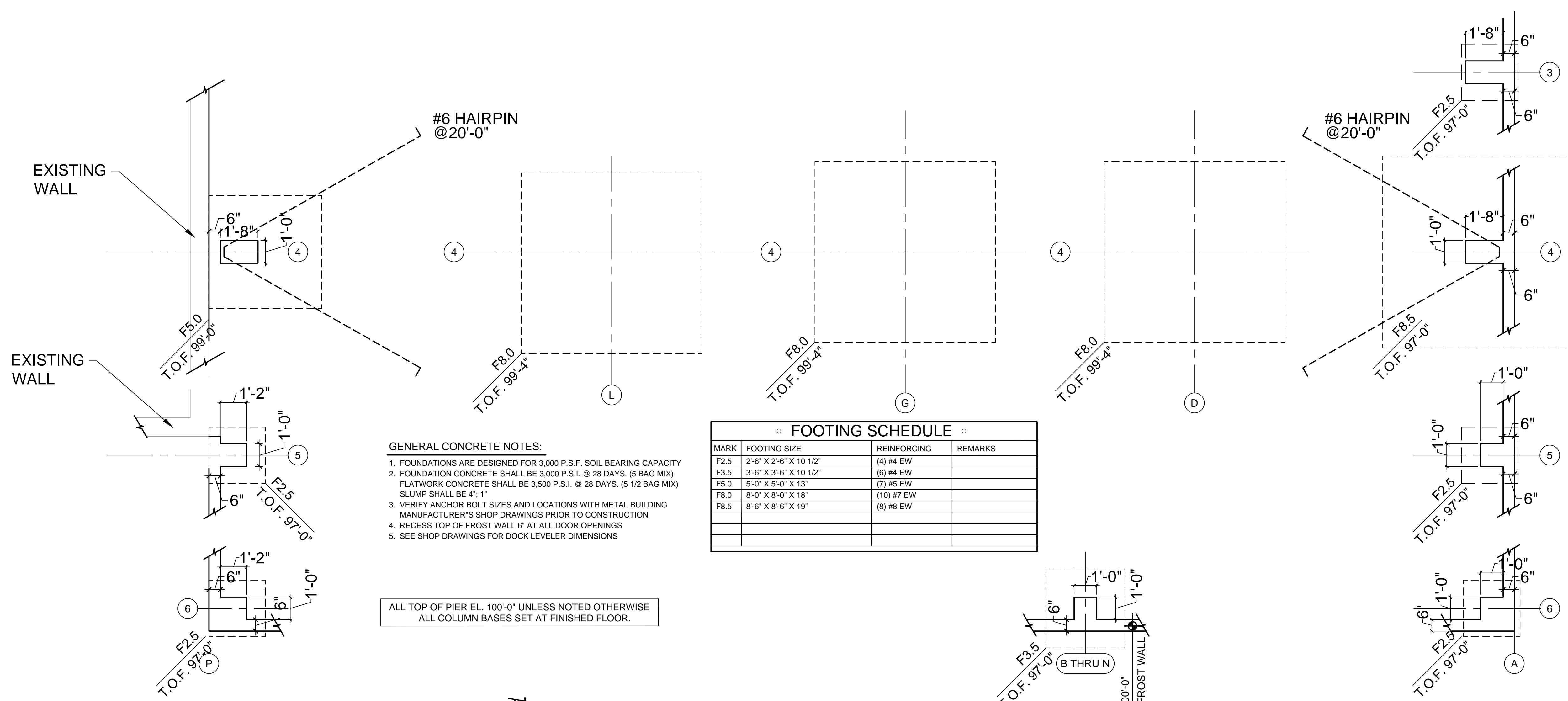
◦ DOCK BUMP ◦ 10
SCALE: 1/2" = 1'-0"



◦ BUMPER POST ◦ 7
SCALE: 1/2" = 1'-0"

