

City of Plainwell



Brad Keeler, Mayor
Lori Steele, Mayor Pro Tem
Todd Overhuel, Council Member
Roger Keeney, Council Member
Randy Wisnaski, Council Member

Department of Administration Services
211 N. Main Street
Plainwell, Michigan 49080
Phone: 269-685-6821
Fax: 269-685-7282
Web Page Address: www.plainwell.org

“The Island City”

Agenda

Planning Commission
City Hall Council Chambers
April 05, 2023
6:30 Pm

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Minutes: 03/15/2023 Planning Meeting
5. Chairman’s Report
6. Public Comment
7. New Business: Site Plan Review 610 & 640 Jersey Street Condos
 - a. Review site plans for approval
8. Old Business: None
9. Reports and Communications:
 - a. Council minutes: 02/27/2023 & 03/13/2023
10. Public Comments
11. Staff Comments
12. Commissioners/Council Comments
13. Adjournment

The City of Plainwell is an equal opportunity provider and employer

**CITY OF PLAINWELL
MINUTES
Planning Commission
Wednesday, March 15, 2023**

1. Call to Order at 6:30 pm by Colingsworth
2. Pledge of Allegiance was given by all present.
3. Roll Call: Present: Rachel Collingsworth, Lori Steele, Stephen Bennett, Jay Lawson, Jim Higgs, David Collard, Gary Sausaman (6:35)
4. Approval of Minutes –01/18/2023
motion to approve minutes was made by Higgs and seconded by Lawson. All in favor to approve minutes and placing them on file.
5. Chairperson’s Report: - None
6. Public Comments- None
7. New Business: Master Plan Workshop
 - a. Review and update the Economic Development Strategy listed out strengths and weaknesses of the City
 - b. Review and update the Implementation Matrix in the Master Plan removed completed tasks/added new tasks to the matrix
9. Old Business: None
10. Reports and Communications: 01/23/2023; 02/13/23 were reviewed and placed on file.
11. Public Comments – None
12. Staff Comments: - Siegel, Community Development Manager provided an update on the vacant positions in the office; shared upcoming events
13. Commissioner Comments:
Higgs – Asked about the search for our new City Manager; Vice Mayor Pro Tem, Lori Steele explained the process to the board.
14. Adjournment: Colingsworth adjourned the meeting at 7:55 p.m.

Minutes submitted by Denise Siegel, Community Development Manager

PRELIMINARY ENGINEERING PLANS

JERSEY ST HOUSING DEVELOPMENT

610 & 640 JERSEY ST

PLAINWELL, MI 49080

PROJECT TEAM

OWNER: DAVID MORAN
(810) 334-3871
DAVIDMORAN57@YAHOO.COM

BOUNDARY SURVEY: WIGHTMAN
1670 LINCOLN RD, M-40
ALLEGAN, MI 49010
(269) 673-8465
GREG VAUGHN

CIVIL ENGINEER: MITTEN STATE ENGINEERING
10123 S M43 HWY, SUITE E
DELTON, MI 49046
(269) 716-0175
TYLER BOURDO

UTILITY AND AGENCY CONTACTS

ELECTRIC: CONSUMERS ENERGY
2500 E CORK ST
KALAMAZOO, MI 49001
(800) 477-5050

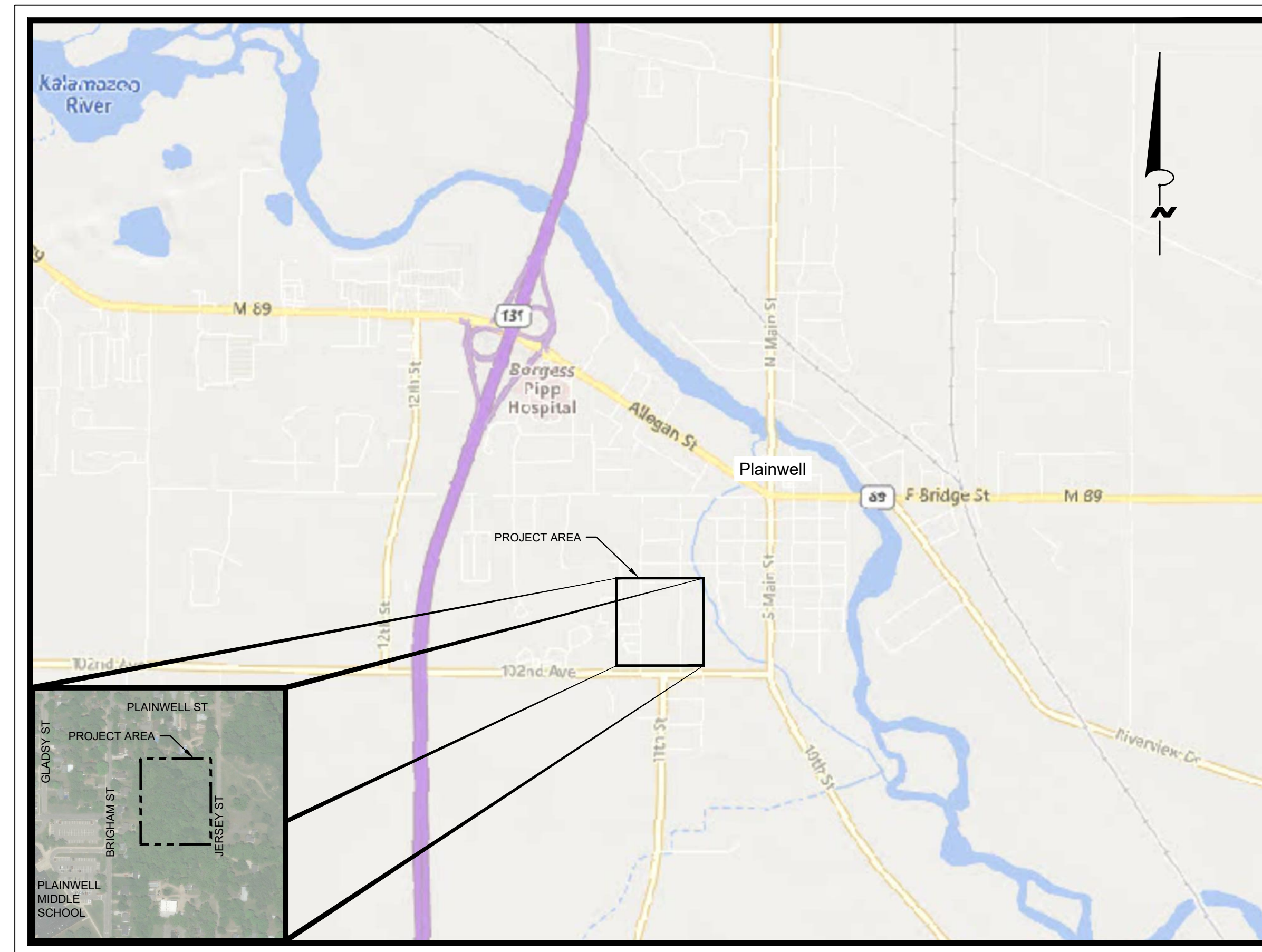
FIBER OPTIC: CHARTER COMMUNICATIONS
ASHLEY MARCOLETTE
ASHLEY.MARCOLETTE@CCISYSTEMS.COM

GAS: MICHIGAN GAS UTILITIES
(800) 401-6402
SETH PURUCKER
SETH.PURUCKER@MICHIGANGASUTILITIES.COM

WATER / SEWER: PLAINWELL CITY WATER & SEWER
126 FAIRLANE ST
PLAINWELL, MI 49080
ROBERT NIEUWENHUIS
(269) 685-9363
RNIEUWENHUIS@PLAINWELL.ORG

TELEPHONE: AT&T
(800) 778-9140
LASHAUNDRA WILSON
LW1232@ATT.COM

"MISS DIG" 811



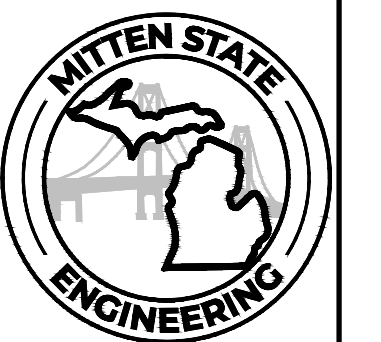
LOCATION MAP
N.T.S.

PROJECT NOTES

- THE "2020 STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND "STANDARD PLANS" BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) ARE HEREBY INCORPORATED INTO THESE CONTRACT DOCUMENTS.
- THE PLACING OF TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE DONE IN ACCORDANCE WITH THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD), AS AMENDED.
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND/OR PLANS PREPARED BY OTHERS. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING ALL BONDS AND INSURANCE CERTIFICATES AND SUBMITTING TRAFFIC CONTROL PLANS FOR REVIEW AND APPROVAL WHICH MAY BE REQUIRED BY THE CITY FOR THE CONSTRUCTION OF THIS PROJECT WITHIN THE ROAD RIGHT-OF-WAY. THE CONTRACTOR SHALL APPLY FOR THESE PERMITS UNLESS OTHERWISE NOTED.
- IN ACCORDANCE WITH PUBLIC ACT 174 OF 2013, ALL CONTRACTORS SHALL CALL MISS DIG @ 811 OR 800-428-7171 FOR PROTECTION OF UNDERGROUND UTILITIES A MINIMUM OF THREE FULL WORKING DAYS (EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS) PRIOR TO BEGINNING EACH EXCAVATION IN ANY AREA. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
V101	ALTA/NSPS LAND TITLE SURVEY
C100	DEMOLITION PLAN
C101	SITE PLAN
C102	GRADING PLAN
C103	UTILITY PLAN
C104	EROSION CONTROL PLAN
C105	EROSION CONTROL DETAILS
C106	CONSTRUCTION DETAILS
PH101	PHOTOMETRIC PLAN
L101	LANDSCAPE PLAN

No.	REVISIONS	DATE	BY



ADDRESS: 10123 S M43, SUITE E
DELTON, MI 49046
PHONE: (269) 364-5626

SCALE: AS NOTED
DESIGNED BY: TLB
DRAWN BY: DMP
CHECKED BY: TWC

PRELIMINARY

COVER SHEET

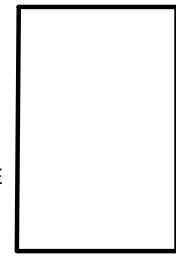
JERSEY ST HOUSING DEVELOPMENT
PLAINWELL, MI

ORIGINAL ISSUE:
03/08/2023

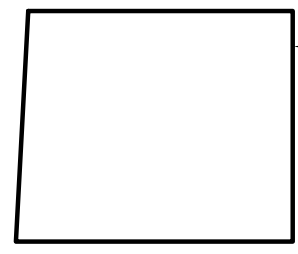
PROJECT NO.
22091

SHEET NUMBER
C001

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GLASS, PHILLIP SR
55-230-042-00
R-1C SINGLE AND TWO-FAMILY RESIDENCE
0.36 ACRES



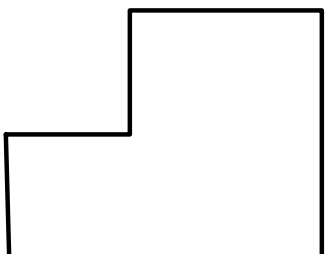
506 JERSEY ST
BRANCH, ROXANNE
55-030-039-00
R-1C SINGLE AND TWO-FAMILY RESIDENCE
0.66 ACRES



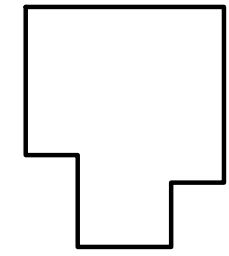
529 BRIGHAM ST
VANDERKOLK, ROBERT & GENEVA
55-230-042-10
R-1C SINGLE AND TWO-FAMILY RESIDENCE
0.18 ACRES



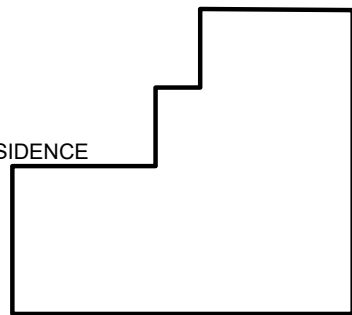
613 BRIGHAM ST
RUSAN LIZA, JANE & JOSEPH
55-230-042-12
R-1C SINGLE AND TWO-FAMILY RESIDENCE
0.30 ACRES



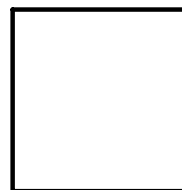
623 BRIGHAM ST
VERNON, JANET
55-230-042-11
R-1C SINGLE AND TWO-FAMILY RESIDENCE
0.31 ACRES



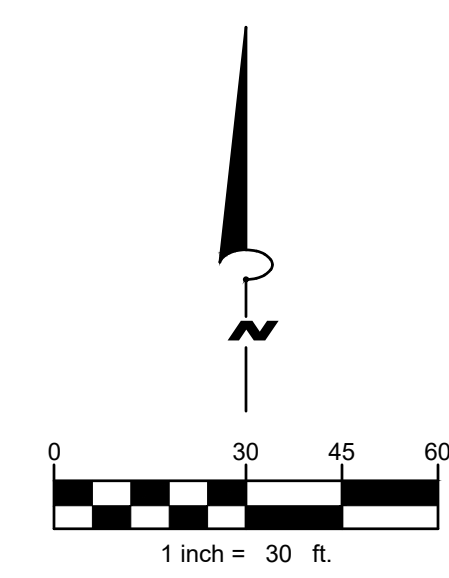
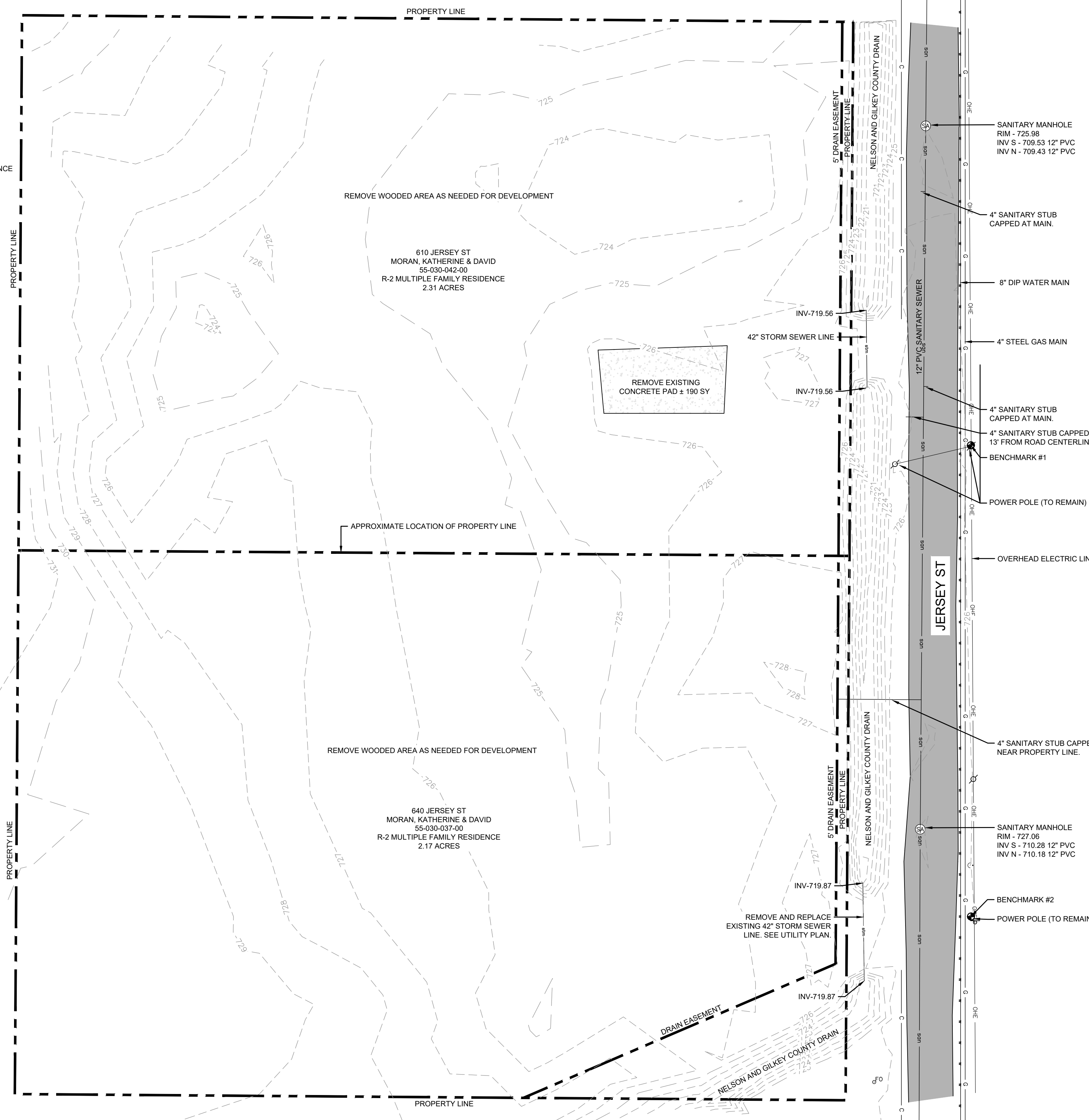
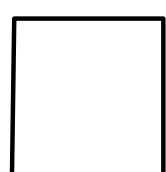
633 BRIGHAM ST
MOORE, ANTOINETTE
55-230-042-13
R-1C SINGLE AND TWO-FAMILY RESIDENCE
0.34 ACRES



711 BRIGHAM ST
GLESS, DANENE KAY
55-030-043-01
R-1C SINGLE AND TWO-FAMILY RESIDENCE
0.34 ACRES



731 BRIGHAM ST
WISKASKI, RANDY & DEANA
55-030-044-01
R-1C SINGLE AND TWO-FAMILY RESIDENCE
0.63 ACRES



DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING UTILITIES, PAVING, STRUCTURES, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED ON THE PLANS
2. THE CONTRACTOR SHALL DISPOSE OF ALL DEBRIS, TRASH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. DISPOSAL OF SUCH ITEMS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS
3. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL RECEIVE WRITTEN PERMISSION PRIOR TO ANY OFFSITE DISTURBANCE, UNLESS SPECIFICALLY MENTIONED ON THIS SHEET
4. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN. UTILITY LOCATIONS SHOWN ARE BASED OFF PREVIOUS RECORD DRAWINGS AND FIELD MEASUREMENTS WHERE APPLICABLE. THE INFORMATION IS NOT TO BE RELIED UPON AND MUST BE CONFIRMED BY THE UTILITY COMPANY. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO THE EXCAVATION TO REQUEST FIELD LOCATING.
5. ANY DEMOLITION WITHIN THE RIGHT-OF-WAY MUST BE COORDINATED WITH THE LOCAL JURISDICTION. FURTHERMORE, THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED TRAFFIC CONTROL IS IN PLACE PRIOR TO WORK WITHIN THE RIGHT-OF-WAY.
6. EROSION CONTROL BMP'S SHALL BE IN PLACE PRIOR TO ANY DEMOLITION WORK
7. ALL UTILITIES SHOWN THAT ARE NOT TO BE REMOVED DURING DEMOLITION SHALL BE PROTECTED. ANY DAMAGE TO SUCH UTILITIES OR STRUCTURES, SHALL BE REPAIRED OR REPLACED AT THE GENERAL CONTRACTORS EXPENSE.
8. THE CONTRACTOR SHALL USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST. SEE EROSION CONTROL SHEET FOR FURTHER EROSION CONTROL REQUIREMENTS.
9. THE CONTRACTOR SHALL COMPLETELY FILL ALL VOIDS RESULTING FROM DEMOLITION ACTIVITIES. MATERIAL SHALL BE IN ACCORDANCE WITH MDT SPECIFICATIONS FOR BACKFILL. FILL MATERIALS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 12 INCHES IN LOOSE DEPTH AND COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY.