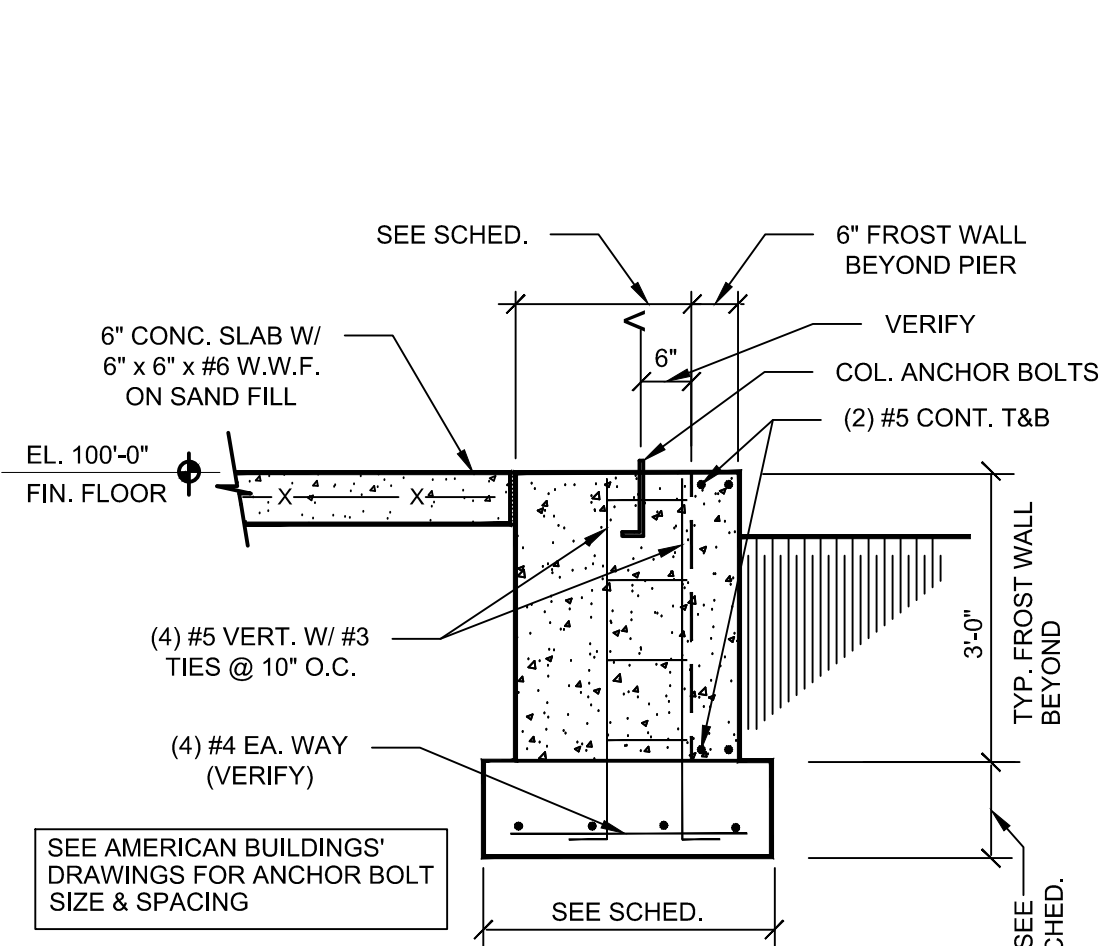


◦ TRUCK WELL ◦ 11
SCALE: 1/2" = 1'-0"

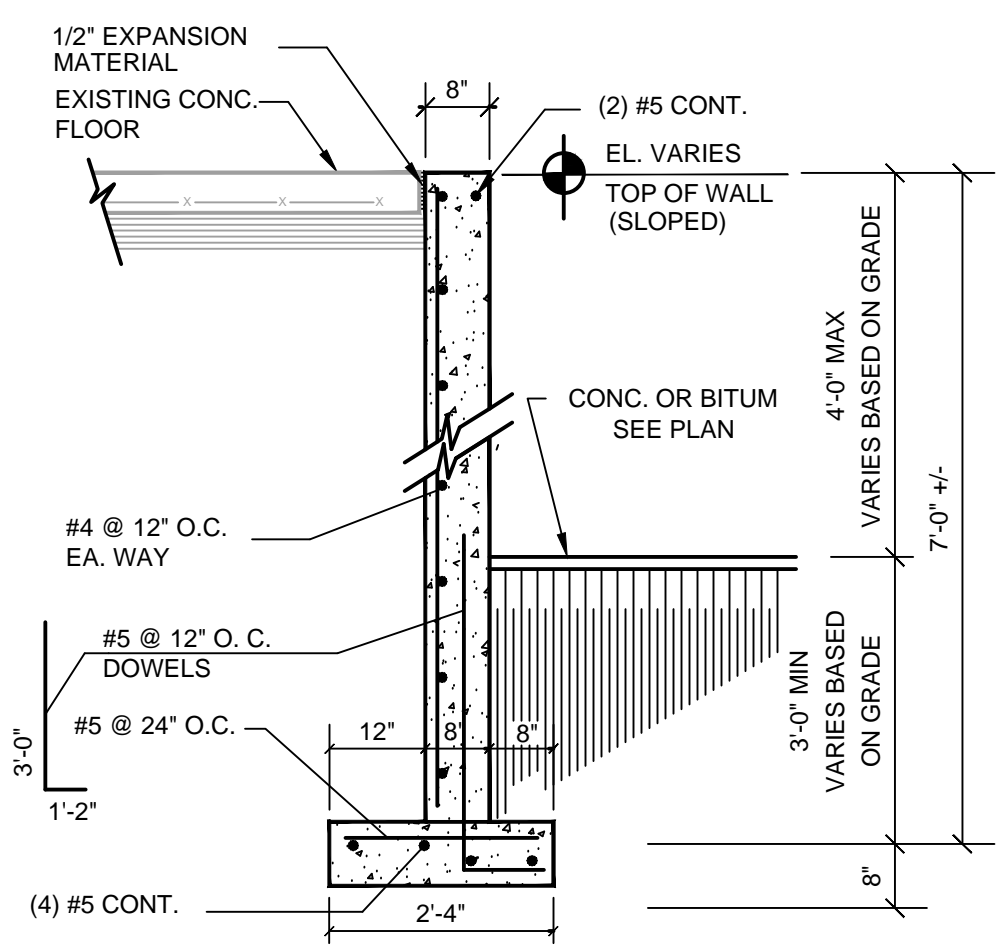


- GENERAL CONCRETE NOTES:**
- FOUNDATIONS ARE DESIGNED FOR 3,000 P.S.F. SOIL BEARING CAPACITY
 - FOUNDATION CONCRETE SHALL BE 3,000 P.S.I. @ 28 DAYS. (5 BAG MIX) FLATWORK CONCRETE SHALL BE 3,500 P.S.I. @ 28 DAYS. (5 1/2 BAG MIX) SLUMP SHALL BE 4"; 1"
 - VERIFY ANCHOR BOLT SIZES AND LOCATIONS WITH METAL BUILDING MANUFACTURER'S SHOP DRAWINGS PRIOR TO CONSTRUCTION
 - RECESS TOP OF FROST WALL 6" AT ALL DOOR OPENINGS
 - SEE SHOP DRAWINGS FOR DOCK LEVELER DIMENSIONS

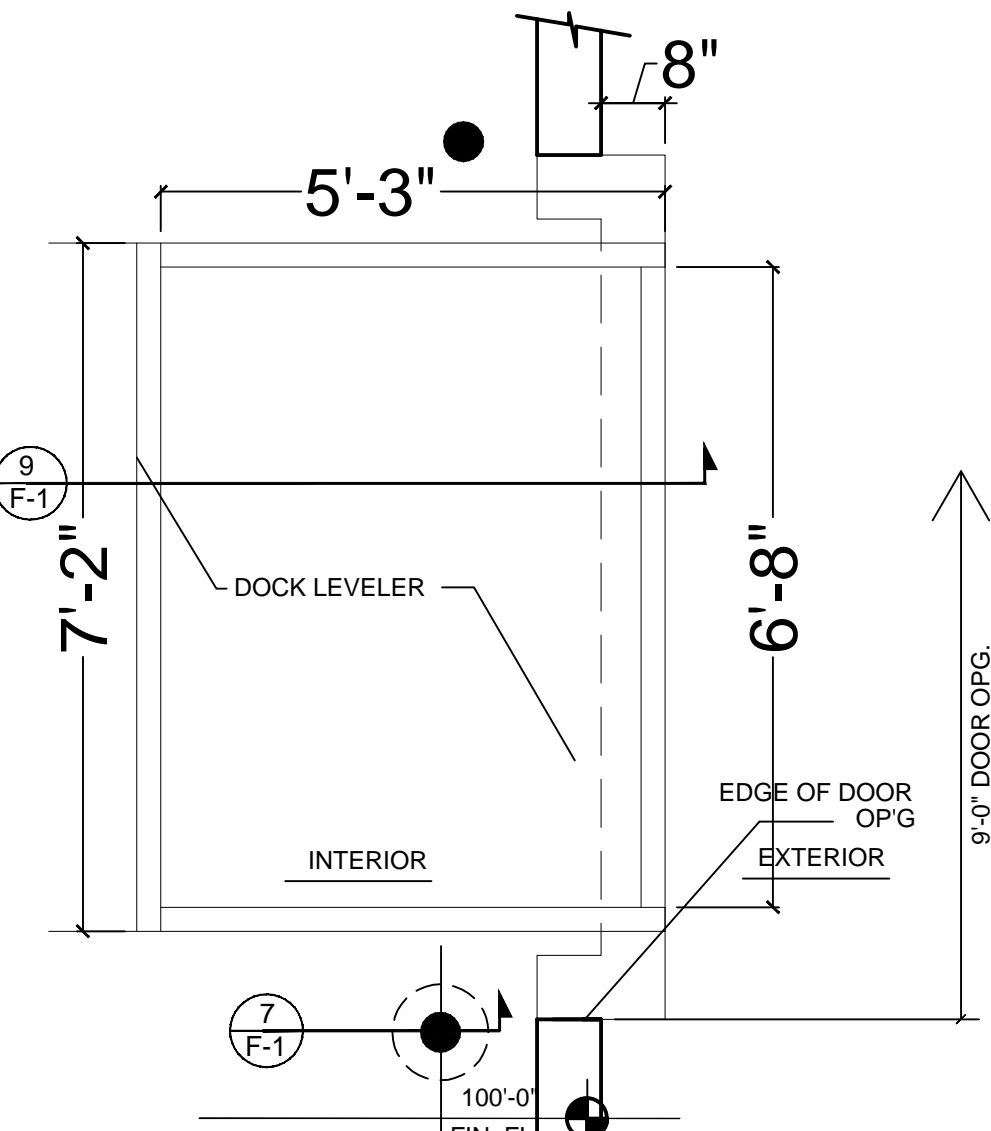
ALL TOP OF PIER EL. 100'-0" UNLESS NOTED OTHERWISE
ALL COLUMN BASES SET AT FINISHED FLOOR.