BENCHMARKS

BENCHMARK #	DESCRIPTION	ELEVATION
#1	SPIKE IN NW OF POWER POLE E OF N SITE E OF JERSEY ST	726.77
#2	NW TAG BOLT ON FIRE HYDRANT E OF S SITE E PF JERSEY ST	727.82

NO.	REVISIONS	DATE	BY



ADDRESS:
10123 S M43, SUITE E
DELTON, MI 49046
PHONE:
(269) 364-5626

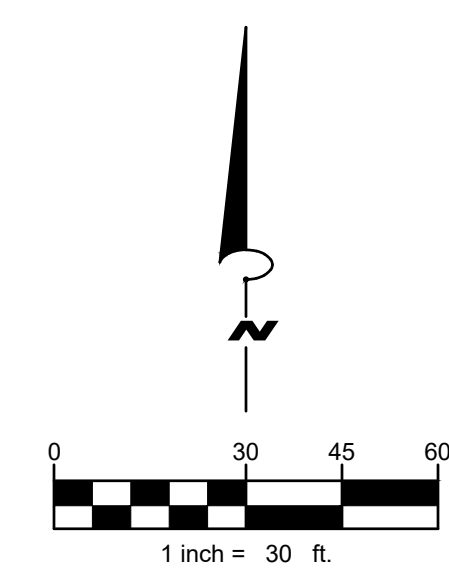
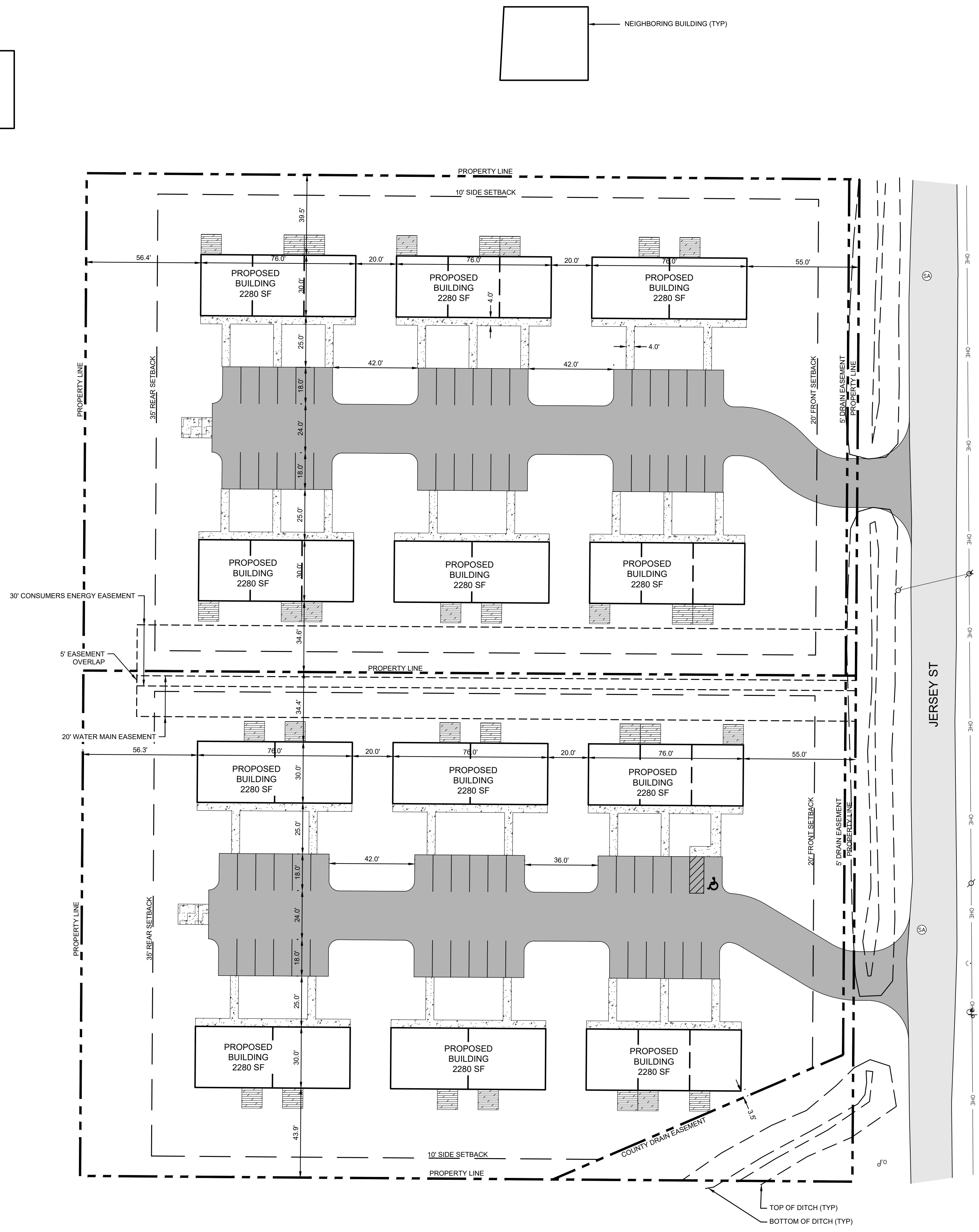
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DESIGNED BY: TLB
DRAWN BY: DMP
CHECKED BY: TWC

PRELIMINARY

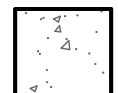


**EXISTING CONDITIONS
AND
DEMOLITION PLAN**

JERSEY ST HOUSING
DEVELOPMENT
PLAINWELL, MI

ORIGINAL ISSUE:
03/08/2023
PROJECT NO.
22091
SHEET NUMBER
C100



PAVEMENT LEGEND

-  STANDARD DUTY CONCRETE PAVEMENT:
SEE DETAILS
-  HEAVY DUTY CONCRETE PAVEMENT:
SEE DETAILS
-  STANDARD DUTY PAVEMENT:
1.5" HMA (165#/SYD) 5E1 TOP COURSE
1.5" HMA (275#/SYD) 4E1 LEVELING COURSE
8" AGGREGATE BASE, 22A
12" SUBBASE, CIP

SITE INFORMATION

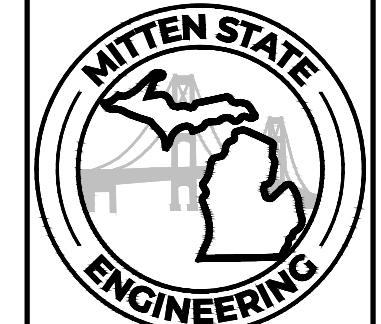
ZONING: R2 MULTIPLE FAMILY RESIDENCE
SITE AREA: 4.29 ACRES (186,810 SF)
BUILDING AREA: 29,184 SF (15.6%)
NUMBER OF STORIES: 1
IMPERVIOUS COVERAGE: 62,512 SF (33.5%)
PROPOSED GREEN SPACE: 124,298 SF (66.5%)

BUILDING SETBACKS:
FRONT: 30 FT
SIDE: 10 FT
REAR: 25 FT

OFF-STREET PARKING REQUIREMENTS:
STANDARD PARKING SPACE: 18 FT X 9 FT WITH 24' DRIVE AISLES
6 PARKING SPACES PER BUILDING

TOTAL SPACES REQUIRED: 72 SPACES
TOTAL SPACES PROVIDED: 72 SPACES
ADA PARKING SPACES REQUIRED: 1 PER ACCESSIBLE UNIT
ADA PARKING SPACES PROVIDED: 1

NO.	REVISIONS	DATE	BY



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10123 S M43, SUITE E
DELTON, MI 49046
PHONE:
(269) 364-5626

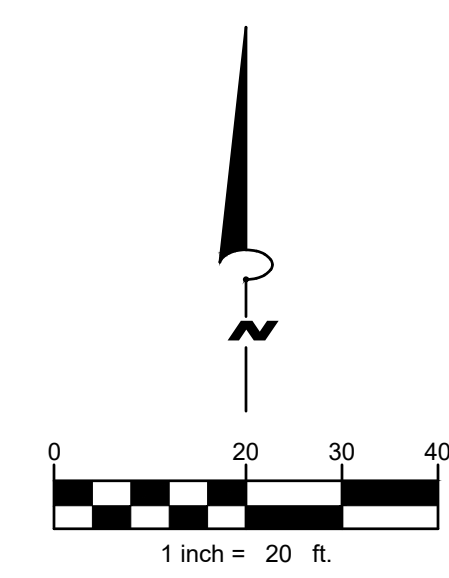
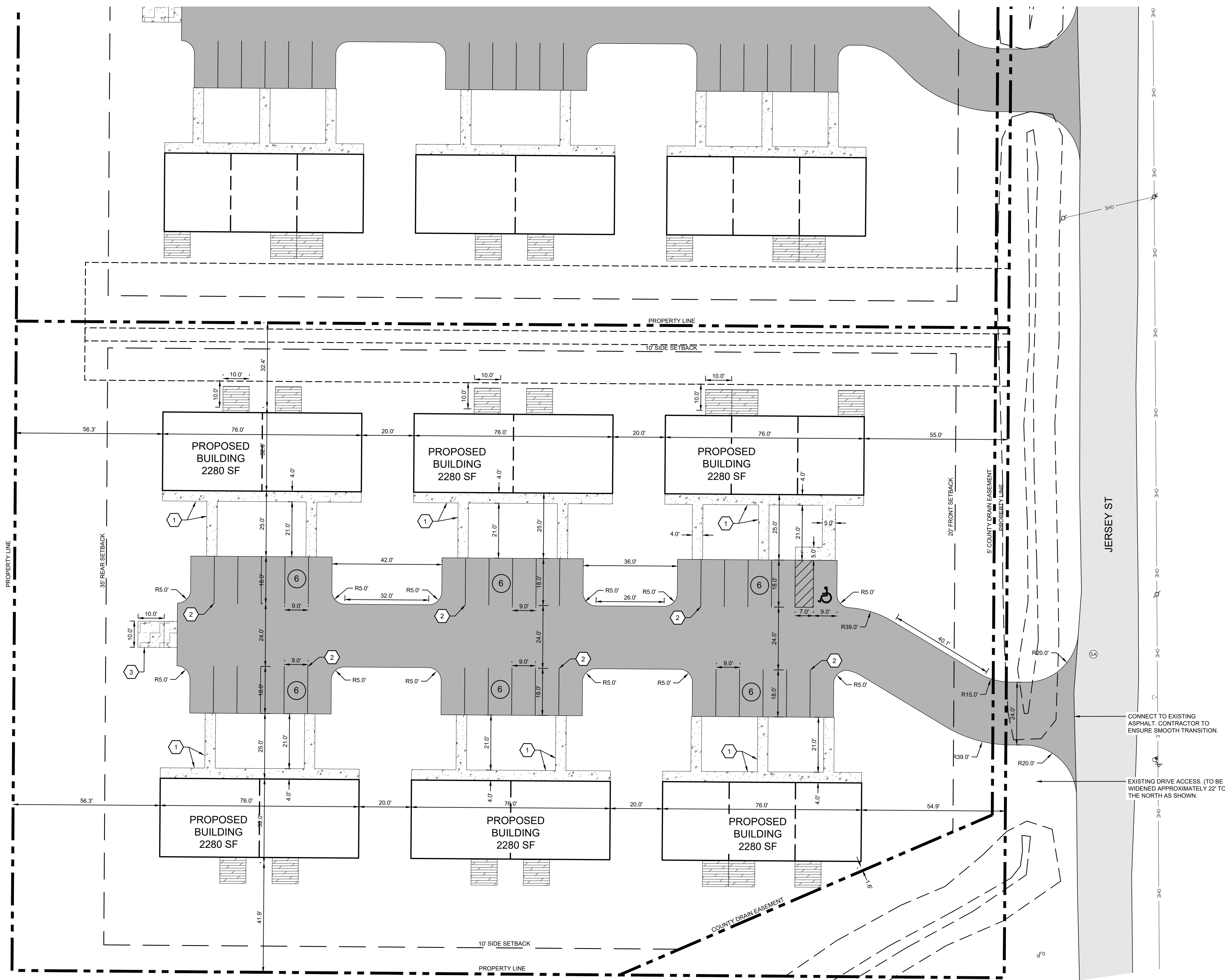
SCALE: AS NOTED
 DESIGNED BY: TLB
 DRAWN BY: DMP
 CHECKED BY: TWC

PRELIMINARY

**OVERALL
SITE PLAN**

JERSEY ST HOUSING
DEVELOPMENT
PLAINWELL, MI

ORIGINAL ISSUE:
03/08/2023
PROJECT NO.
22091
SHEET NUMBER
C101



SITE GENERAL NOTES

- DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED
- CONTRACTOR TO FIELD VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON SITE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING, UNLESS NOTED OTHERWISE.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.

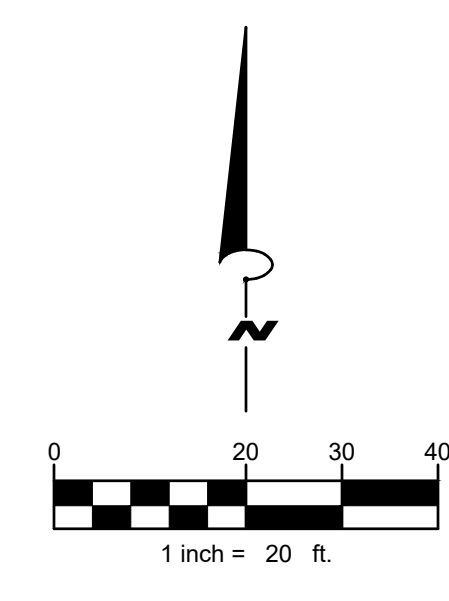
KEY NOTES

- 1 CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- 2 4" WIDE PAINTED SOLID WHITE LINE, TYP.
- 3 REFUSE ENCLOSURE (SEE DETAILS)

PAVEMENT LEGEND

- STANDARD DUTY CONCRETE PAVEMENT: SEE DETAILS
- HEAVY DUTY CONCRETE PAVEMENT: SEE DETAILS
- STANDARD DUTY PAVEMENT: 1.5" HMA (165#/SYD) SE1 TOP COURSE, 8" AGGREGATE BASE, 22A, 12" SUBBASE, CIP

	REVISIONS	DATE	BY
ADDRESS: 10123 S M43, SUITE E DELTON, MI 49046 PHONE: (269) 364-5626			
SCALE: AS NOTED	DESIGNED BY: TLB	DRAWN BY: DMP	CHECKED BY: TWC
PRELIMINARY			
SOUTH SITE PLAN			
JERSEY ST HOUSING DEVELOPMENT <small>PLAINWELL, MI</small>			
ORIGINAL ISSUE: 03/08/2023			
PROJECT NO. 22091			
SHEET NUMBER C101A			



SITE GENERAL NOTES

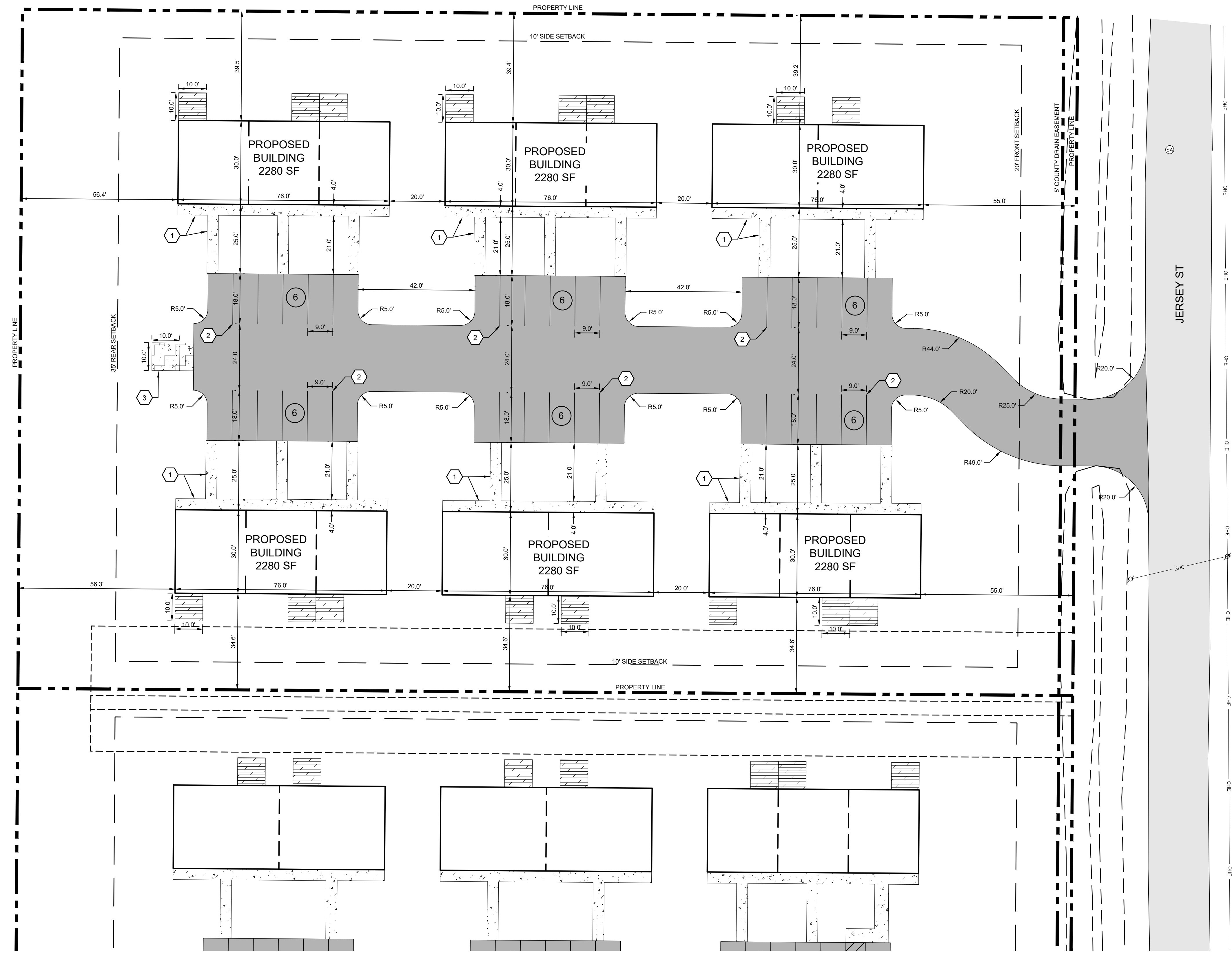
1. DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED
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3. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING, UNLESS NOTED OTHERWISE.
4. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.

KEY NOTES

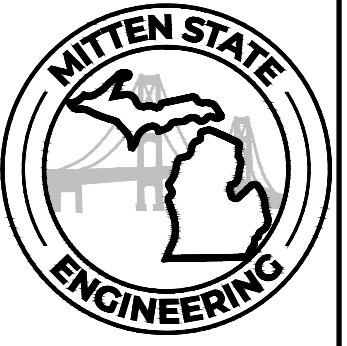
- ① CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- ② 4" WIDE PAINTED SOLID WHITE LINE, TYP.
- ③ REFUSE ENCLOSURE (SEE DETAILS)

PAVEMENT LEGEND

- STANDARD DUTY CONCRETE PAVEMENT:
SEE DETAILS
- HEAVY DUTY CONCRETE PAVEMENT:
SEE DETAILS
- STANDARD DUTY PAVEMENT:
1.5" HMA (165#/SYD) SET TOP COURSE
1.5" HMA (275#/SYD) AET1 LEVELING COURSE
8" AGGREGATE BASE, 22A
12" SUBBASE, CIP



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PRELIMINARY

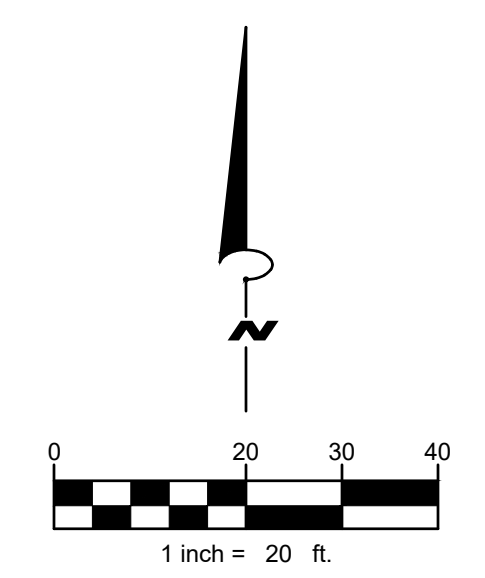
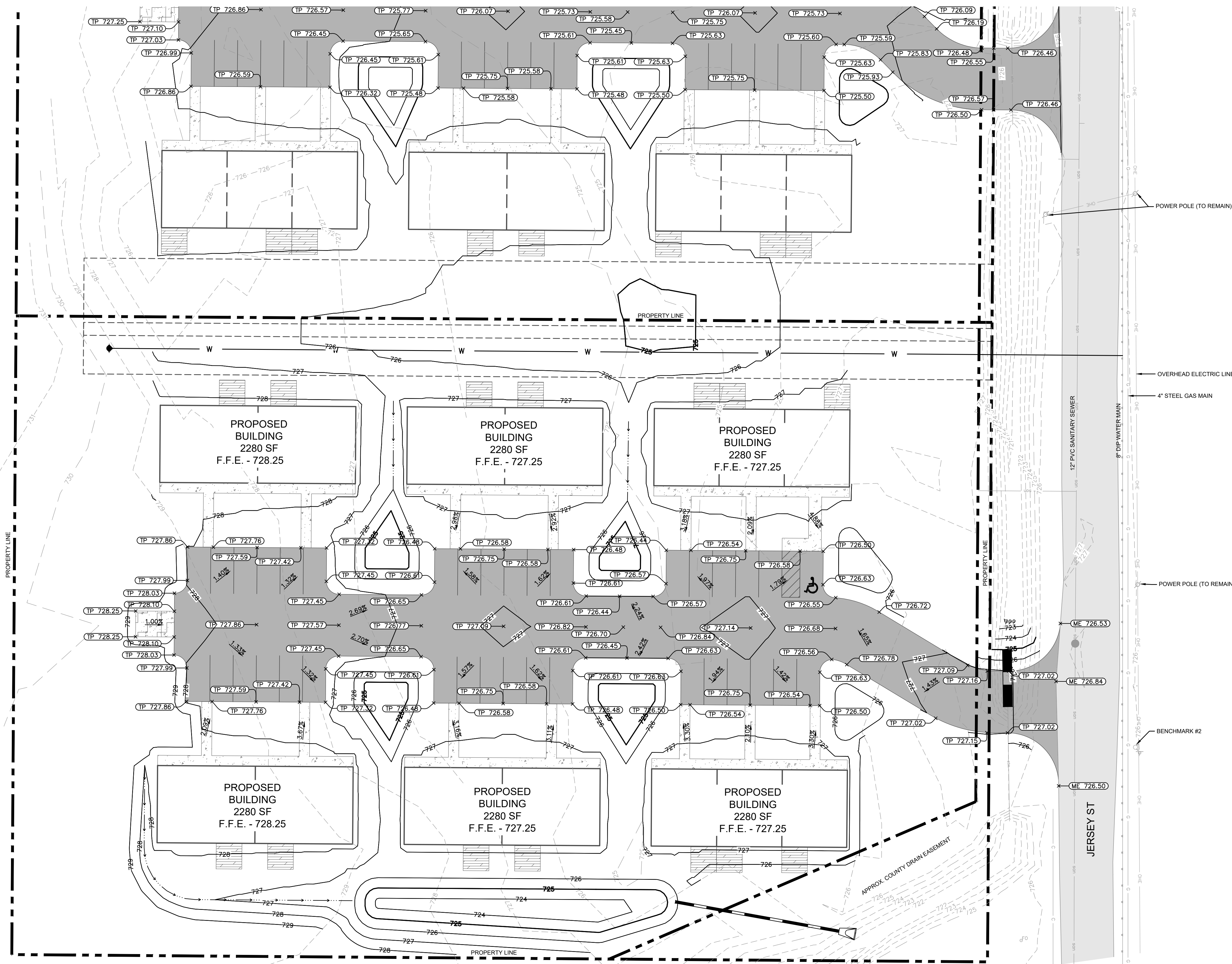
**NORTH
SITE PLAN**

JERSEY ST HOUSING
DEVELOPMENT
PLAINWELL, MI

ORIGINAL ISSUE:
03/08/2023

PROJECT NO.
22091

SHEET NUMBER
C101B



GRADING NOTES

1. CONTRACTOR SHALL COORDINATE WITH EXCAVATOR, LANDSCAPE, AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
2. ALL EARTHEN SLOPES SHALL BE LESS THAN 3:1 UNLESS OTHERWISE NOTED
3. THE MAXIMUM RUNNING SLOPE FOR ALL SIDEWALK SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2%.
4. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ANY DIRECTION
5. THE CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS UNLESS OTHERWISE NOTED
6. TOP OF ASPHALT CURB SHALL BE 0.25' HIGHER THAN FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED
7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM THE CURB, THE CONTRACTOR SHALL INSTALL REVERSE GUTTER PITCH

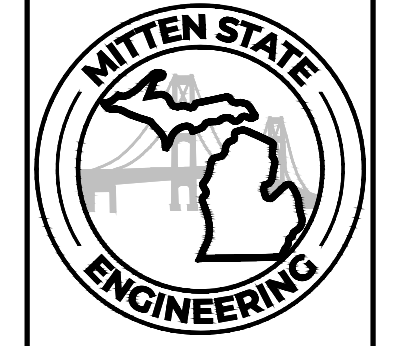
GRADING LEGEND

TC	=	TOP OF CURB
ME	=	MATCH ELEVATION
R	=	RIM ELEVATION
FG	=	FINISH GRADE
FL	=	FLOW LINE
TP	=	TOP OF PAVEMENT
---	---	EXISTING CONTOUR
- - - -	- - - -	PROPOSED CONTOUR
---	---	RIDGE
---	---	RIDGE LINE
---	---	PROPOSED SWALE