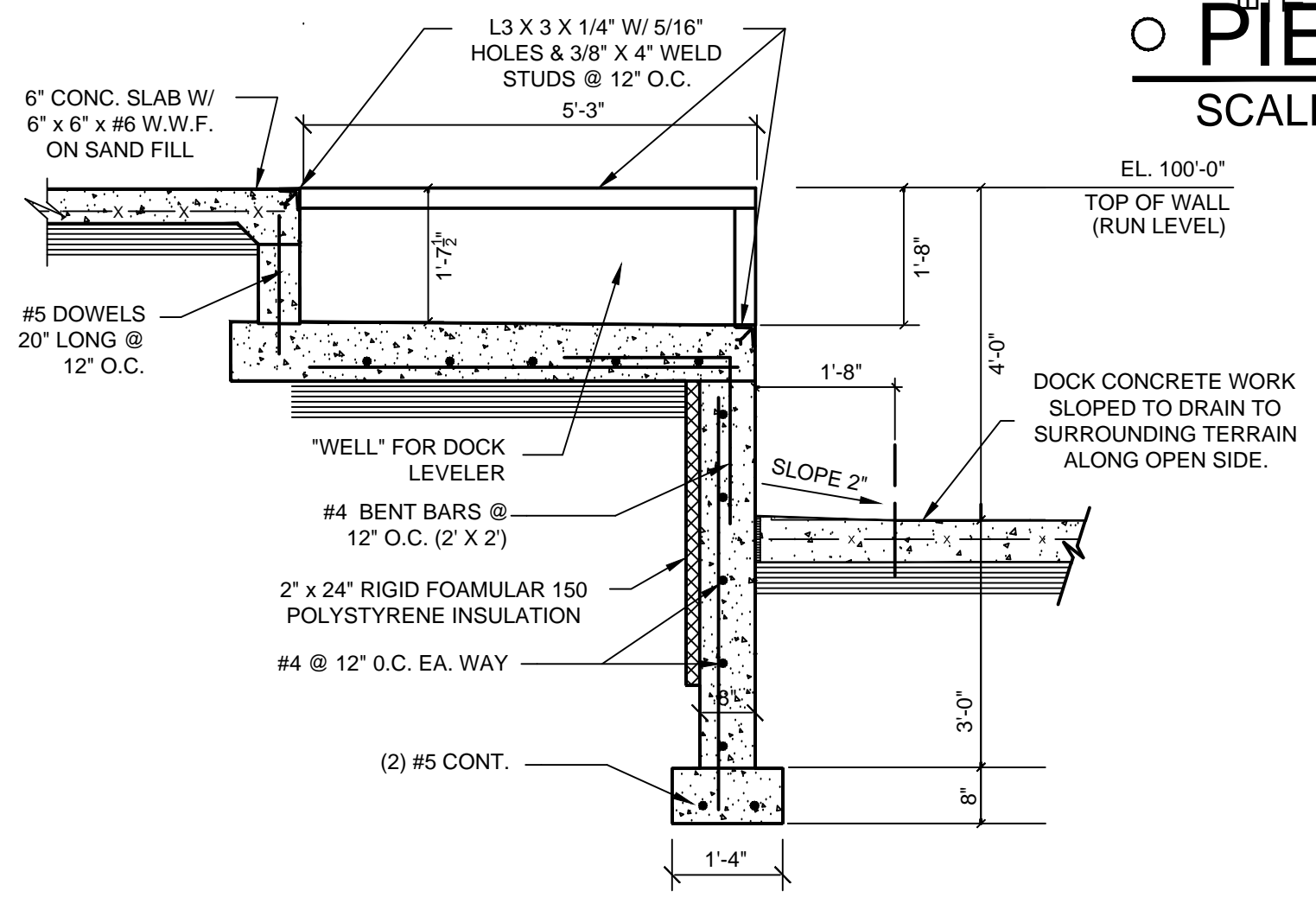
◦ PIER / FOOTING ◦ 5
SCALE: 1/2" = 1'-0"



◦ RETENTION WALL ◦ 8
SCALE: 1/2" = 1'-0"

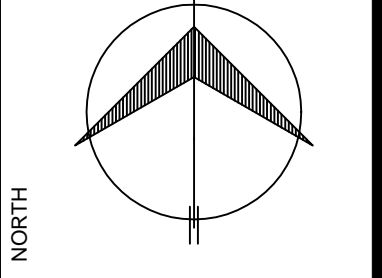


◦ LEVELER ◦ 9
SCALE: 1/2" = 1'-0"

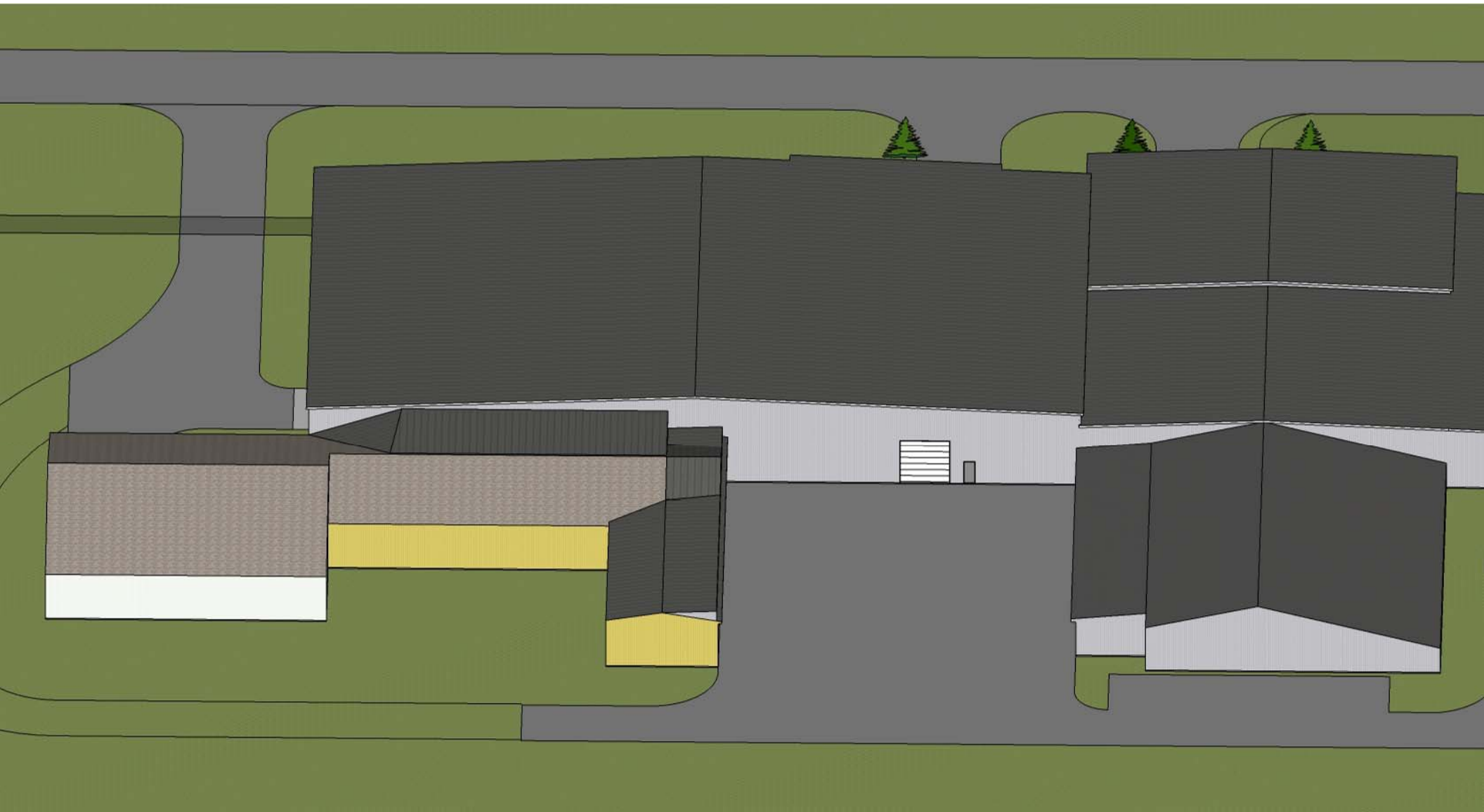


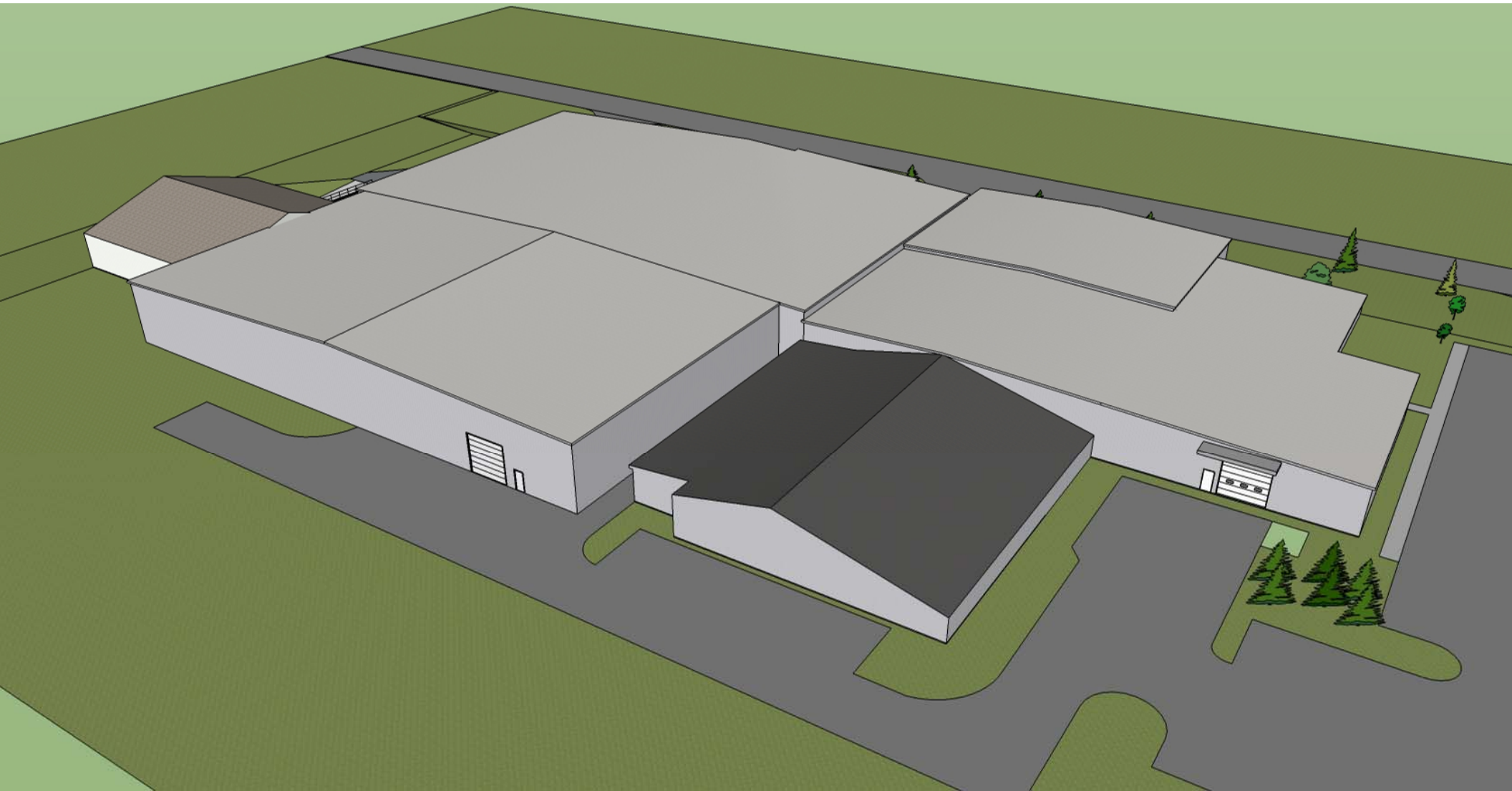
◦ PIER AND FOOTING DETAIL ◦
SCALE: 3/8" = 1'-0"