BENCHMARKS

BENCHMARK #	DESCRIPTION	ELEVATION
#1	SPIKE IN NW OF POWER POLE E OF N SITE E OF JERSEY ST	726.77
#2	NW TAG BOLT ON FIRE HYDRANT E OF S SITE E PF JERSEY ST	727.82

NO.	REVISIONS	DATE	BY



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DELTON, MI 49046
PHONE:
(269) 364-5626

SCALE: AS NOTED
DESIGNED BY: TLB
DRAWN BY: DMP
CHECKED BY: TWC

PRELIMINARY

SOUTH GRADING PLAN

JERSEY ST HOUSING DEVELOPMENT
PLAINWELL, MI

ORIGINAL ISSUE:
03/08/2023
PROJECT NO.
22091
SHEET NUMBER
C102A

NO.	REVISIONS	DATE	BY



ADDRESS:
10123 S M43, SUITE E
DELTON, MI 49046
PHONE:
(269) 364-5626

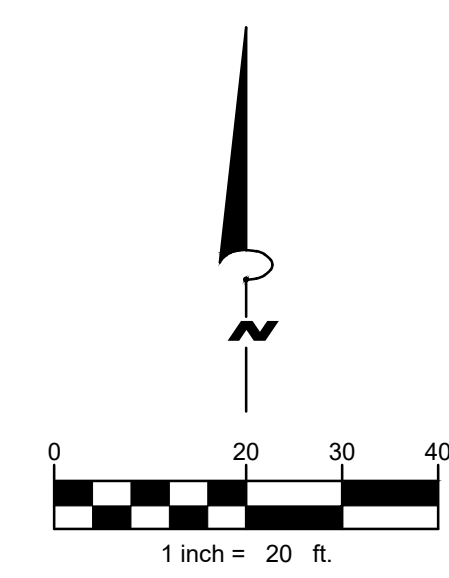
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DESIGNED BY: TLB
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PRELIMINARY

**NORTH
GRADING PLAN**

JERSEY ST HOUSING
DEVELOPMENT
PLAINWELL, MI

ORIGINAL ISSUE:
03/08/2023
PROJECT NO.
22091
SHEET NUMBER
C102B

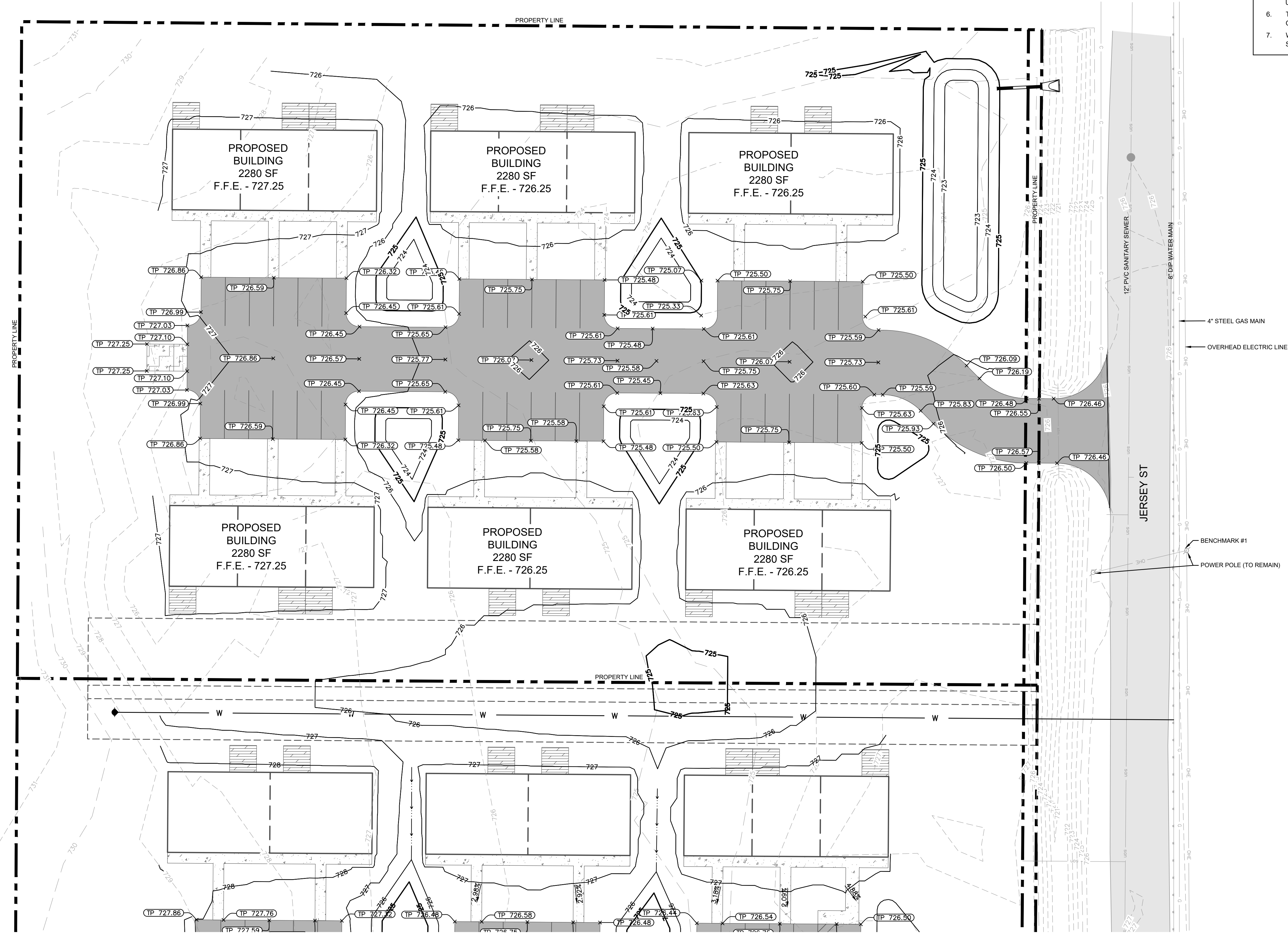


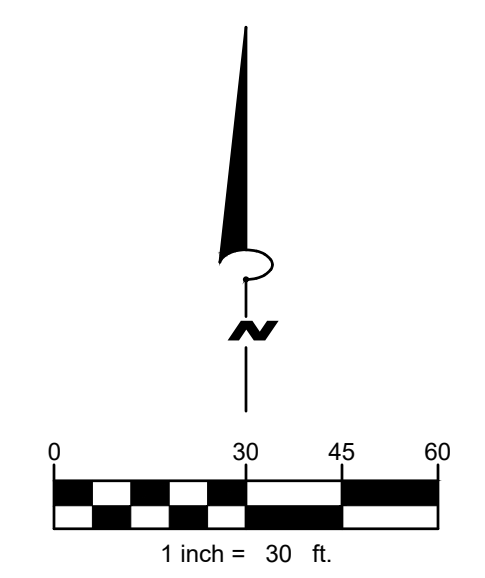
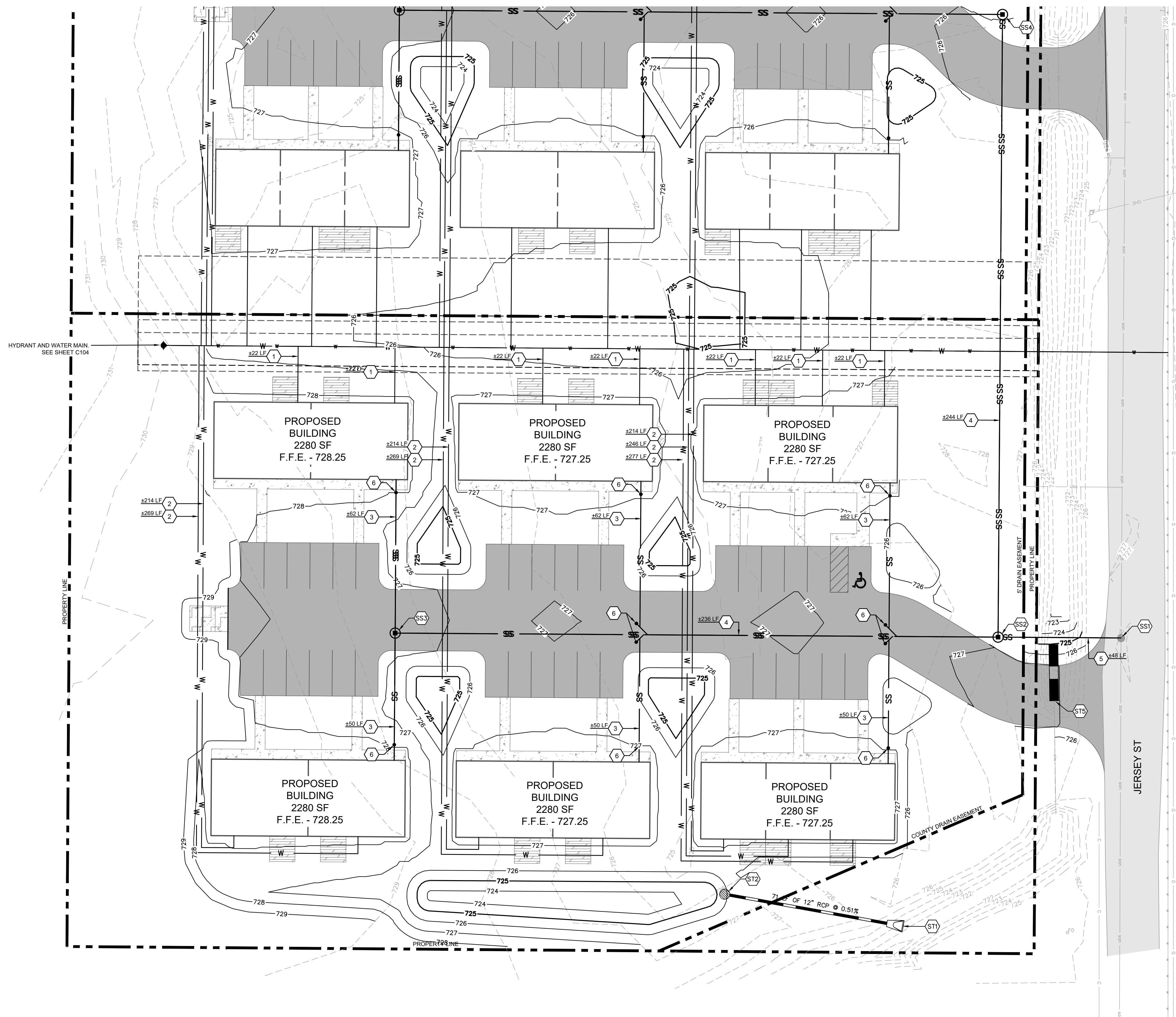
GRADING NOTES

- CONTRACTOR SHALL COORDINATE WITH EXCAVATOR, LANDSCAPE, AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- ALL EARTHEN SLOPES SHALL BE LESS THAN 3:1 UNLESS OTHERWISE NOTED
- THE MAXIMUM RUNNING SLOPE FOR ALL SIDEWALK SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2%.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ANY DIRECTION
- THE CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS UNLESS OTHERWISE NOTED
- TOP OF ASPHALT CURB SHALL BE 0.25' HIGHER THAN FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM THE CURB, THE CONTRACTOR SHALL INSTALL REVERSE GUTTER FITCH

GRADING LEGEND

- TC = TOP OF CURB
- ME = MATCH ELEVATION
- R = RIM ELEVATION
- FG = FINISH GRADE
- FL = FLOW LINE
- TP = TOP OF PAVEMENT
- XXX --- EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- ==== RIDGE LINE
- PROPOSED SWALE

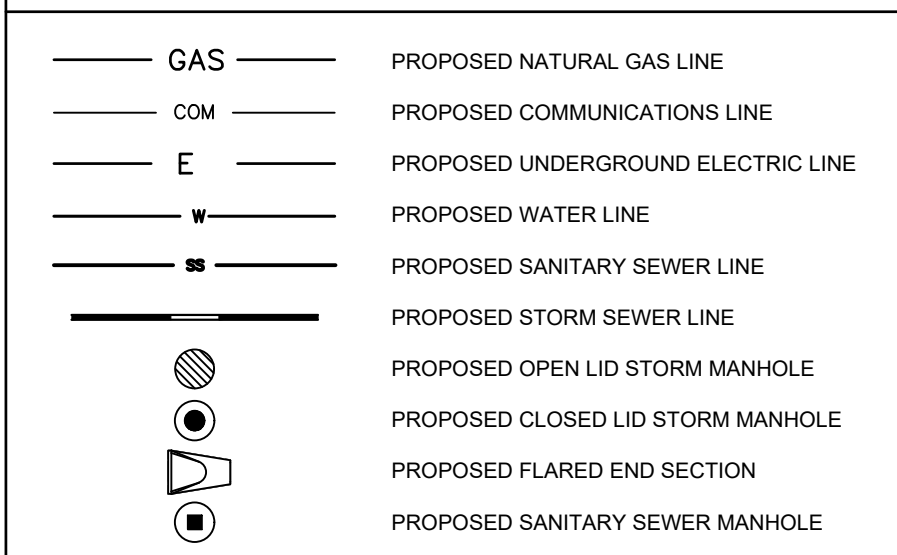




UTILITY NOTES

1. ALL WATER LINES GREATER THAN 3 INCHES IN DIAMETER SHALL BE DUCTILE IRON PIPE, CLASS B2.
2. WATER SERVICES SHALL BE 0.75" TYPE K COPPER FROM THE MAIN TO THE WATER EASEMENT LINE WHERE A SHUT-OFF VALVE SHALL BE PLACED. WATER SERVICES FROM THE SHUT-OFF TO THE BUILDING SHALL BE 0.75 PE OR EQUIVALENT WATER SERVICE LINE.
3. ALL WATER LINES SHALL HAVE 5' MINIMUM COVER. INCREASE DEPTH AT STORMWATER BIO-RETENTION AREAS TO ENSURE 5' MINIMUM COVER.
4. WATER METERS SHALL BE PLACED INSIDE THE BUILDINGS.
5. SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26. PROVIDE 42" MINIMUM COVER, MINIMUM 18" VERTICAL SEPARATION, AND 10" HORIZONTAL SEPARATION BETWEEN PIPES FROM WATER LINES.
6. PROPERTY OWNER SHALL COORDINATE WITH CONSUMERS ENERGY ON THE LOCATION AND CAPACITY OF PROPOSED ELECTRIC SERVICES.
7. PROPERTY OWNER SHALL COORDINATE WITH MICHIGAN GAS UTILITIES ON THE LOCATION AND CAPACITY OF PROPOSED GAS SERVICES.
8. ALL BURIED UTILITIES THAT CROSS THE COUNTY DRAIN SHALL BE PERMITTED BY THE ALLEGAN COUNTY DRAIN COMMISSION AND BE A MINIMUM OF 5' BELOW THE BOTTOM OF THE DRAIN BOTTOM.
9. ANY DISRUPTIONS TO EXISTING SERVICE LINES FOR ADJACENT PROPERTIES SHALL BE COORDINATED WITH AFFECTED PROPERTY OWNERS.
10. THE CONTRACTOR SHALL NOTIFY MSS DIG (800-462-7171) TO COORDINATE FIELD LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
11. SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.

UTILITY LEGEND



KEY NOTES

- 1 0.75" WATER SERVICE, (SEE NOTES ABOVE)
- 2 1.0" WATER SERVICE, (SEE NOTES ABOVE)
- 3 4" SDR 26 PVC SANITARY LATERAL @ 2.0% MIN SLOPE
- 4 6" SDR 26 PVC SANITARY LATERAL @ 1.0% MIN SLOPE
- 5 8" SDR 26 PVC SANITARY LATERAL @ 0.4% MIN SLOPE
- 6 SEWER CLEANOUT

SANITARY STRUCTURE TABLE

SS1 CORE AND CONNECT TO EXISTING MANHOLE. CONSTRUCT INTERNAL DROP.	RIM 716.13 INV. 715.40 - 8" W
SS2 4" DIA MH EJ 1020 SOLID LID	RIM 724.04 INV. 716.64 - 6" N INV. 720.59 - 6" W INV. 715.84 - 8" E
SS3 4" DIA MH EJ 1020 SOLID LID	RIM 727.48 INV. 723.05 - 4" S INV. 723.05 - 4" N INV. 722.95 - 6" E
SS4 4" DIA MH EJ 1020 SOLID LID	RIM 725.92 INV. 719.18 - 6" W INV. 719.08 - 6" S

STORM STRUCTURE TABLE

ST1 12" RCP FLARED END SECTION	INV. 722.50 - 12" W
ST2 2' DIA MH EJ 6417 DITCH GRATE 2.0 FT SUMP	RIM 726.00 INV. 722.86 - 12" E
ST5 CONNECT TO EXISTING 42 INCH CMP CULVERT AND EXTEND 22 FT	INV. 719.87 - 42" N

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PRELIMINARY

SOUTH
UTILITY PLAN

JERSEY ST HOUSING
DEVELOPMENT
PLAINWELL, MI

ORIGINAL ISSUE:
03/08/2023
PROJECT NO.
22091
SHEET NUMBER
C103A

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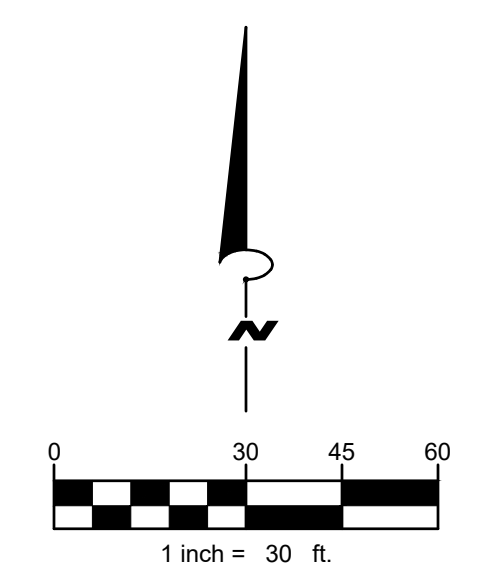
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PRELIMINARY

NORTH
UTILITY PLAN

JERSEY ST HOUSING
DEVELOPMENT
PLAINWELL, MI

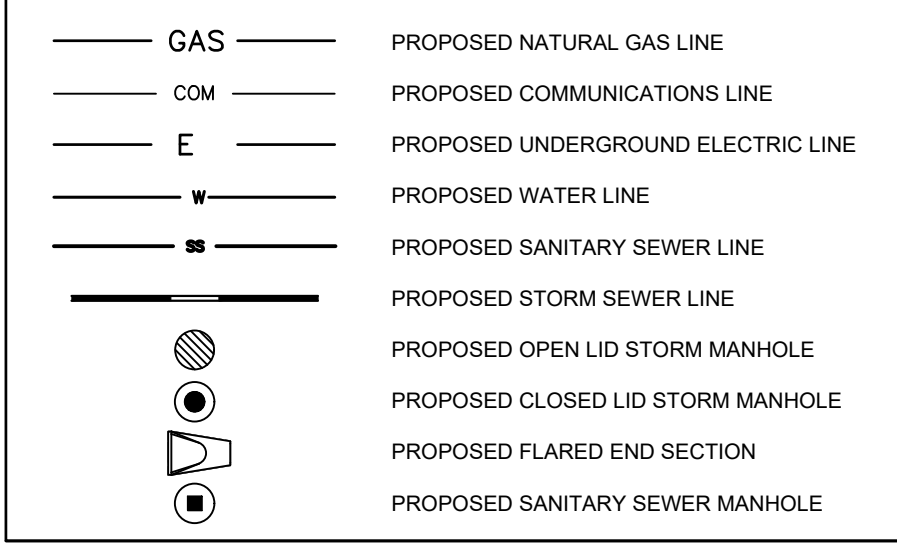
ORIGINAL ISSUE:
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PROJECT NO.
22091
SHEET NUMBER
C103B



UTILITY NOTES

1. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS IV
2. ALL WATER LINES GREATER THAN 3 INCHES IN DIAMETER SHALL BE DUCTILE IRON PIPE, CLASS S2
3. SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN. THIS PIPE SHALL BE AWWA C900 (UNLESS CASING IS UTILIZED), PROVIDE 42" MINIMUM COVER, MINIMUM 18" VERTICAL SEPARATION, AND 10' HORIZONTAL SEPARATION BETWEEN PIPES.
4. ANY DISRUPTIONS TO EXISTING SERVICE LINES FOR ADJACENT PROPERTIES SHALL BE COORDINATED WITH AFFECTED PROPERTY OWNERS
5. THE CONTRACTOR SHALL NOTIFY MISS DIG (800-482-7171) TO COORDINATE FIELD LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
6. SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING

UTILITY LEGEND



KEY NOTES

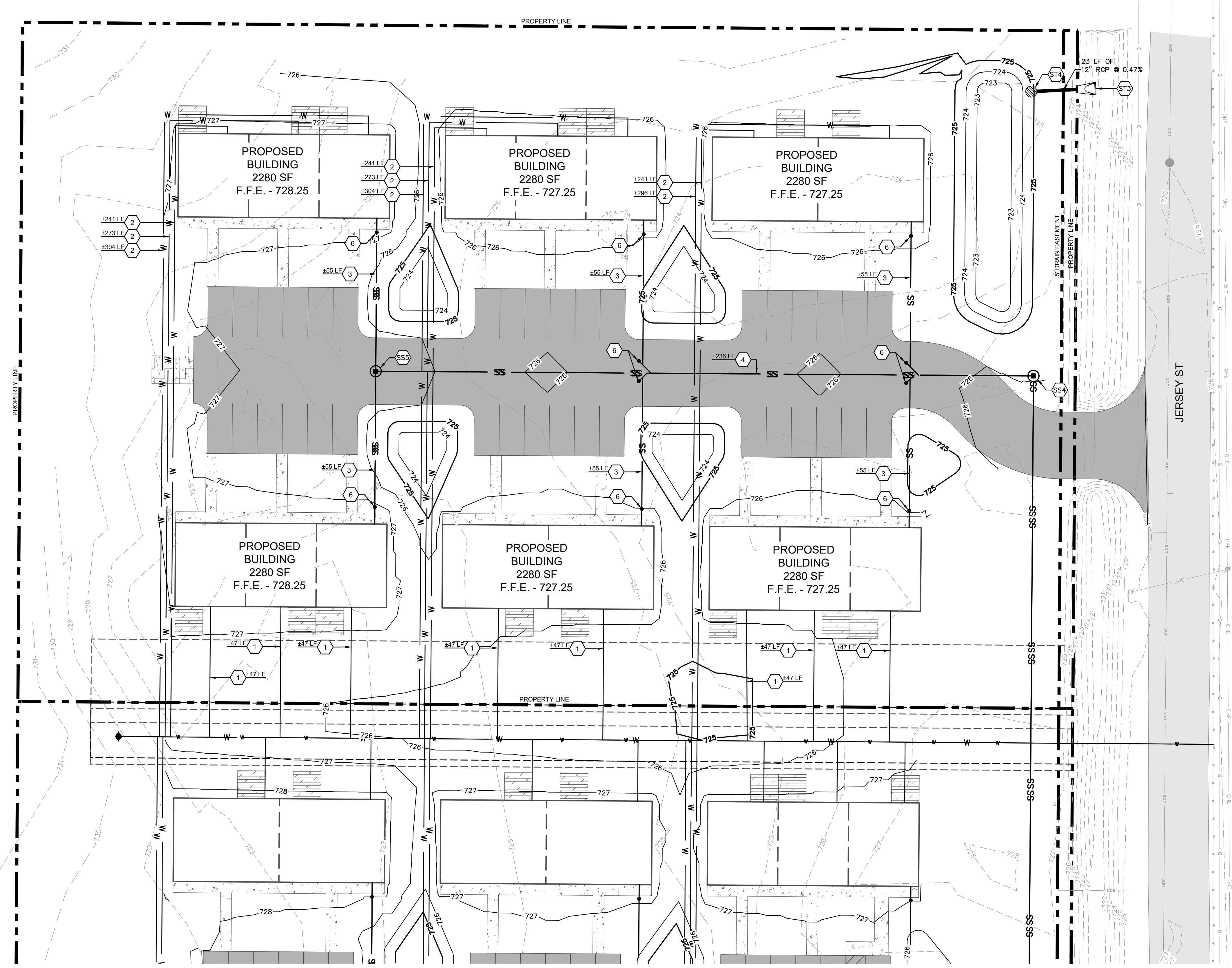
- 1 0.75" WATER SERVICE, (SEE NOTES ABOVE)
- 2 1.0" WATER SERVICE, (SEE NOTES ABOVE)
- 3 4" SDR 26 PVC SANITARY LATERAL @ 2.0% MIN SLOPE
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- 5 8" SDR 26 PVC SANITARY LATERAL @ 0.4% MIN SLOPE
- 6 SEWER CLEANOUT

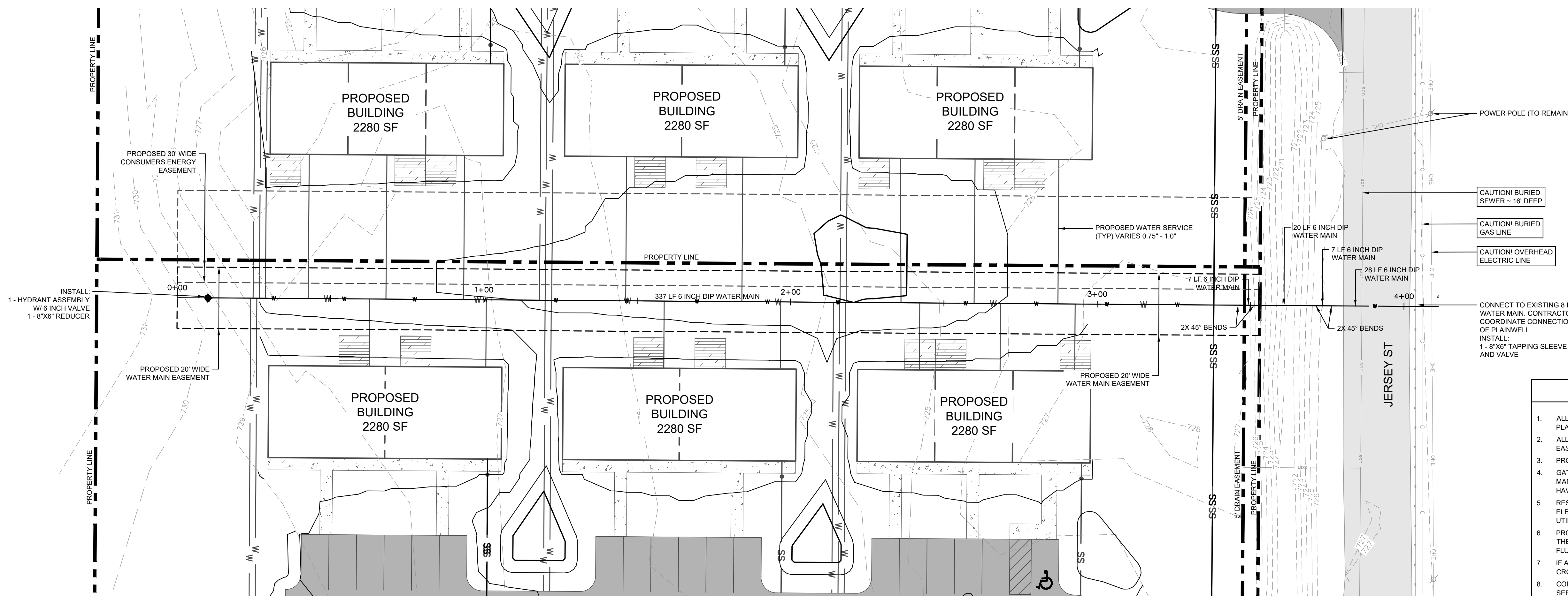
SANITARY STRUCTURE TABLE

SS2 4' DIA MH EJ 1020 SOLID LID	RIM 724.04 INV. 716.64 - 6" N INV. 720.59 - 6" W INV. 715.64 - 8" E
SS4 4' DIA MH EJ 1020 SOLID LID	RIM 725.92 INV. 719.18 - 6" W INV. 719.08 - 6" S
SS5 4' DIA MH EJ 1020 SOLID LID	RIM 726.53 INV. 722.15 - 4" N INV. 722.15 - 4" S INV. 722.05 - 6" E

STORM STRUCTURE TABLE

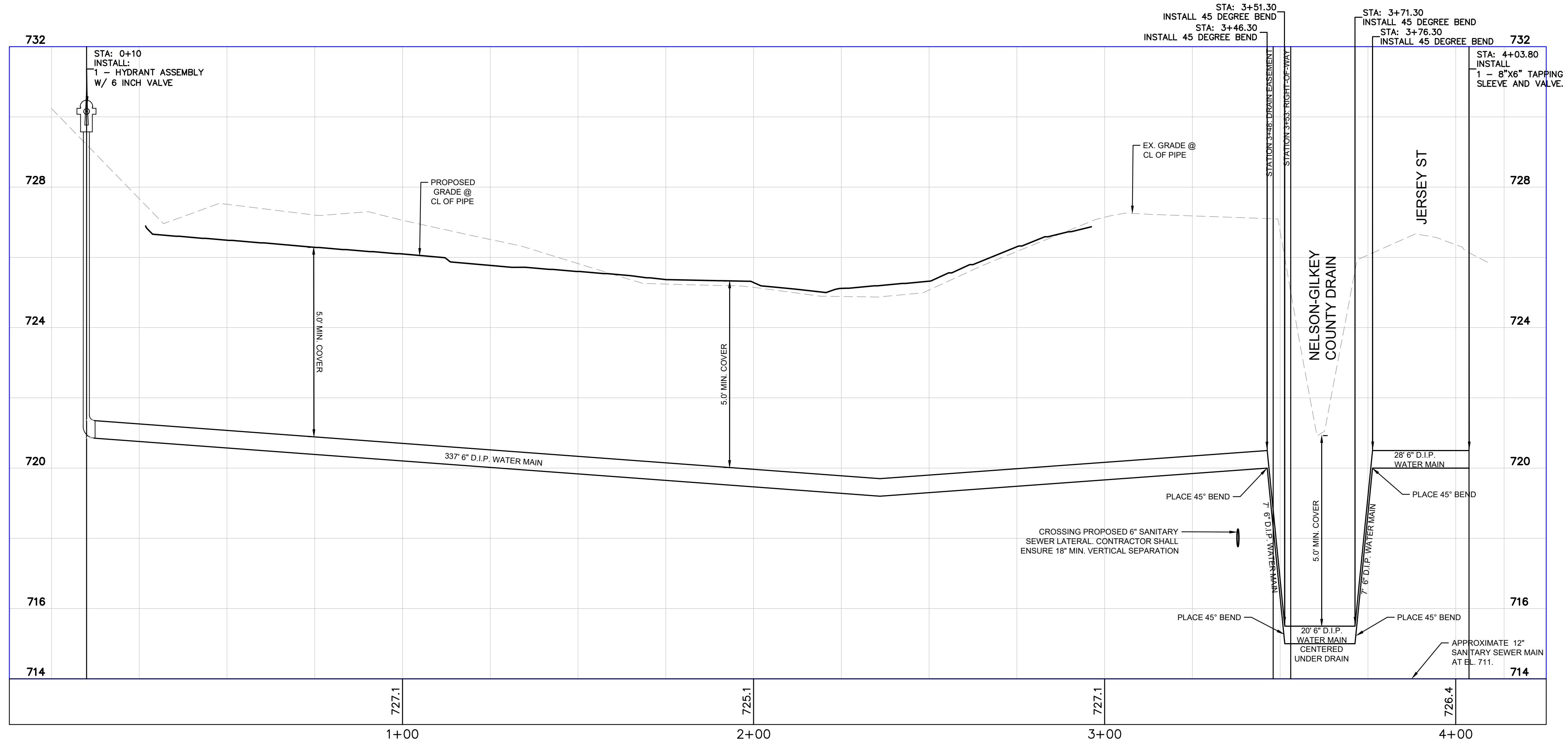
ST3 12" RCP FLARED END SECTION	INV. 721.50 - 12" W
ST4 2' DIA MH STANDARD 0.0 FT SUMP	RIM 726.00 INV. 721.61 - 12" E





WATER MAIN PLAN
HORIZONTAL SCALE: 1"=20'

- ### WATER MAIN NOTES
- ALL WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52 AND SHALL MEET CITY OF PLAINWELL SPECIFICATIONS
 - ALL WATER SERVICES SHALL BE TYPE K COPPER WATER SERVICES FROM THE MAIN TO THE EASEMENT LINE. PLACE SERVICE SHUT OFF VALVE ON EASEMENT LINE.
 - PROPOSED HYDRANT SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C502
 - GATE VALVES SHALL BE RED TOP CAST-IRON GATE VALVES SUBJECT TO COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS AND INSTALLED PER AWWA C500. GATE VALVES SHALL HAVE A MINIMUM PRESSURE RATING OF 200 PSIG.
 - RESTRAINING SHALL BE REQUIRED AT AND WITHIN 20' OF ALL TEES, BENDS, VALVES, AND ELBOWS. THRUST RESTRAINING DEVICES MEETING REQUIREMENTS OF ASTM F1674 SHALL BE UTILIZED.
 - PROPOSED FIRE HYDRANT PROVIDES WATER QUALITY THROUGH FLUSHING AND IT SHALL BE THE RESPONSIBILITY OF THE CITY TO FLUSH THE LINE EVERY SPRING AND FALL. ADDITIONAL FLUSHING MAY BE REQUIRED IF WATER QUALITY ISSUES ARE FOUND IN THE AREA.
 - IF APPLICABLE, A FULL STICK OF WATER AND SEWER PIPE SHOULD BE CENTERED AT ALL CROSSINGS TO MAXIMIZE SEPARATION OF JOINTS.
 - COMPLY WITH STANDARDS OF AUTHORITIES HAVING JURISDICTION FOR POTABLE-WATER SERVICE PIPING, INCLUDING MATERIALS, INSTALLATION, TESTING, AND DISINFECTION.
 - INSTALL CONTINUOUS UNDERGROUND DETECTABLE WARNING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE BELOW FINISH GRADE, APPROXIMATELY 2' DIRECTLY OVER PIPING.
 - CONTRACTOR SHALL PERFORM HYDROSTATIC PRESSURE TESTING IN ACCORDANCE WITH AWWA C605. MINIMUM TESTING DURATION IS 2 HOURS TO A PRESSURE OF 100 PSI. TEST PRESSURE SHALL NOT EXCEED THE PIPES PRESSURE CLASS
 - CONTRACTOR SHALL FLUSH AND CHLORINATE WATER LINES IN ACCORDANCE WITH AWWA C651. DECHLORINATION MUST BE CONDUCTED IN ACCORDANCE WITH AWWA C655. CLEAN AND DISINFECT WATER-DISTRIBUTION PIPING BY FILLING THE SYSTEM WITH WATER AND CHLORINE SOLUTION CONTAINING AT LEAST 25 PPM OF CHLORINE. ISOLATE AND ALLOW TO STAND FOR 24 HOURS. FOR CONTINUOUS FEED METHOD, 10 PPM OF FREE CHLORINE SHALL BE MAINTAINED.
 - CONTRACTOR SHALL PERFORM BACTERIOLOGICAL SAMPLING IN ACCORDANCE WITH AWWA C651. TAKE INITIAL SET OF SAMPLES AND ADDITIONAL SAMPLES A MINIMUM OF 16 HOURS LATER USING THE SAMPLING SITE PROCEDURES OUTLINED IN C651. BOTH SETS OF SAMPLES MUST PASS FOR THE APPROVAL OF THE MAIN.
 - COORDINATE WITH THE CITY ON ALL TESTING TO ENSURE COMPLIANCE AND APPROVAL PRIOR TO USING THE NEW WATER MAIN.
 - ALL WATER MAINS AND THEIR APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PLAINWELL SPECIFICATIONS AND AWWA STANDARD C600.
 - WATER MAIN FLUSHING SHALL PROVIDE A MINIMUM WATER VELOCITY OF 3.0 FEET PER SECOND IN ACCORDANCE WITH AWWA STANDARD C651.
 - ALL HYDRANTS SHALL HAVE AN AREA 36" CLEAR OF OBSTRUCTIONS SURROUNDING THE OUTLET NOZZLES AND OPERATING NUTS. THIS INCLUDES MINIMUM CLEARANCE FOR REQUIRED LANDSCAPING BUSHES AND TREES.
 - TREES SHALL NOT BE LOCATED WITHIN THE WATER MAIN EASEMENT AREA.
 - ANY DISRUPTIONS TO EXISTING SERVICE LINES FOR ADJACENT PROPERTIES SHALL BE COORDINATED WITH AFFECTED PROPERTY OWNERS
 - THE CONTRACTOR SHALL NOTIFY MISS DIG (800-482-7171) TO COORDINATE FIELD LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 - PAVEMENT RESTORATION CROSS-SECTION NEEDS TO MATCH EXISTING PAVEMENT



WATER MAIN PROFILE
HORIZONTAL SCALE: 1"=20', VERTICAL SCALE: 1"=2'

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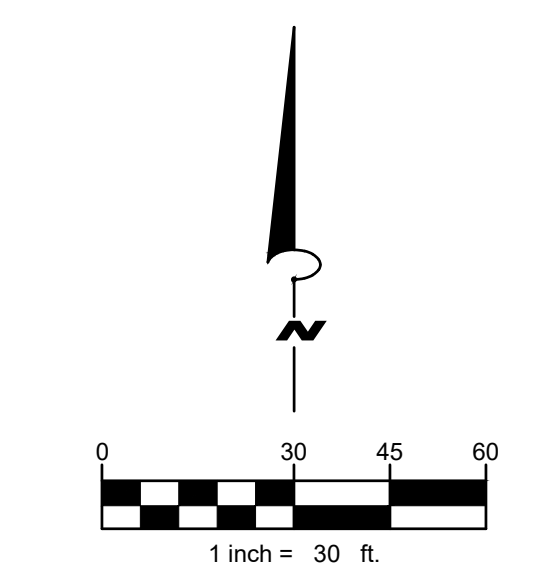
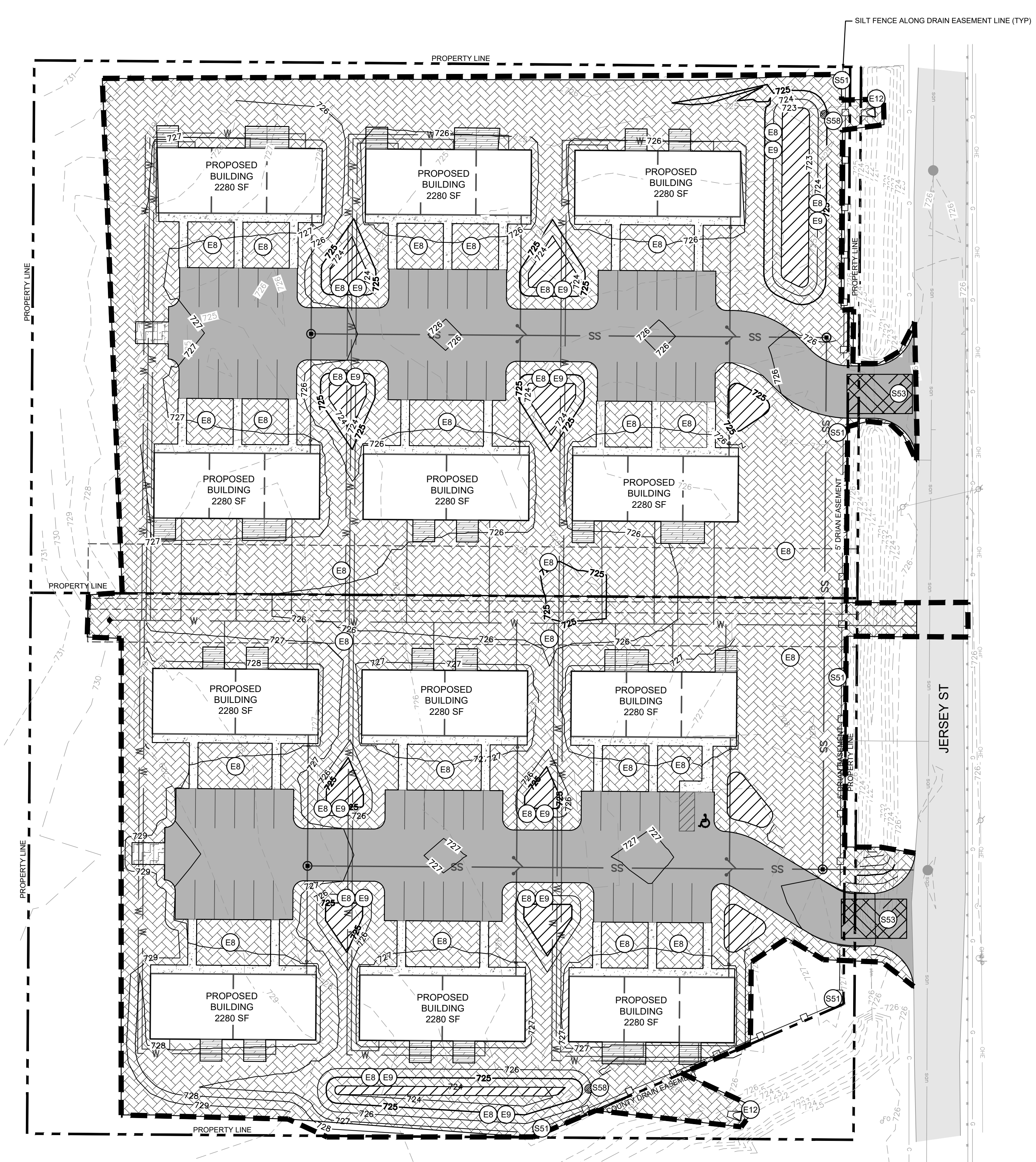
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**WATER MAIN
PLAN AND PROFILE**

**JERSEY ST HOUSING
DEVELOPMENT**
PLAINWELL, MI

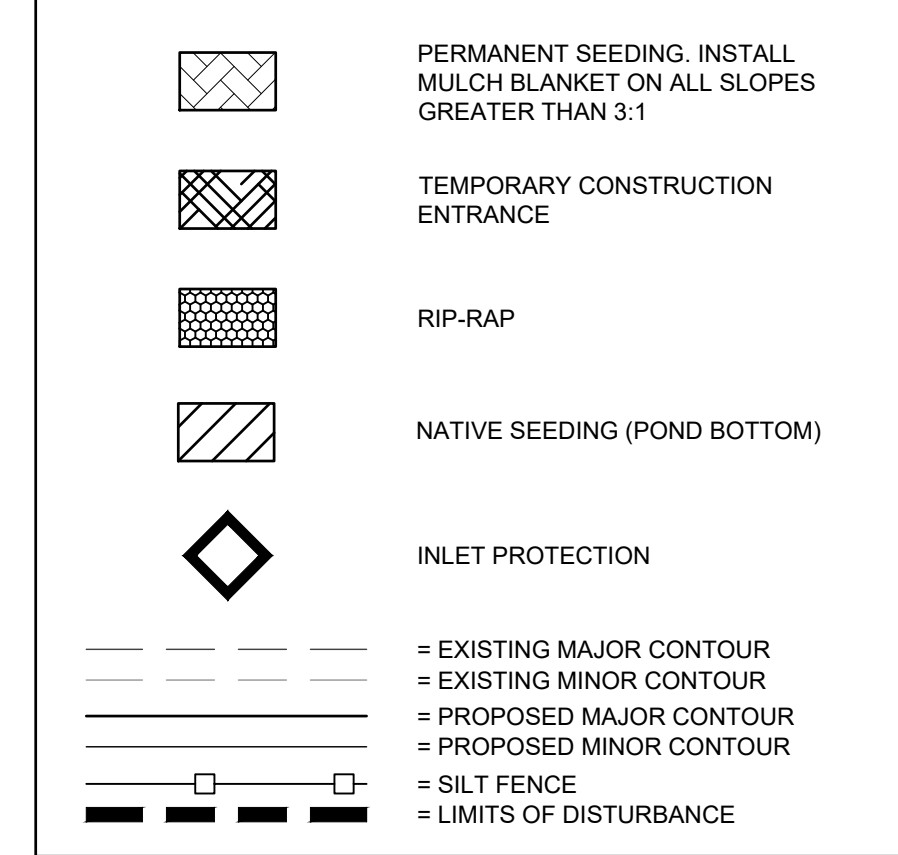
ORIGINAL ISSUE:
03/08/2023
PROJECT NO.
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C104



SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH THE MICHIGAN SOIL EROSION AND SEDIMENTATION CONTROL ACT. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE COUNTY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM THE MDEQ PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE COUNTY "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
 2. AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE COVER AREAS ACT AS SEDIMENT FILTERS.
 3. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.
 4. GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.
 5. MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.
- NUMBER IN CIRCLE REFERS TO NUMBERED DETAILS IN STATE OF MICHIGAN SOIL EROSION AND SEDIMENTATION CONTROL GUIDEBOOK. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.
- (E8) DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. SEE DETAIL SHEET.
 - (E9) DENOTES MULCH BLANKETS. MULCH BLANKET SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS, AT SLOPES GREATER THAN 1:3, AREAS WITH CONCENTRATED FLOWS, AND AS DIRECTED BY THE ENGINEER IN THE FIELD, TO PREVENT RUNOFF AND EROSION.
 - (E12) DENOTES RIPRAP. SEE DETAIL SHEET. (PERMANENT EROSION CONTROL MEASURE)
 - (SS3) DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. SEE DETAIL SHEET.
 - (SS1) DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION. SEE DETAIL SHEET.
 - (SS6) DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM. SEE DETAIL SHEET.