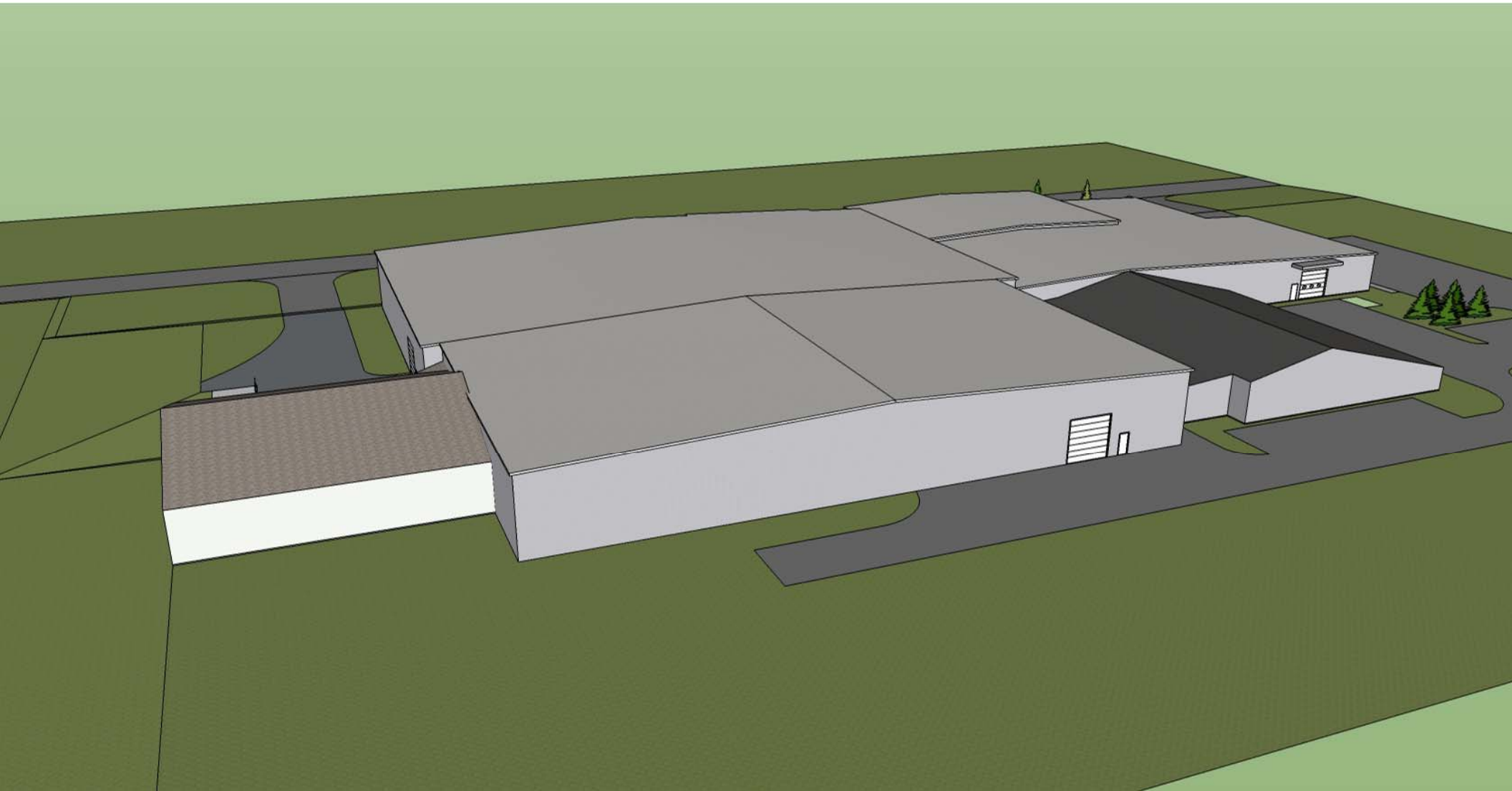
◦ FOUNDATION DETAILS ◦



REVISION	DATE	DESCRIPTION
PRELIMINARY FOR PERMIT	08 MAR 2018	
	23 AUGUST 2018	





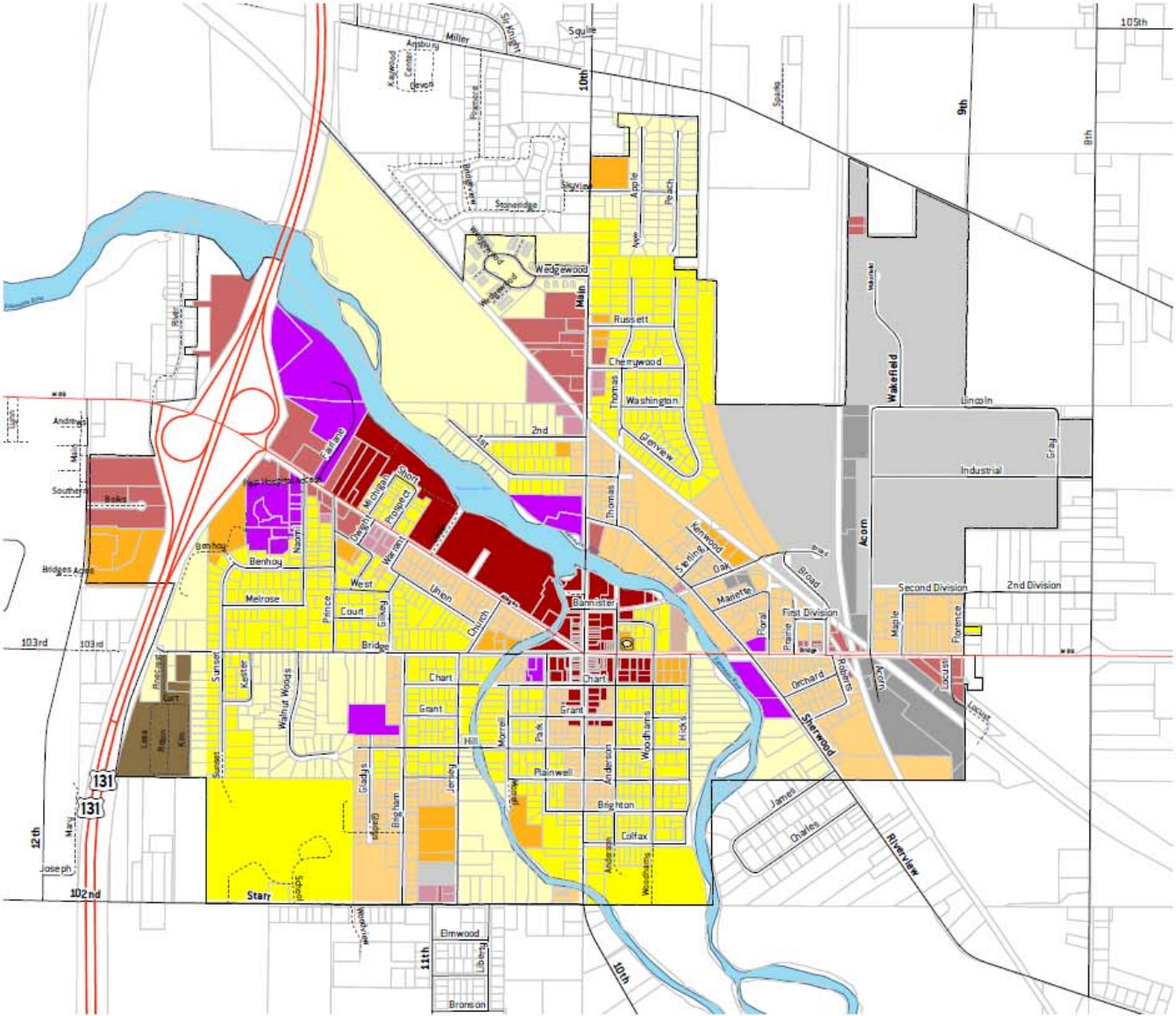


City of Plainwell

Allegan County, Michigan

ZONING MAP

Updated: July 17, 2017



- R-1A, Single-Family Residence
- R-1B, Single-Family Residence
- R-1C, Single and Two-Family Residence
- R-2, Multiple Family Residence
- RMH, Residential Mobile Home
- C-1, Local Commercial
- SB, Service Business
- C-2, General Commercial
- CBD, Central Business
- CS, Community Service
- M-1, Restricted Manufacturing
- M-2, General Manufacturing