EROSION CONTROL LEGEND



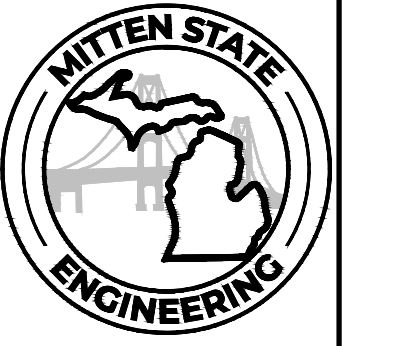
CONSTRUCTION SEQUENCING

1. INSTALL SOIL EROSION MEASURES.
2. ESTABLISH STORM WATER MANAGEMENT BIORETENTION AREAS AND BASINS.
3. ROUGH GRADING OF THE SITE.
4. BEGIN BUILDING CONSTRUCTION.
5. UTILITY CONNECTIONS AND SERVICES TO BUILDING.
6. FINAL GRADING OF THE SITE.
7. POUR CONCRETE SIDEWALK AND HEAVY DUTY CONCRETE.
8. PAVE SITE.
9. REMOVE TEMPORARY SOIL EROSION MEASURES AFTER VEGETATION HAS BEEN ESTABLISHED.

NEARBY WATER
 NEAREST COUNTY DRAIN / RIVER / STREAM / LAKE IS THE NELSON-GILKEY COUNTY DRAIN. (ON SITE) NOTE, KALAMAZOO RIVER IS APPROXIMATELY 450' NORTHEAST AT THE CLOSEST POINT TO DISTURBANCE.

SOILS INFORMATION
 BASED ON USDA INFORMATION, THE SITE CONSISTS OF A S609 MIXTURE OF CHELSEA LOAMY FINE SAND AND URBAN LAND OAKVILLE COMPLEX. SOIL HYDRAULIC GROUP A.

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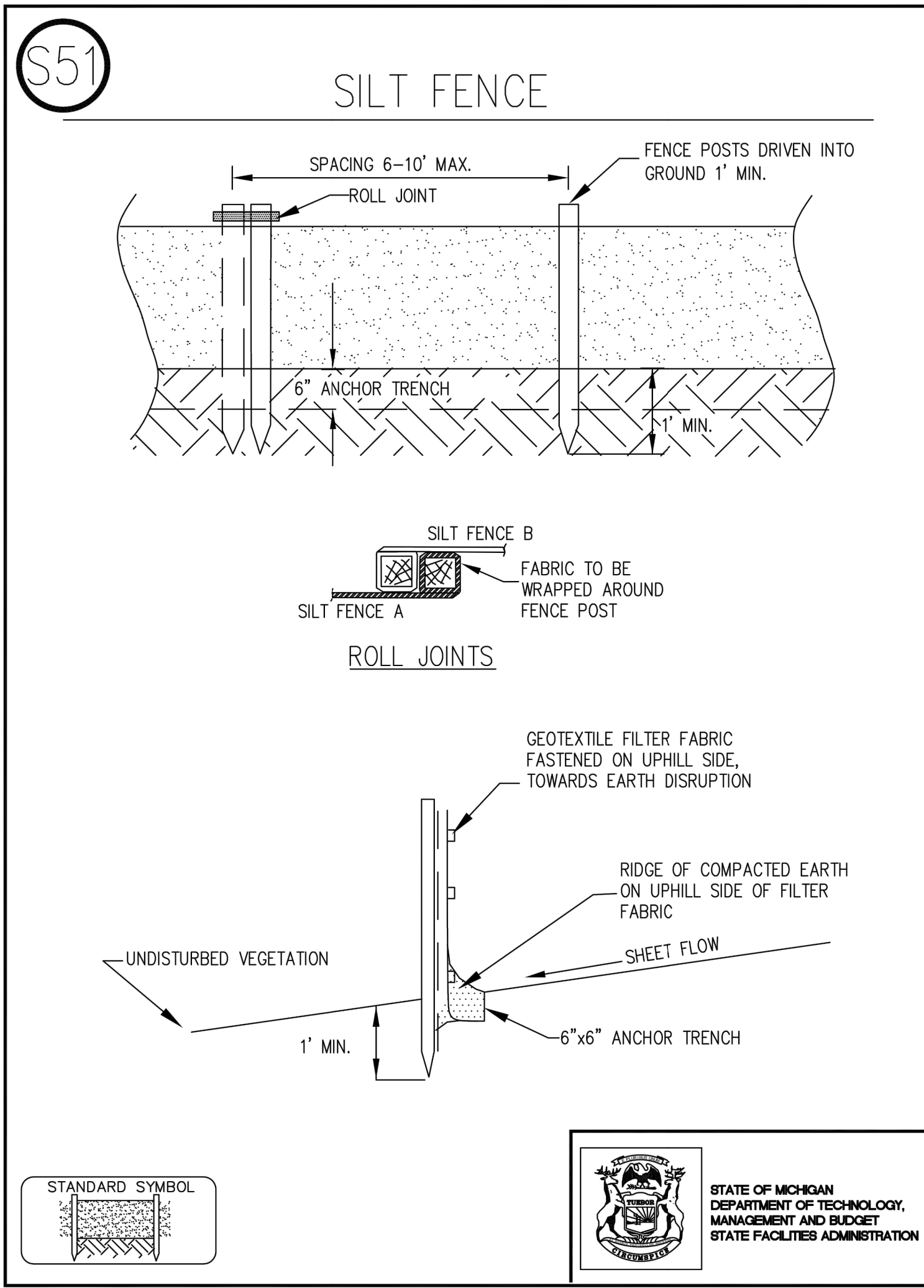
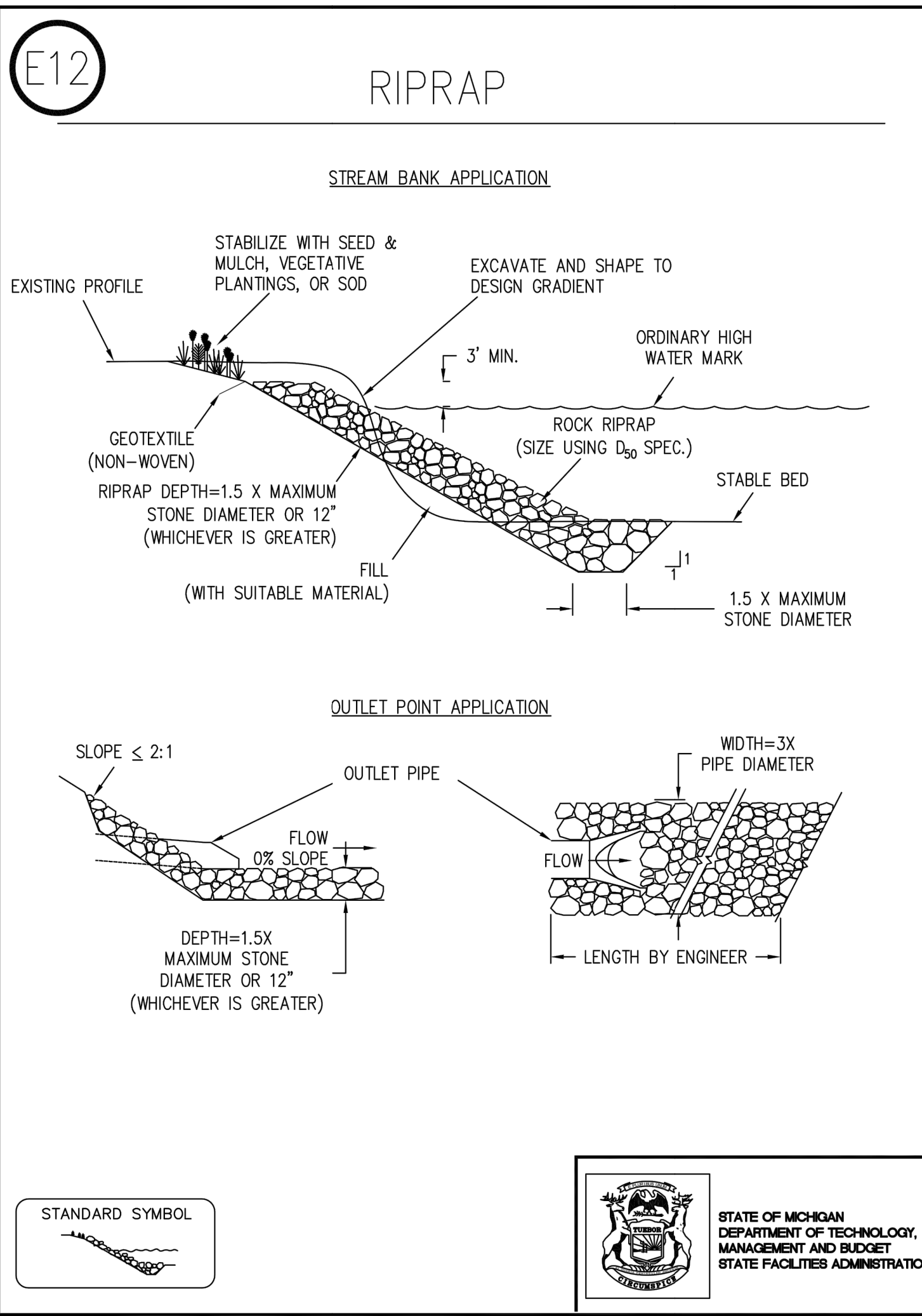
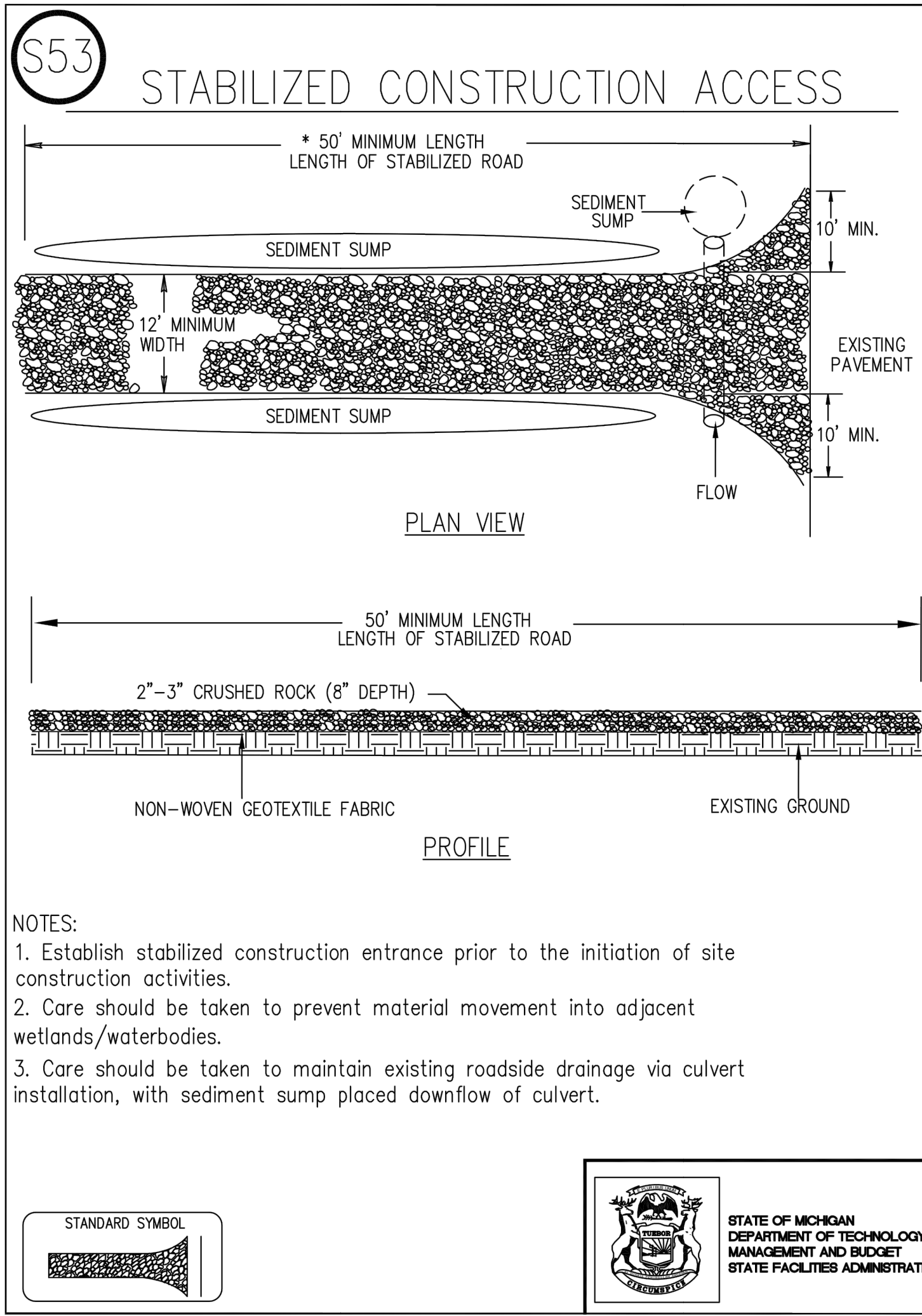
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EROSION CONTROL PLAN

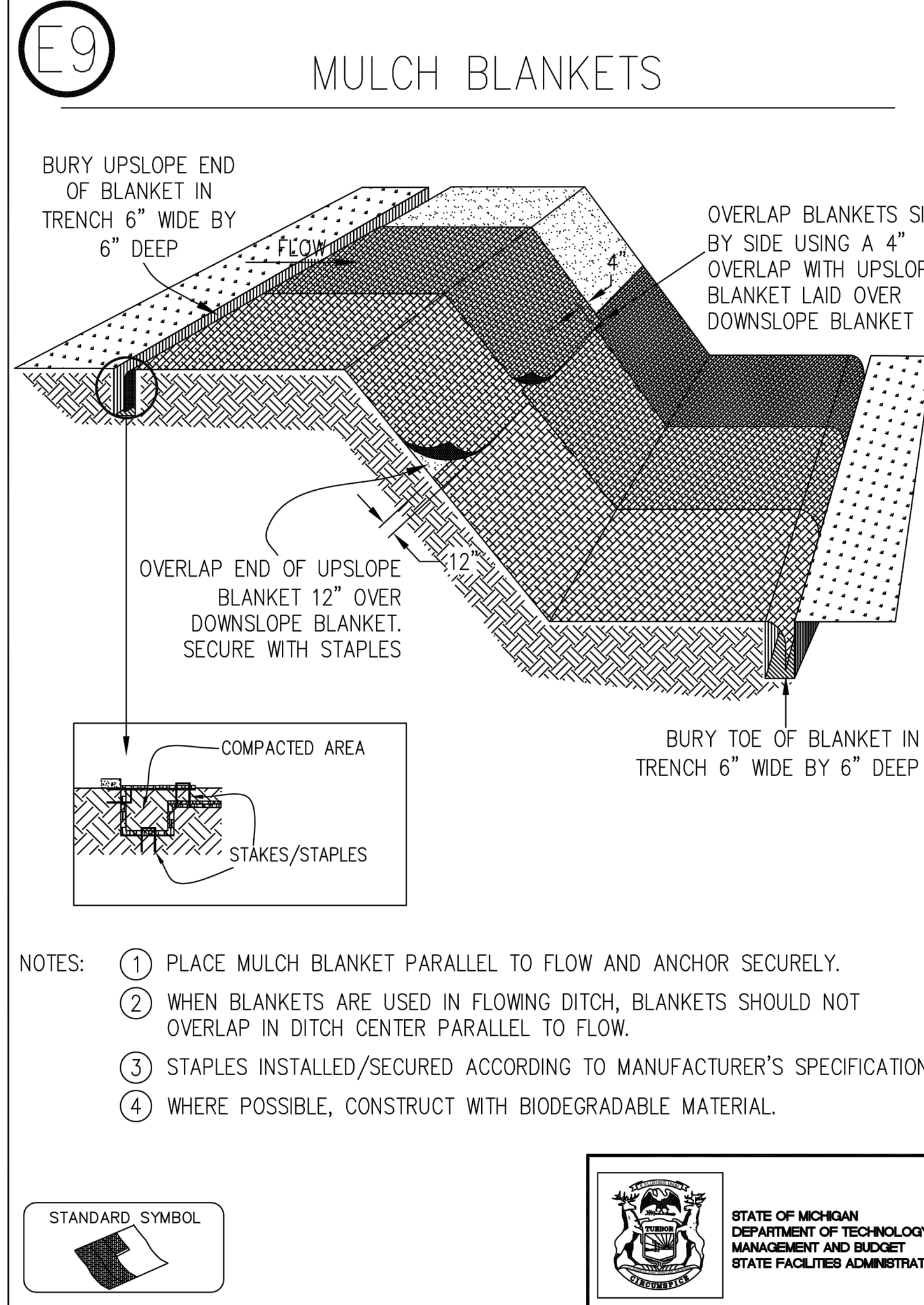
JERSEY ST HOUSING DEVELOPMENT
 PLAINWELL, MI

ORIGINAL ISSUE:
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STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A			*	*					
DORMANT SEEDING	B										B	
TEMPORARY SEEDING			C				D					
SODDING			E									
MULCHING	F		**									

- A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE
- B KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE
- C SPRING OATS 100 LBS/ACRE
- D WHEAT OR CEREAL RYE 150 LBS/ACRE
- E SOD
- F STRAW MULCH 2 TONS/ACRE
- * WATERING NEEDED DURING JUNE AND JULY
- ** WATERING NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD



E8 PERMANENT SEEDING

Planting Zones:	Lower Peninsula (South of T20N) Zone 1	Lower Peninsula (North of T20N) Zone 2	Upper Peninsula Zone 3
Seeding Window Permanent Seeding	4/15 - 10/10	5/1 - 10/1	5/1 - 9/20
Seeding Window Dormant Seeding*	11/15 - Freeze	11/01 - Freeze	11/01 - Freeze

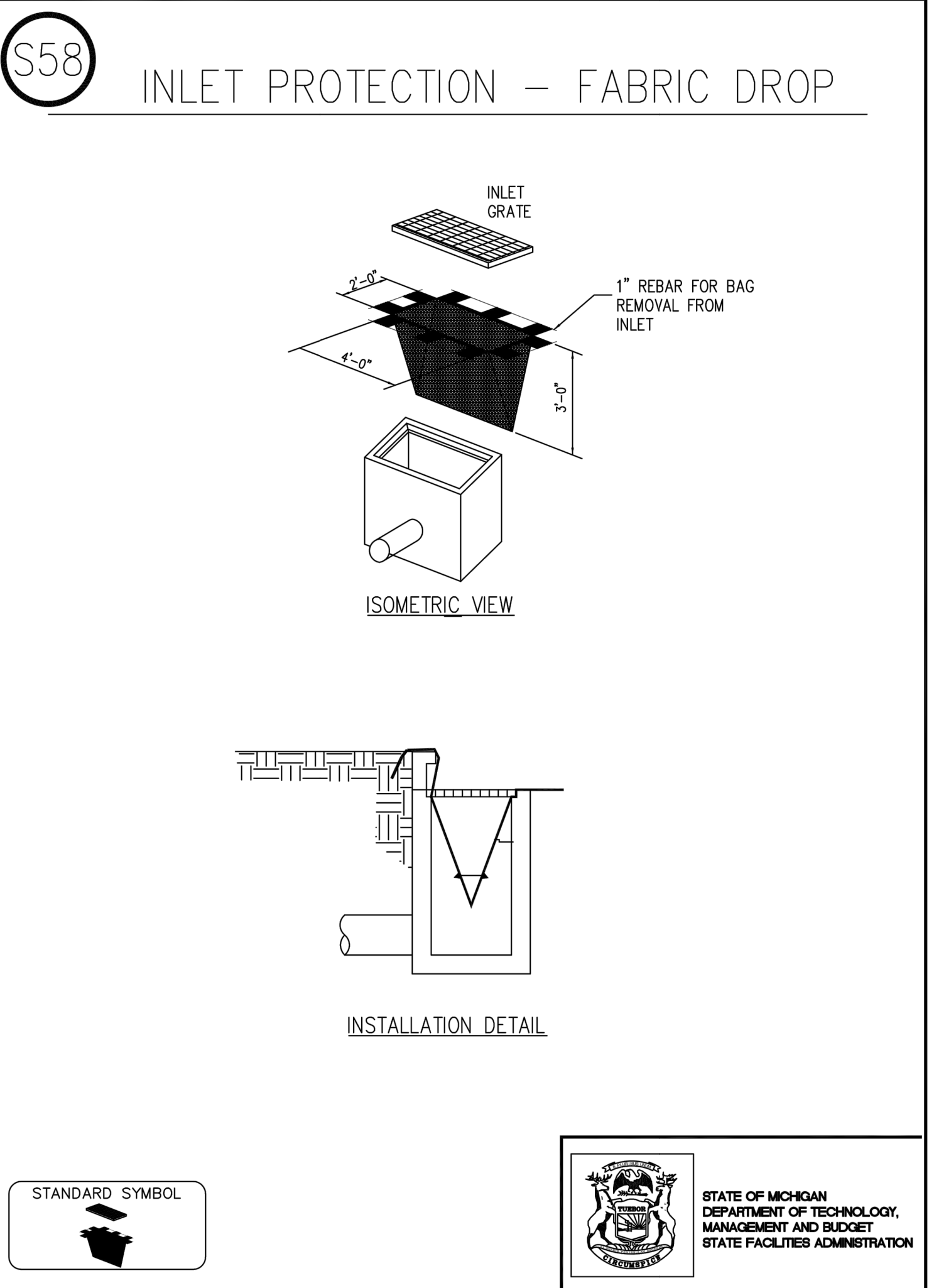
Source: Adapted from MDOT Interim 2003 Standard Specifications for Construction

	Zone 1 Lower Peninsula (South of U.S. 10)	Zone 2 Lower Peninsula (North of U.S. 10)	Zone 3 Upper Peninsula
Seeding Dates (with Irrigation or Mulch)	4/1 - 8/1	5/1 - 9/20	5/1 - 9/10
Seeding Dates (w/o Irrigation or Mulch)	4/1 - 5/20 or 8/10 - 10/1	5/1 - 6/10 or 8/1 - 9/20	5/1 - 6/15 or 8/1 - 9/20
Dormant Seeding Dates*	11/1 - Freeze	10/25 - Freeze	10/25 - Freeze

Source: Adapted from USDA NRCS Technical Guide #342 (1999)

* Dormant seeding is for use in the late fall after the soil temperature remains consistently below 50°F, prior to the ground freezing. This practice is appropriate if construction on a site is completed in the fall but the seed was not planted prior to recommended seeding dates. No seed germination will take place until spring. A cool season annual grass may be added in an attempt to have some fall growth.

- Mulch must be used with dormant seed.
- Do not seed when the ground is frozen or snow covered.
- Do not use a dormant seed mix on grassed waterways.



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MITTEN STATE ENGINEERING

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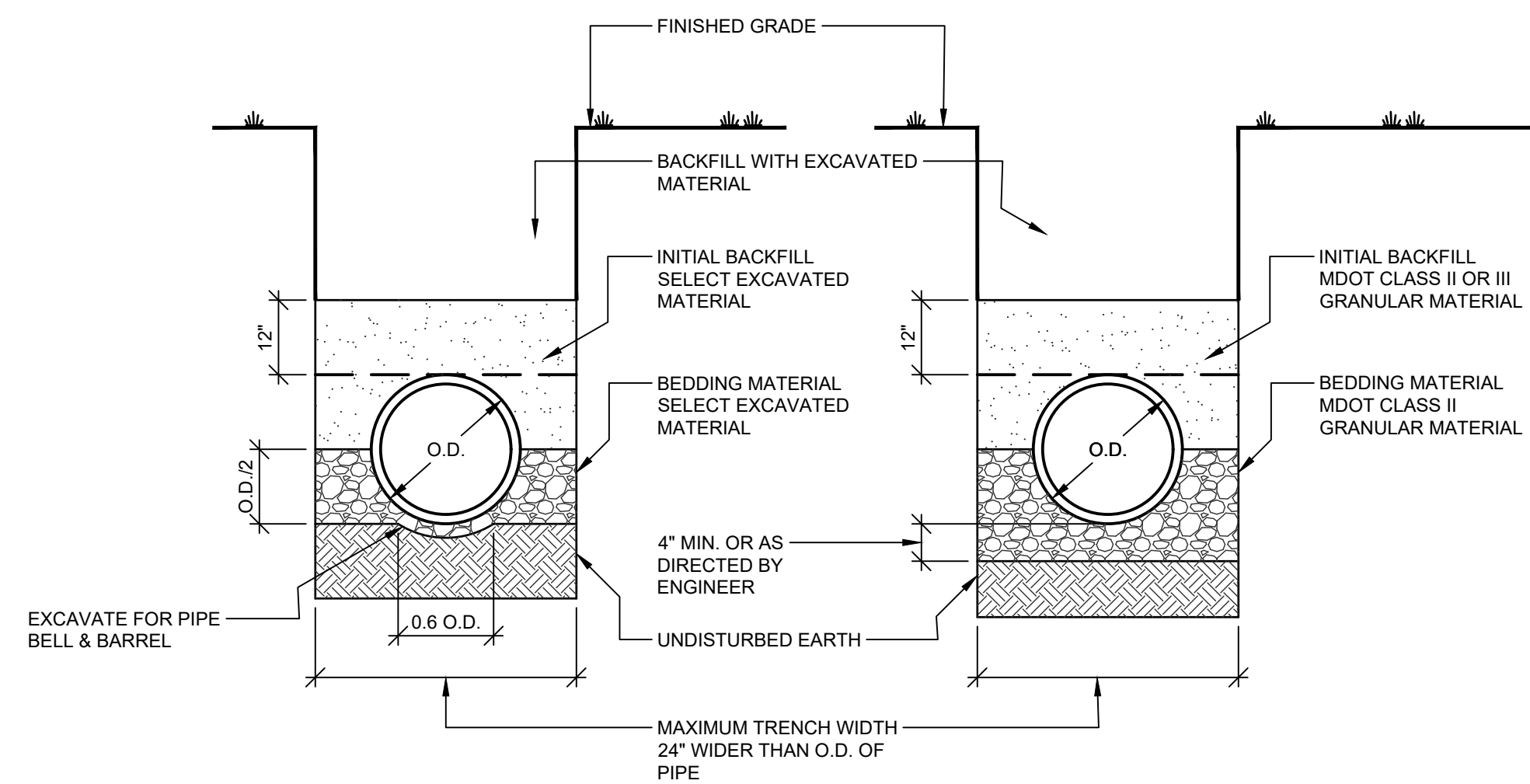
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EROSION CONTROL DETAILS

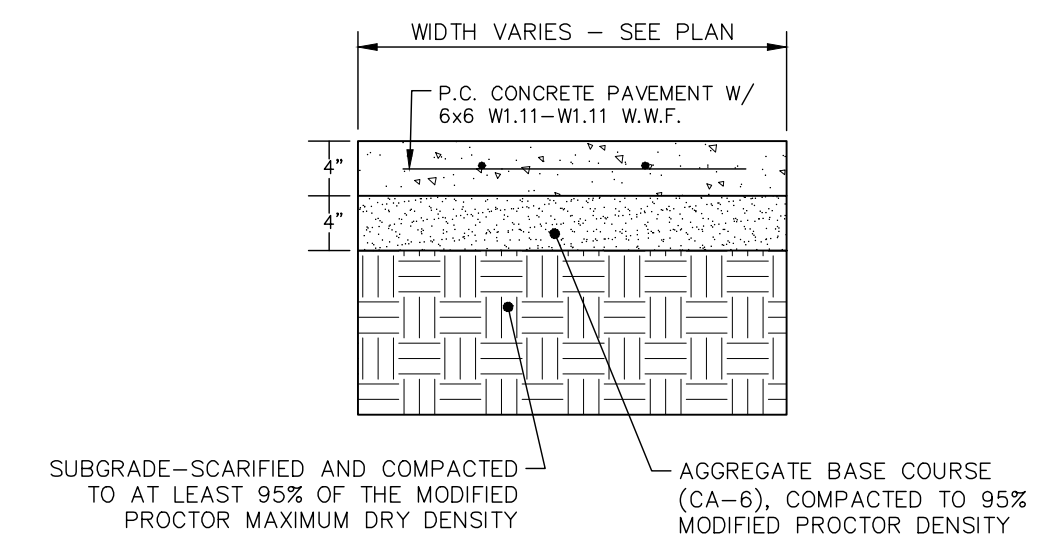
JERSEY ST HOUSING DEVELOPMENT PLAINWELL, MI

ORIGINAL ISSUE: 03/08/2023
PROJECT NO. 22091
SHEET NUMBER C106



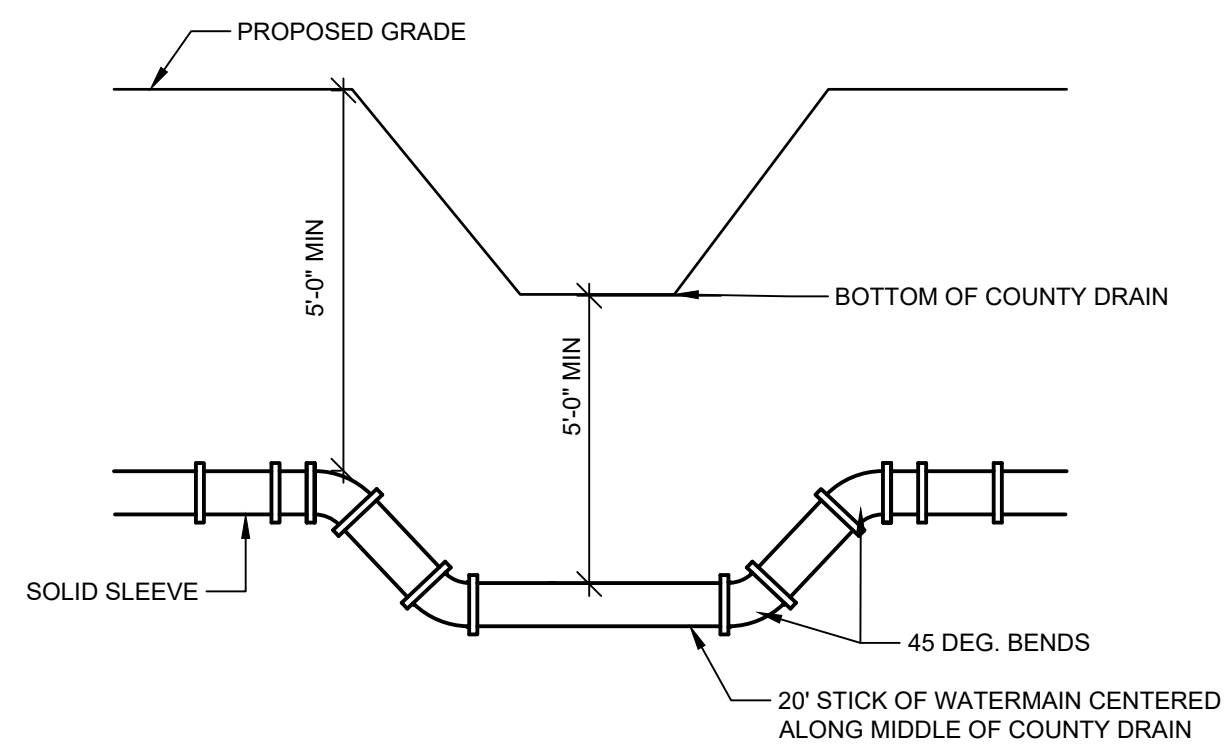
TRENCH DETAIL IN SUITABLE SOIL

TRENCH DETAIL IN UNSUITABLE SOIL

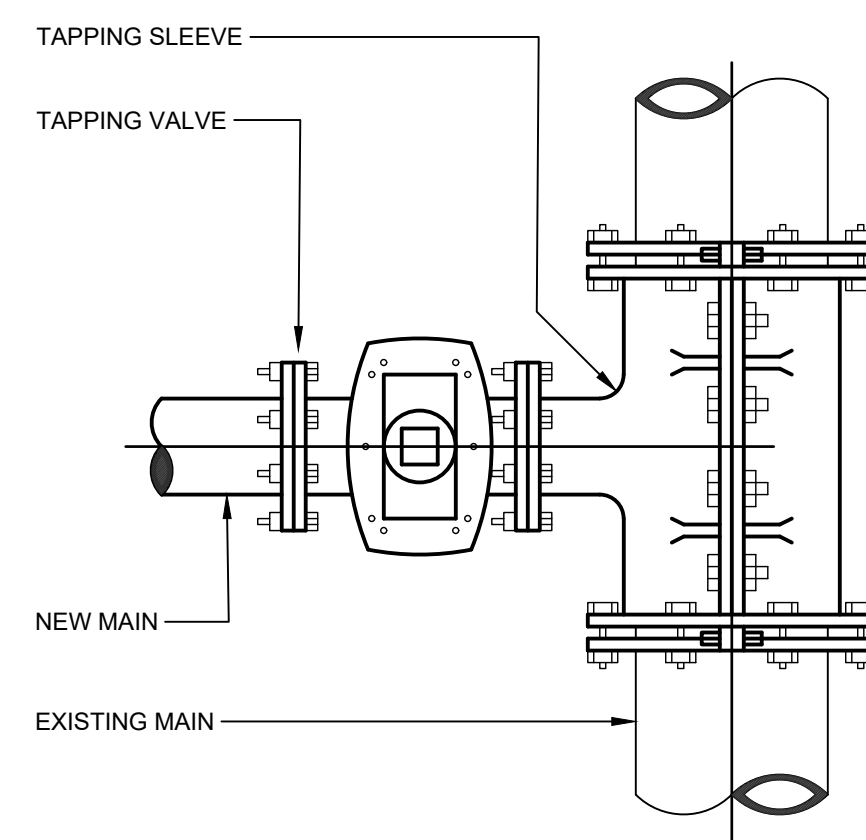


- NOTES:
1. ALL SIDEWALK SHALL BE CONSTRUCTED WITH CONCRETE WITH A MINIMUM COMP. STRENGTH OF 4,500 PSI AT 14 DAYS.
 2. PROVIDE 1/2" EXPANSION JOINTS AT 20', MAXIMUM, SPACING AND FILLED WITH REMOLDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPA JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" F EDGE.
 3. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS.
 4. WELDED WIRE FABRIC (6X6-6X6) SHALL BE INSTALLED THROUGH DRIVEWAYS AT ABOVE SLAB BOTTOM.
 5. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABU EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE.
 6. USE 2-#4 REINFORCING BARS, 10" LONG OVER ALL UTILITY TRENCHES FOR NEW SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK.
 7. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH TH THE DRIVE.