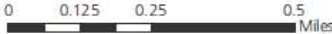
This is to certify the Zoning Map to which the signature is attached is the official City of Plainwell Zoning Map developed pursuant to the Michigan Zoning Enabling Act (Act 110 of 2006, as amended) and as approved by the City of Plainwell City Council

Erik Wilson
City Manager

Brian Kelley
City Clerk

Date _____

1 inch = 500 feet



williams&works
engineers | surveyors | planners



Data Sources: Michigan CGI, Allegan County Land Information Services, City of Plainwell

MINUTES
Plainwell City Council
August 27, 2018

1. Mayor Brooks called the regular meeting to order at 7:01 PM in City Hall Council Chambers.
2. Steve Smail of Lighthouse Baptist Church gave the invocation.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Brooks, Mayor Pro-tem Steele, Councilman Keeler, and Councilman Overhuel.
Absent: Councilman Keeney.
5. Approval of Minutes/Summary:
A motion by Steele, seconded by Overhuel, to accept and place on file the Council Minutes and Summary of the 08/13/2018 regular meeting and the Council Minutes. On voice vote, all voted in favor. Motion passed.
6. General Public Comments: None
7. County Commissioner Report: None.
8. Presentations: None
9. Agenda Amendments: None.
10. Mayor's Report:
Mayor Brooks expressed gratitude to Chris Haas for her many community service projects.
11. Recommendations and Reports:
 - A. Clerk/Treasurer Kelley reported having been approached by DC Strong for recognition as a non-profit organization in the city so it can apply to the State of Michigan for a charitable gaming license for fundraising efforts.
A motion by Steele, seconded by Overhuel, to adopt Resolution 18-21 recognizing DC Strong as a non-profit organization in the City of Plainwell. On a voice vote, all in favor. Motion passed.
 - B. Superintendent Nieuwenhuis briefed Council about new frames and lids for use in the street projects. The paving company bid amounts to raise and lower the existing frames, but using city staff afforded opportunity to buy new frames and lids and still save money from the bid amount. The frames and lids are for manhole covers for the sewer and storm sewer access.
A motion by Steele, seconded by Overhuel, to purchase frames and lids from EJ USA Inc for \$5,464.06. On a roll-call vote, all in favor. Motion passed.
 - C. Superintendent Pond reported that the north barn still uses inefficient fluorescent lighting that is not motion sensitive. The project under consideration would replace the fixtures with efficient LED lighting that would be motion sensitive, automatically turning off when the barn is not in use.
A motion by Keeler, seconded by Overhuel, to approve the project to replace lights in the north barn with Moore Electric for a project cost of \$3,525.00. On a voice-vote, all in favor. Motion passed.
 - D. Superintendent Pond reported a component of the Industrial Pretreatment Program requires period review and updating policies and procedures to ensure ongoing compliance.

A motion by Overhuel, seconded by Steele, to approve the project to update the Industrial Pretreatment Program policies with Fleis & Vandenbrink for a project cost of \$6,400.00. On a voice-vote, all in favor. Motion passed.

12. Communications:

A. A motion by Steele, seconded by Overhuel, to accept and place on file the July 2018 Water Renewal Report and the Parks & Trees Draft Meeting Minutes from 08/16/2018. On a voice vote, all in favor. Motion passed.

13. Accounts Payable:

A motion by Keeler, seconded by Overhuel, that the bills be allowed and orders drawn in the amount of \$802,630.78 for payment of same. On a roll call vote, all in favor. Motion passed.

14. Public Comments None

15. Staff Comments

Personnel Manager Lamorandier reported having given Title VI training to all city staff.

Superintendent Nieuwenhuis reported preparing for the Bridge Walk and that the Wedgewood paving project started today, to be followed by Chart then Starr, all to be done prior to the start of school.

Superintendent Pond reported a pre-construction meeting for the screw pump replacement project.

Community Development Manager Siegel reported working on grants and compliance issues.

Director Bomar brief Council on the recent emergency signal for a storm on the opposite corner of the county and how the county's response was appropriate.

Clerk/Treasurer Kelley reported having received a FOIA request for paper copies of all ballots cast at the November 2016 election as well as absentee voter applications and envelopes. Most, if not all, clerks across the state received similar requests from an ambiguous out-of-state firm. He also reported the auditors will be on-site in three (3) weeks for audit work.

City Manager Wilson reported ongoing negotiations for a School Resource Officer.

16. Council Comments:

None.

17. Adjournment:

A motion by Steele, seconded by Overhuel, to adjourn the meeting at 7:29 PM. On voice vote, all voted in favor. Motion passed.

Minutes respectfully
Submitted by,
Brian Kelley
City Clerk/Treasurer