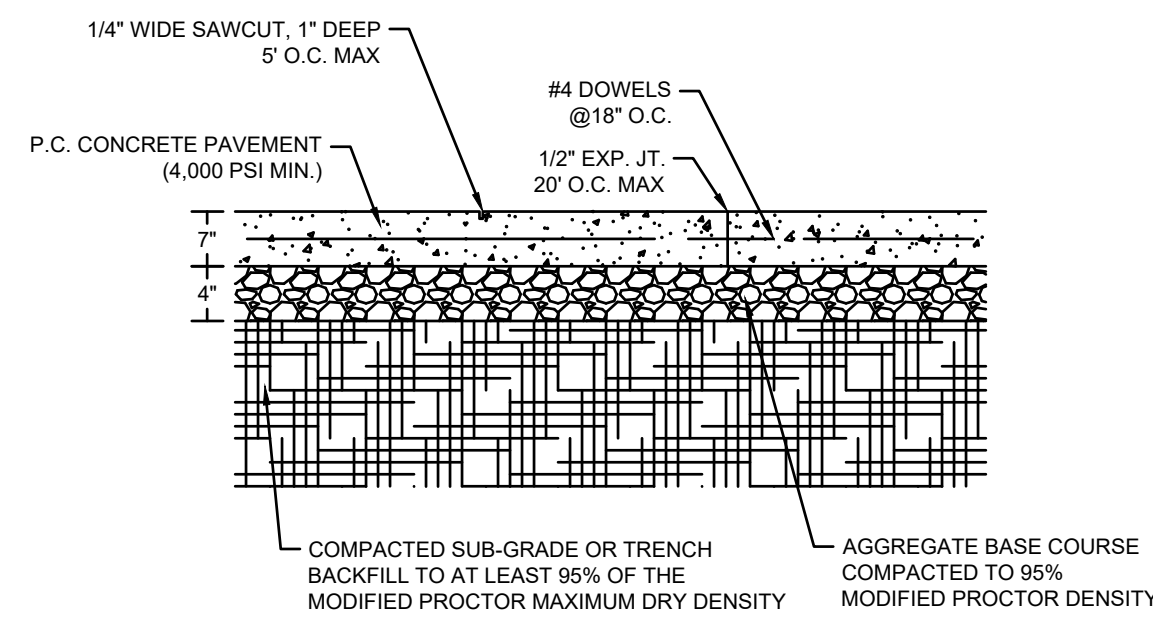
CONCRETE SIDEWALK



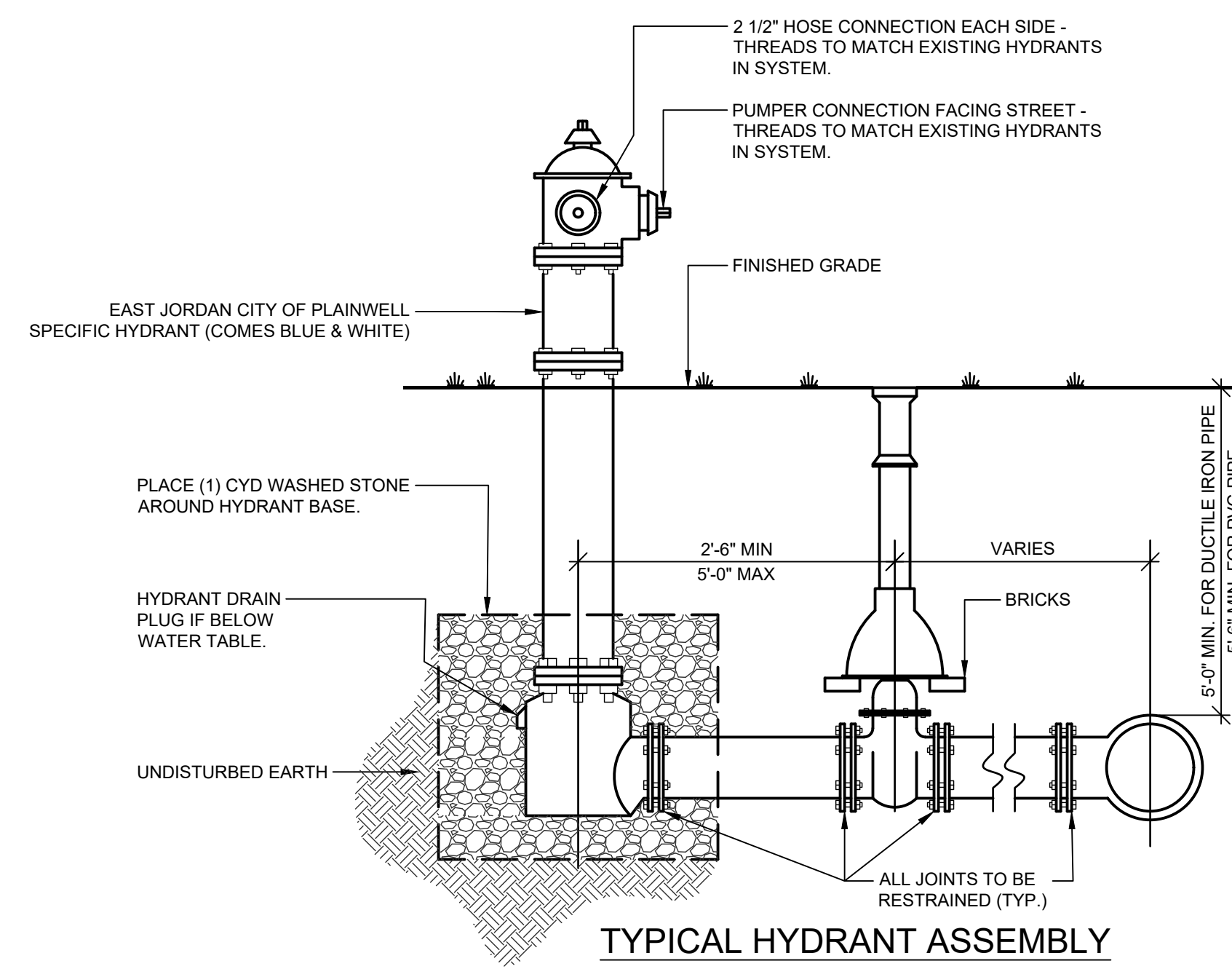
WATER MAIN CROSSING DRAIN



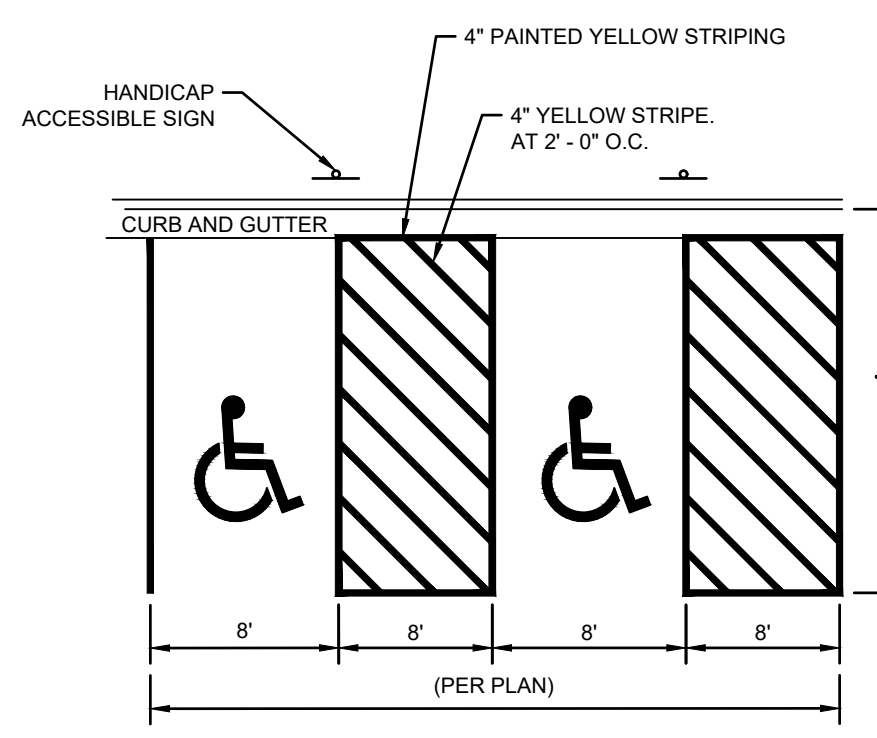
WET TAP METHOD



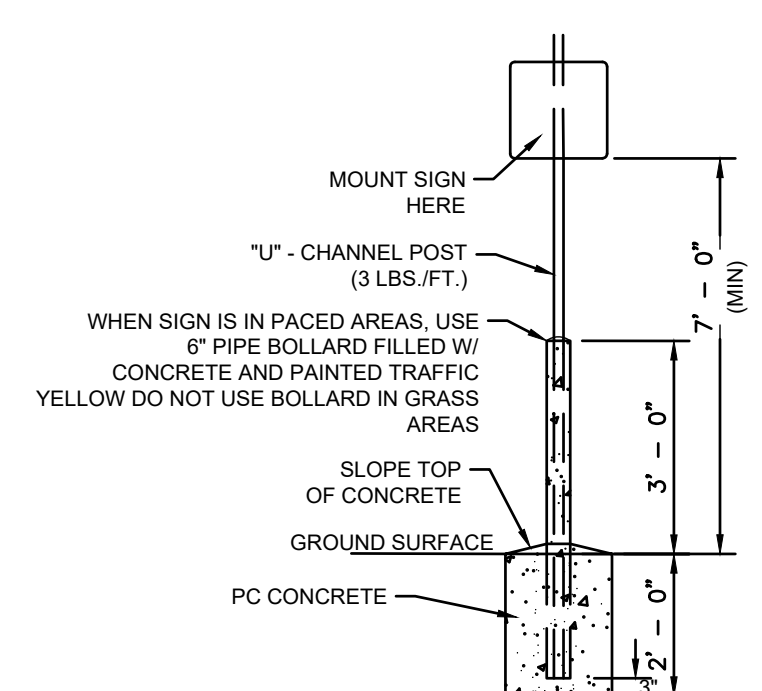
HEAVY DUTY CONCRETE PAVEMENT SECTION



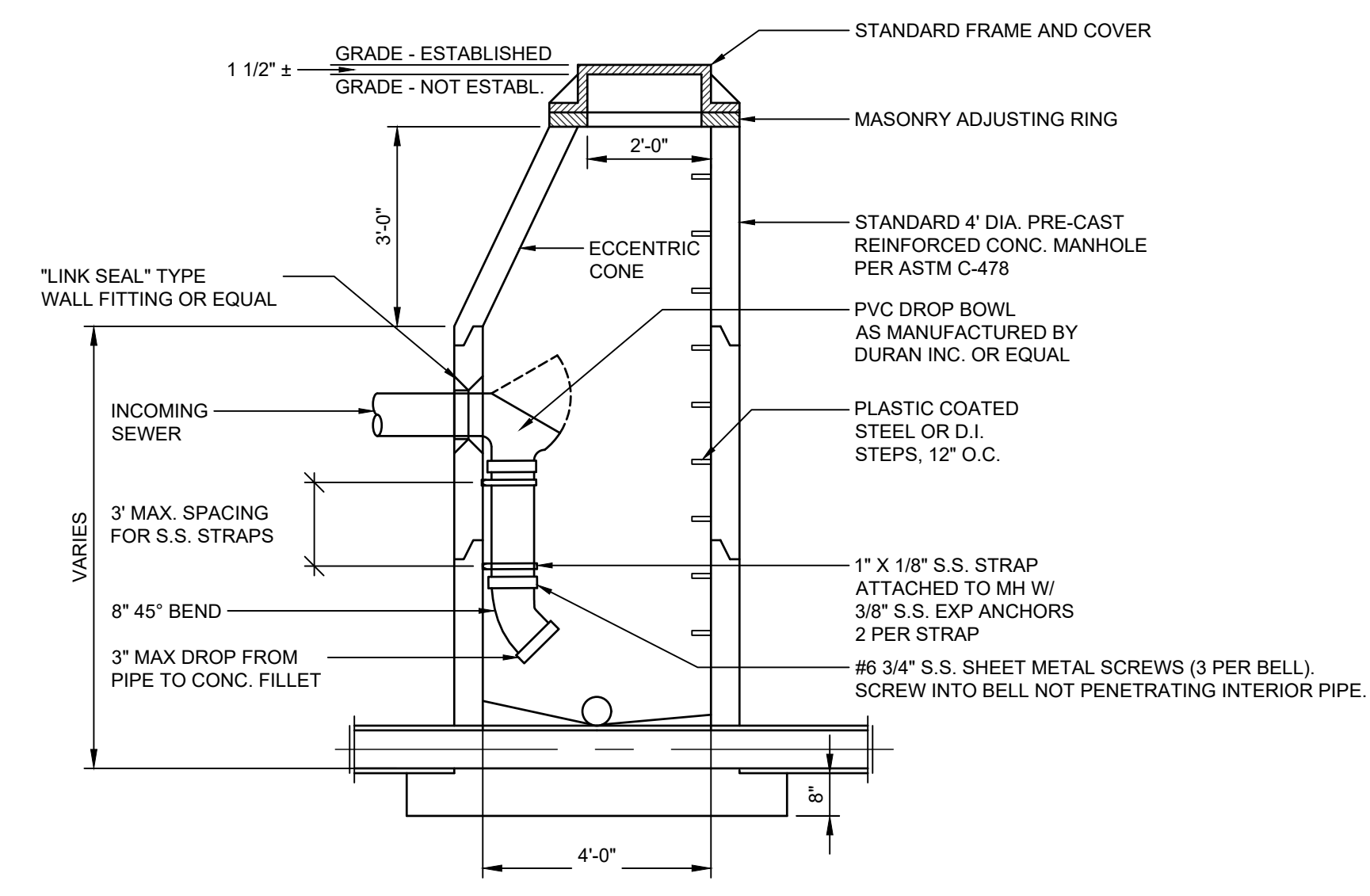
TYPICAL HYDRANT ASSEMBLY



TYPICAL HANDICAP STRIPING

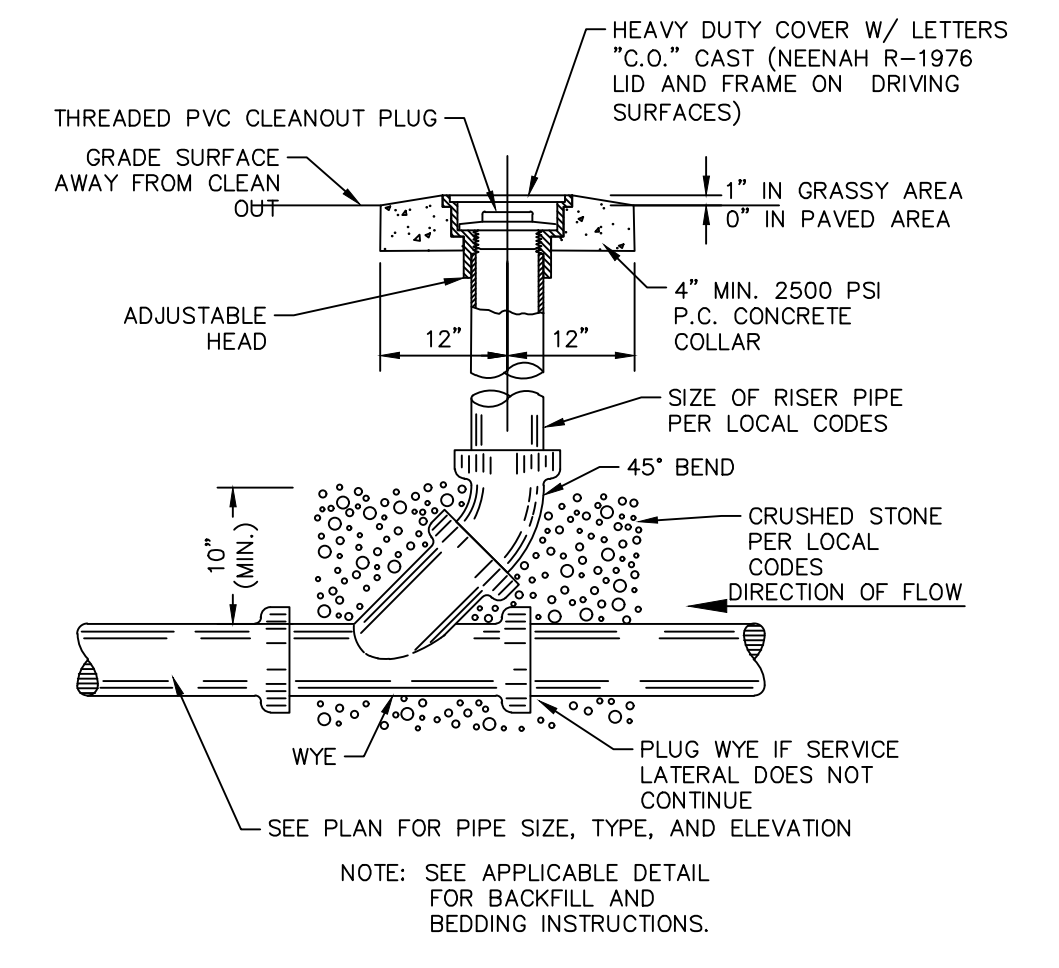


STANDARD SIGN BASE

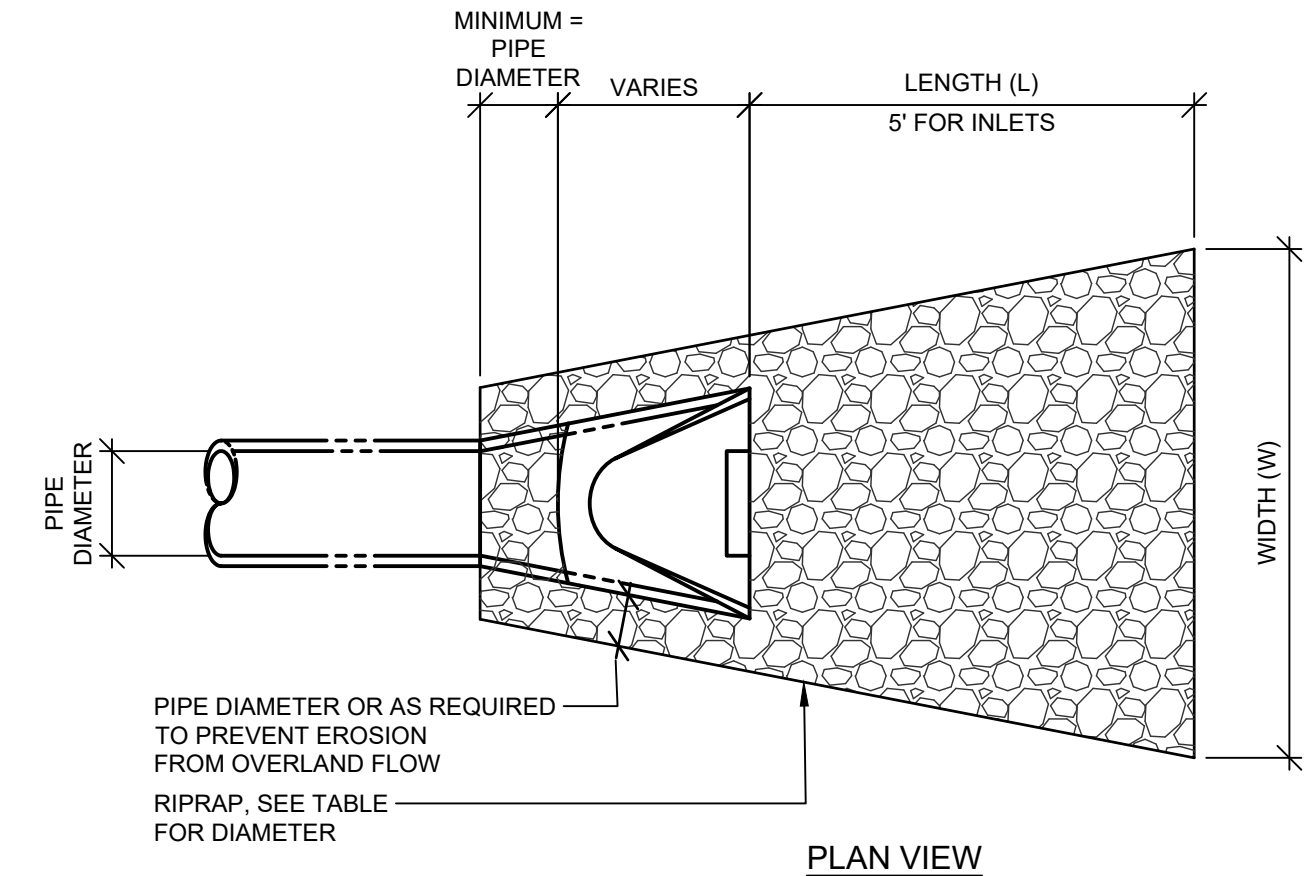


INTERIOR DROP CONNECTION

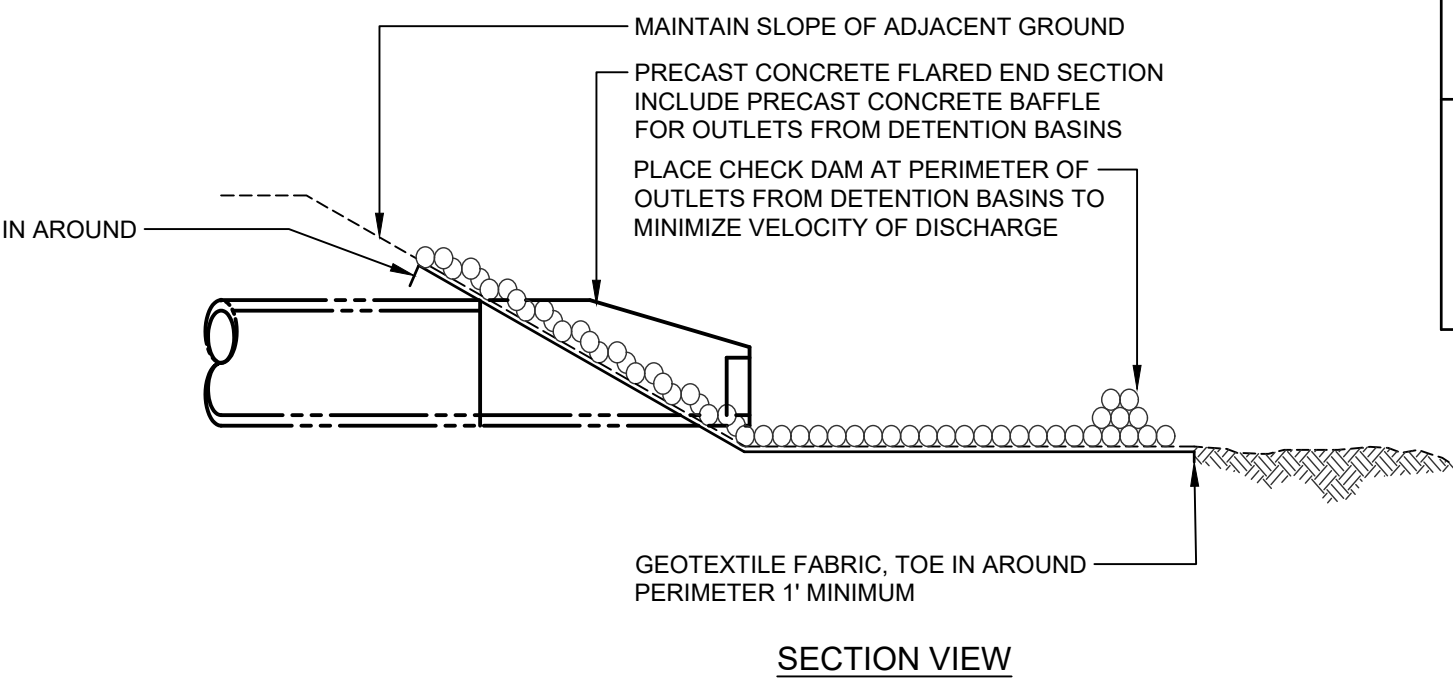
- NOTES:
1. TO BE USED WHERE SEWER ENTERS 2' - 0" OR MORE ABOVE LOWEST INVERT. NOT TO BE USED FOR INLET OR CATCH BASIN CONNECTIONS.
 2. ALL PIPE SDR-26 PVC, ASTM D-3034.



CLEAN-OUT



PIPE DIA	LENGTH (FT)	WIDTH (FT)	RIPRAP Ø (IN)
12"		8'	8" - 16" (PLAIN)
15"	5'	8'	8" - 16" (PLAIN)
18"		8'	8" - 16" (PLAIN)
24"	10'	14'	8" - 16" (PLAIN)
30"		14'	8" - 16" (PLAIN)
36"		14'	8" - 16" (PLAIN)
42"		20'	8" - 16" (PLAIN)
48"	15'	20'	GREATER THAN 16" (HEAVY)
54"		20'	GREATER THAN 16" (HEAVY)
60"		20'	GREATER THAN 16" (HEAVY)



TYPICAL END SECTION DETAIL

NO.	REVISIONS	DATE	BY



ADDRESS:
10123 S M43, SUITE E
DELTON, MI 49046
PHONE:
(269) 364-5626

SCALE: AS NOTED
DESIGNED BY: TLB
DRAWN BY: DMP
CHECKED BY: TWC

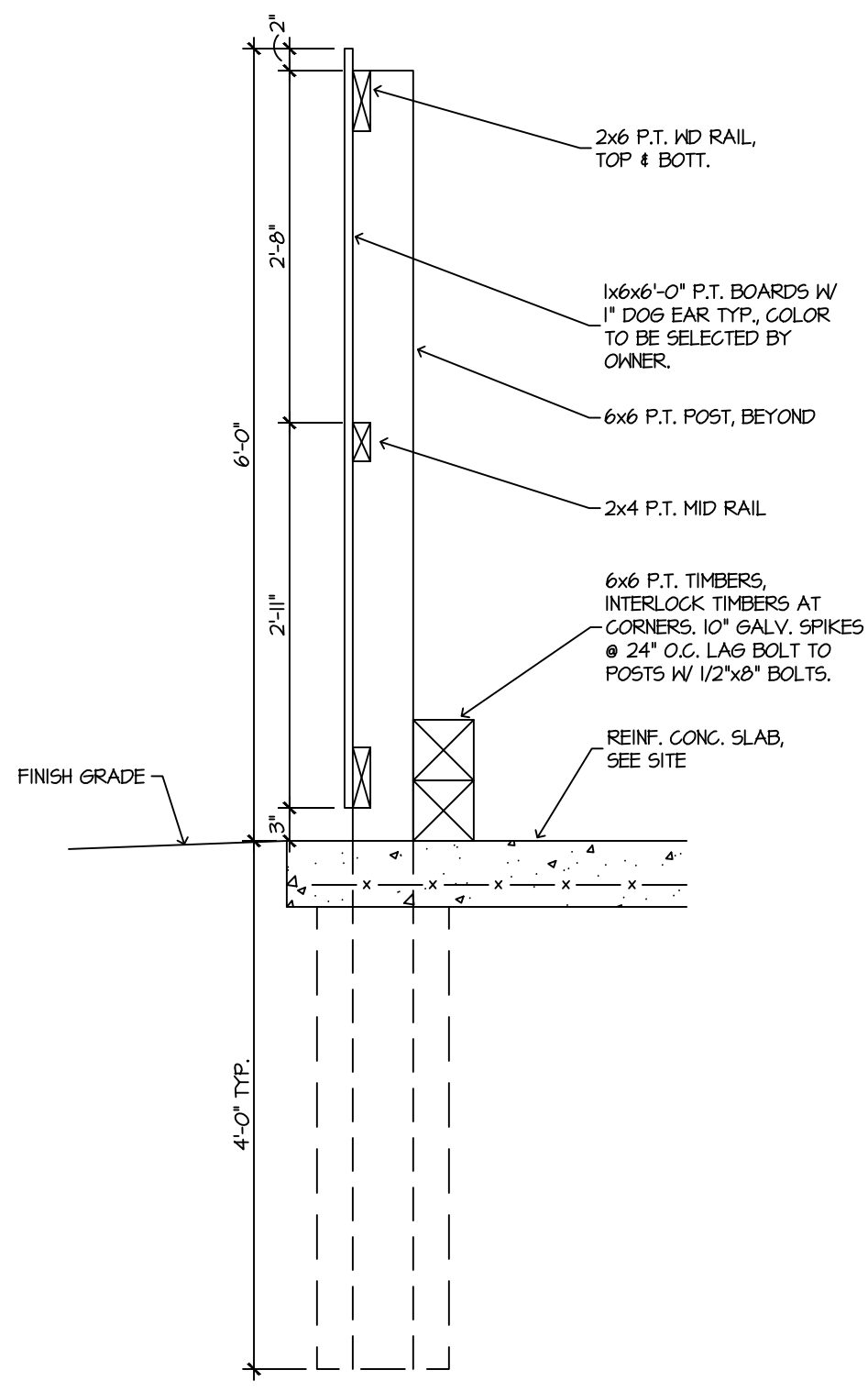
PRELIMINARY

CONSTRUCTION DETAILS

JERSEY ST HOUSING DEVELOPMENT
PLAINWELL, MI

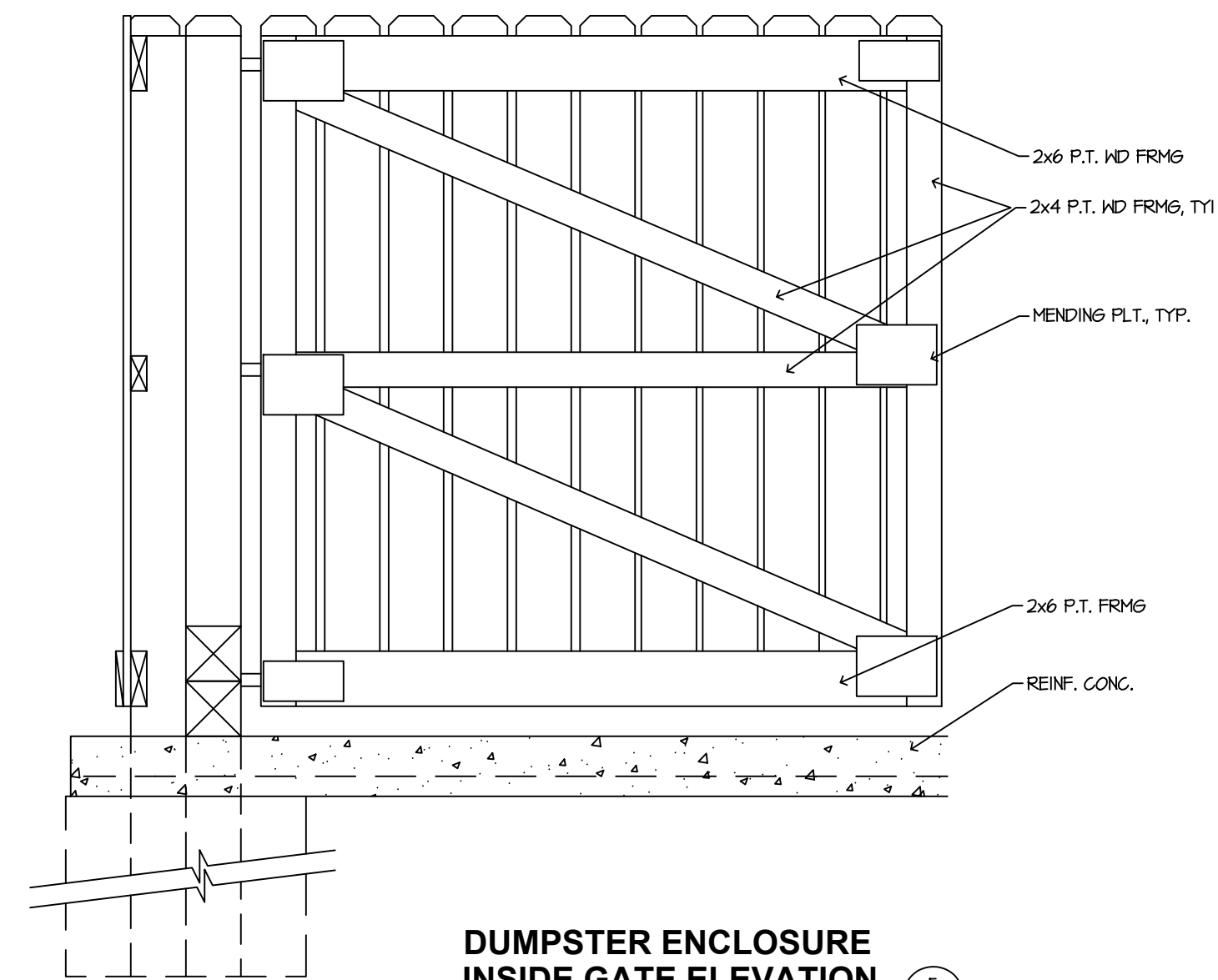
ORIGINAL ISSUE:
03/08/2023
PROJECT NO.
22091

SHEET NUMBER
C107



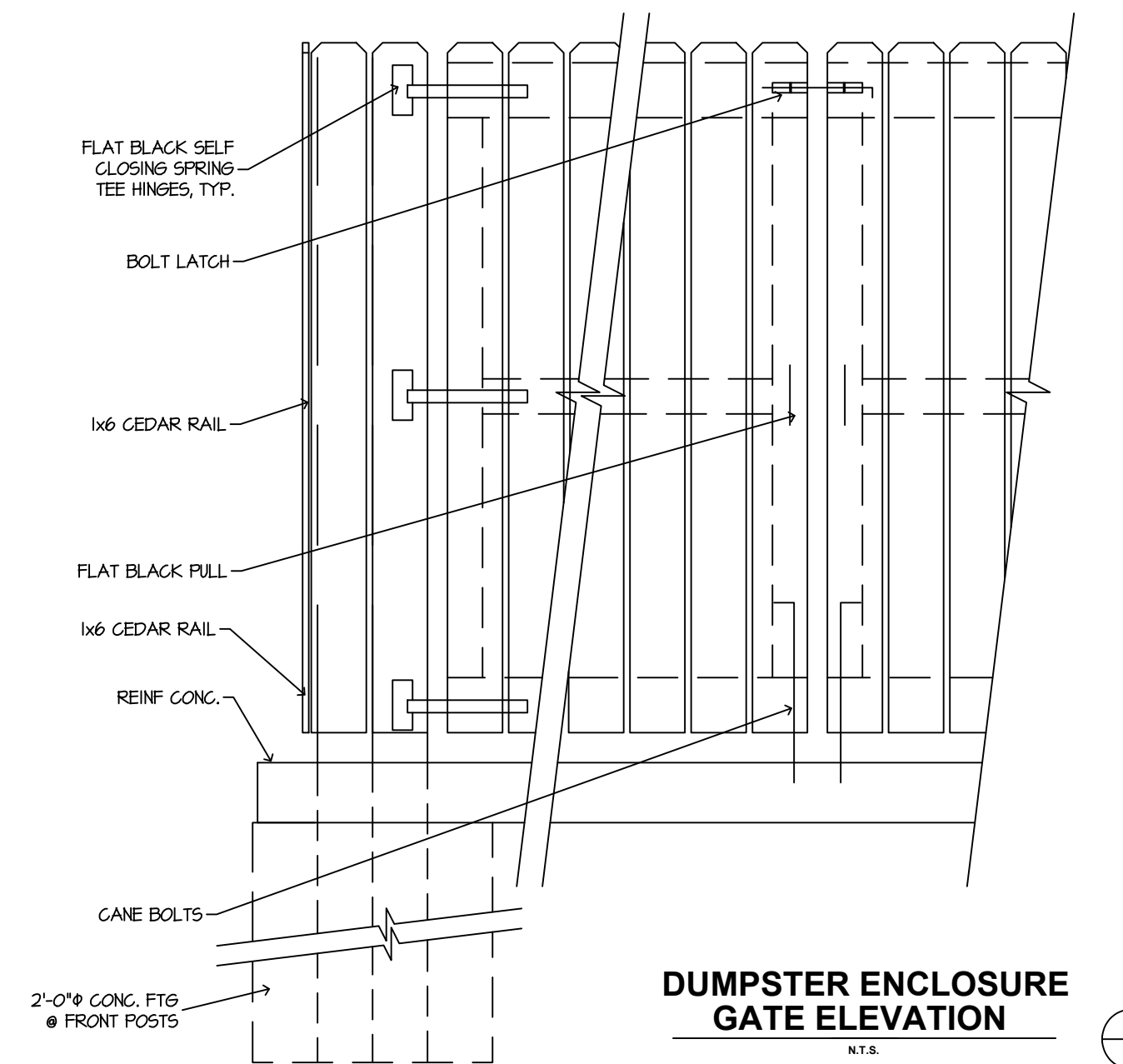
DUMPSTER ENCLOSURE BOLLARD SECTION
NTS

2



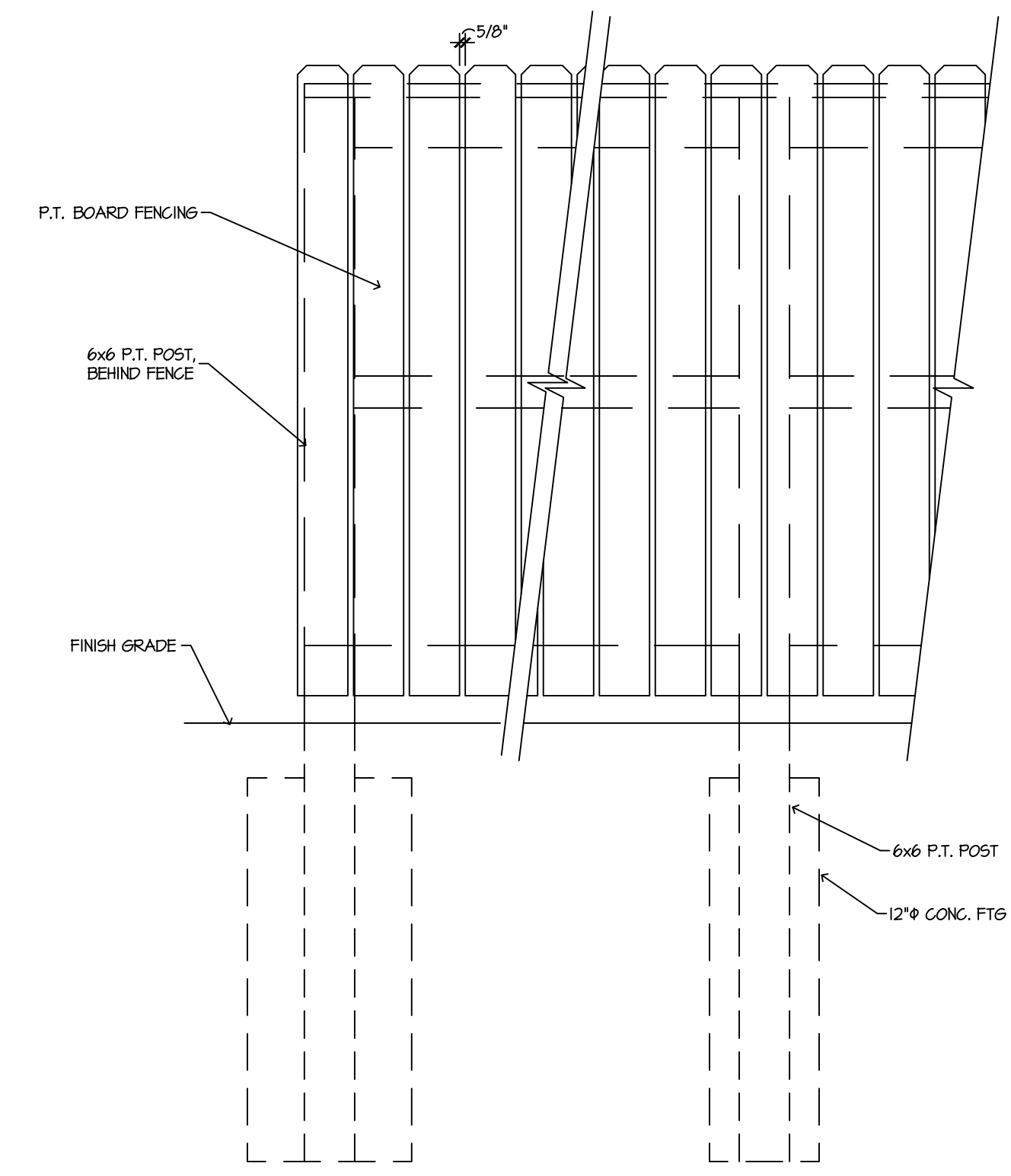
DUMPSTER ENCLOSURE INSIDE GATE ELEVATION
NTS

5



DUMPSTER ENCLOSURE GATE ELEVATION
NTS

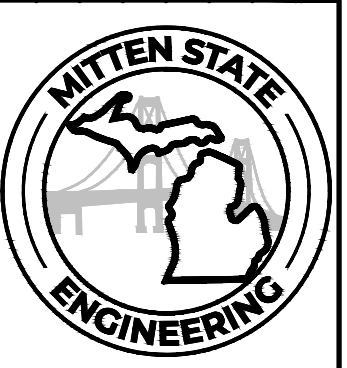
4



DUMPSTER ENCLOSURE FENCE ELEVATION
NTS

3

NO.	REVISIONS	DATE	BY



ADDRESS:
10123 S M43, SUITE E
DELTON, MI 49046
PHONE:
(269) 364-5626

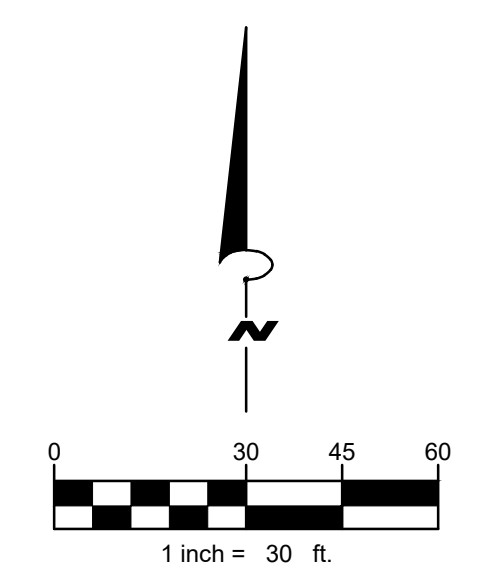
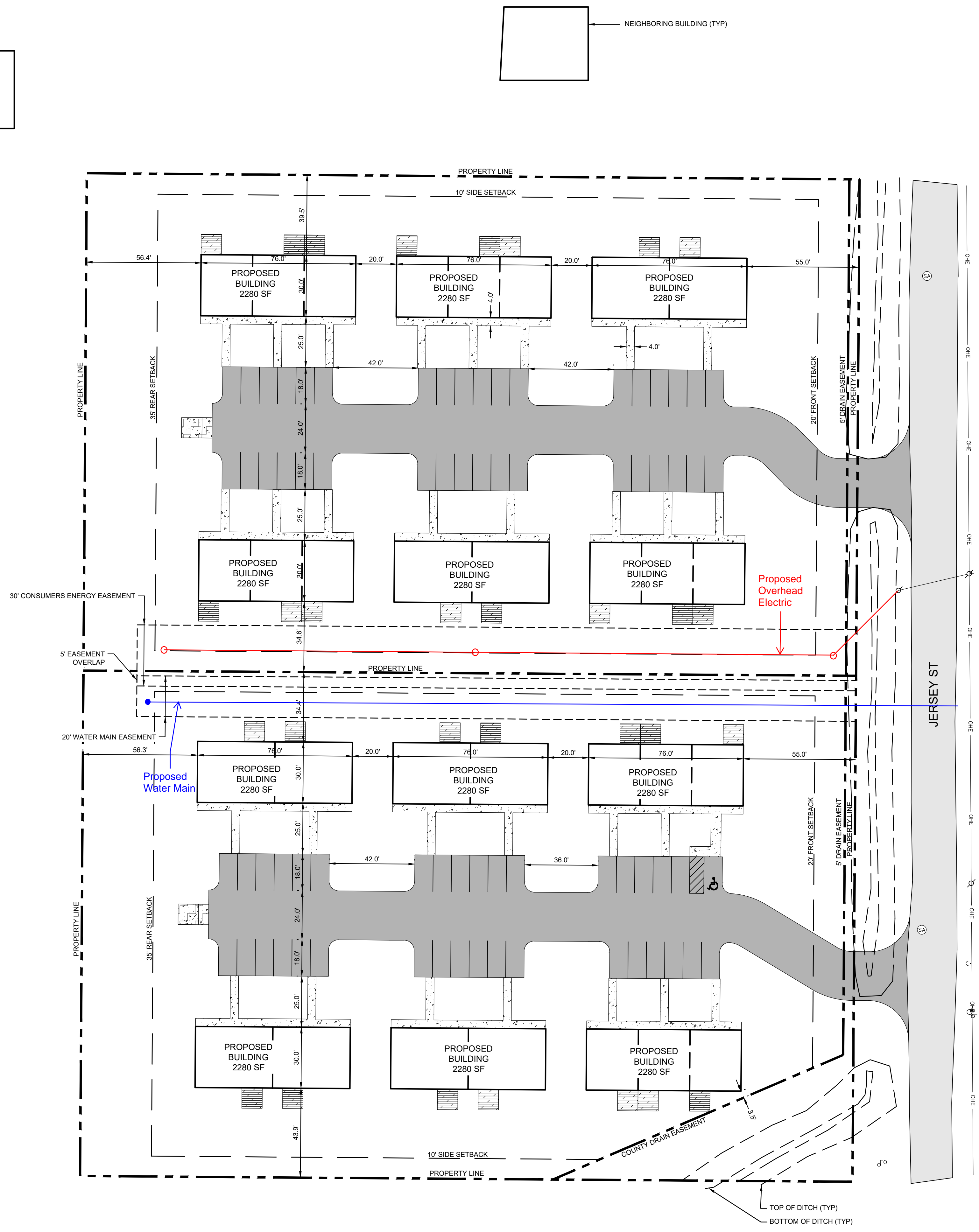
SCALE: AS NOTED
DESIGNED BY: TLB
DRAWN BY: DMP
CHECKED BY: TWC

CONSTRUCTION DETAILS

JERSEY ST HOUSING DEVELOPMENT
PLAINWELL, MI

ORIGINAL ISSUE:
03/08/2023
PROJECT NO.
22091
SHEET NUMBER

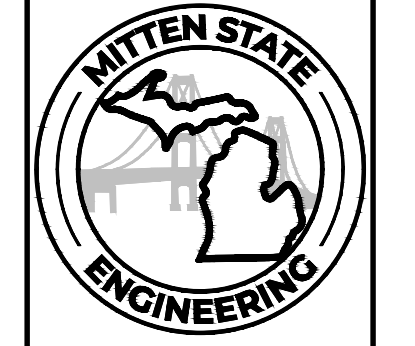
C108



PAVEMENT LEGEND	
	STANDARD DUTY CONCRETE PAVEMENT: SEE DETAILS
	HEAVY DUTY CONCRETE PAVEMENT: SEE DETAILS
	STANDARD DUTY PAVEMENT: 1.5" HMA (165#/SYD) 5E1 TOP COURSE 1.5" HMA (275#/SYD) 4E1 LEVELING COURSE 8" AGGREGATE BASE, 22A 12" SUBBASE, CIP

SITE INFORMATION	
ZONING:	R2 MULTIPLE FAMILY RESIDENCE
SITE AREA:	4.29 ACRES (186,810 SF)
BUILDING AREA:	29,184 SF (15.6%)
NUMBER OF STORIES:	1
IMPERVIOUS COVERAGE:	62,512 SF (33.5%)
PROPOSED GREEN SPACE:	124,298 SF (66.5%)
BUILDING SETBACKS:	
FRONT:	30 FT
SIDE:	10 FT
REAR:	25 FT
OFF-STREET PARKING REQUIREMENTS:	
STANDARD PARKING SPACE:	18 FT X 9 FT WITH 24' DRIVE AISLES
6 PARKING SPACES PER BUILDING	
TOTAL SPACES REQUIRED:	72 SPACES
TOTAL SPACES PROVIDED:	72 SPACES
ADA PARKING SPACES REQUIRED:	1 PER ACCESSIBLE UNIT
ADA PARKING SPACES PROVIDED:	1

NO.	REVISIONS	DATE	BY



ADDRESS:
10123 S M43, SUITE E
DELTON, MI 49046
PHONE:
(269) 364-5626

SCALE:	AS NOTED
DESIGNED BY:	TLB
DRAWN BY:	DMP
CHECKED BY:	TWC

OVERALL SITE PLAN

JERSEY ST HOUSING DEVELOPMENT
PLAINWELL, MI

ORIGINAL ISSUE:
10/31/2022
PROJECT NO.
22091
SHEET NUMBER
C101

MINUTES
Plainwell City Council
February 27, 2023

1. Mayor Keeler called the regular meeting to order at 7:00 PM in City Hall Council Chambers.
2. The invocation was given by Peter Dams of Lighthouse Baptist Church.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Keeler, Mayor Pro Tem Steele, Councilmember Overhuel, Councilmember Keeney and Councilmember Wisnaski. Absent: None.
5. Approval of Minutes:
A motion by Steele, seconded by Overhuel, to accept and place on file the Council Minutes of the 02/13/2023 regular meeting and the 02/21/2023 special meeting. On a voice vote, all voted in favor. Motion passed.
6. Public Comment: None.
7. County Commissioner Report:
County Commissioner Gale Dugan wished City Manager Wilson well on his new endeavor. He gave a synopsis of two (2) meetings of the County Board of Commissioners, noted that election materials would still be received at the Courthouse, and fielded questions about county dams.
8. Agenda Amendments: None.
9. Mayor's Report: None.
10. Recommendations and Reports:
 - A. **A motion by Steele, seconded by Overhuel, to open the Public Hearing at 7.13pm. On a voice vote, all in favor. Motion passed.**

City Clerk Kelley reported that the Planning Commission recently considered amendments to the sign ordinance to include the definition of a sandwich board, the height, construction and durability of signs and how many signs a business can use in the right of way. City Manager Wilson noted that the ordinance creates more uniformity for signage. The Planning Commission recommends approval.

No public comment.

A motion by Overhuel, seconded by Steele, to close the Public Hearing at 7.15pm. On a voice vote, all in favor. Motion passed.

A motion by Steele, seconded by Overhuel, to approve Ordinance 394 amending Sections 52-3 and 52-10 of the Zoning Code. On a roll call vote, all voted in favor. Motion passed.

B. City Clerk Kelley reported that application has been received for a special liquor license for certain special events at Around the Board Game Café, which needs local board approval before the State can consider the application.

A motion by Keeney, seconded by Wisnaski, to adopt Resolution 2023-11 for a Special License for Liquor Sales at Around the Board Game Café. On a roll call vote, all voted in favor. Motion passed.

C. Manager Wilson reported that Community Development Manager Siegel has worked to secure a \$40,000 grant from Priority Health for an outdoor fitness court. The next step in the process is for the National Fitness Campaign Committee to help secure the rest of the funding with local support. The project is contingent pending funding confirmation from outside sources.

A motion by Overhuel, seconded by Steele, to adopt Resolution 2023-12 supporting the National Fitness Campaign Committee in providing public outdoor fitness courts. On a roll call vote, all voted in favor. Motion passed.

D. Superintendent Pond reported on a budgeted project to maintain and clean the Dystor Tank in coordination with the cover replacement coming up. The cost is higher than original budgeted, but a necessary cost of maintenance of the tank and the anerobic digesters. The tank should be cleaned every 7 to 8 years and it's been more than 10 years since the last cleaning. The digester valves are failing and six (6) are being replaced as part of this project.

A motion by Wisnaski, seconded by Keeney, to approve a project with Plummer's Environmental to clean the Dystor tank and anerobic digesters for a cost not to exceed \$68,750.00. On a roll call vote, all voted in favor. Motion passed.

E. Superintendent Pond noted that in addition to the cover replacement contract, two small leaks should be repaired while the tank is offline. Two bids were received for the project.

A motion by Keeney, seconded by Wisnaski, to accept a bid of \$5,995.00 from Mulders Waterproofing to waterproof the Dystor tank. On a roll call vote, all voted in favor. Motion passed.

F. Mayor Pro Tem Steele opened a discussion about search firms for a city manager. Each Council member expressed their review of the proposals distributed at the February 21, 2023 special meeting. There was a discussion of creating a committee to consider the candidates and how that would be coordinated with a professional search firm. There was a discussion about attorney involvement through the process.

A motion by Steele, seconded by Keeney, to negotiate a contract with Walsh Municipal Services for purposes of conducting a city manager search. On a roll call vote, all voted in favor. Motion passed.

11. Communications:

A. A motion by Steele, seconded by Overhuel, to accept and place on file the January 2023 Water Renewal report and the draft 02/14/2023 DDA/BRA/TIFA meeting minutes and the draft 02/16/2023 Parks & Trees meeting minutes. On a voice vote, all voted in favor. Motion passed.

12. Accounts Payable:

A motion by Wisnaski, seconded by Keeney, that the bills be allowed and orders drawn in the amount of \$755,388.62 for payment of same. On a roll call vote, all voted in favor. Motion passed.

13. Public Comments: None

14. Staff Comments:

Superintendent Nieuwenhuis reported that the city lucked out and missed most of the damage from the recent ice storm. The DPW crew managed the storm well.

Superintendent Pond reported on maintenance of two (2) older diesel mowers used to mow the mill and the right-of-ways.

Deputy Director John Varley reported a successful LEIN audit and thanked Angela Doster and all the staff for their hard work. He reported ongoing training and briefed Council on an ordinance violation investigation.

Finance Director/Clerk Kelley reported that tax collections were nearly complete for Tax Year 2022. Settlement with County will happen on Wednesday March 1. He reported that the city is close on making an offer for Utility Billing Specialist. He reported working with Personnel Coordinator Kersten on posting the City Clerk position. He reported working on the budget and utility billing issues.

Manager Wilson thanked the Department of Public Safety for its professionalism in handling a recent incident on West Bridge Street. He reported a public hearing on the dam project is scheduled for March 23.

15. Council Comments:

Each Councilmember thanked Public Safety for its professionalism and congratulated the Plainwell High School Wrestling Team in its recent successes at the state tournament level.


16. Adjournment:

A motion by Steele, seconded by Overhuel, to adjourn the meeting at 8:00 PM. On a voice vote, all voted in favor. Motion passed.

Minutes respectfully
Submitted by,
Brian Kelley
City Clerk

MINUTES APPROVED BY CITY COUNCIL

March 13, 2023



Brian Kelley, City Clerk

MINUTES
Plainwell City Council
March 6, 2023

1. Mayor Keeler called the special meeting to order at 5:00 PM in City Hall Council Chambers.
2. Pledge of Allegiance was given by all present.
3. Roll Call: Present: Mayor Keeler, Mayor Pro Tem Steele, Councilmember Overhuel, Councilmember Keeney and Councilmember Wisnaski. Absent: None.
4. Approval of Agenda:
A motion by Steele, seconded by Overhuel, to approve the agenda for the special meeting as presented. On a roll call vote, all voted in favor. Motion passed.
5. New Business:

A. City Manager Wilson introduced Frank Walsh of Walsh Municipal Service. Mr. Walsh thanked Council for the opportunity and reported he has over 27 years of recruitment experience and is ready to recruit for Plainwell. He explained the process that begins with a Community Profile that will be published to generate interest in the community. He reported that the profile would be posted on or around Friday, March 10, 2023. He went on to explain possible challenges in recruiting talent in an industry where more are exiting the field versus entering it. He suggested focusing on a 35-mile radius around Plainwell for recruitment and to be open to someone with experience outside of municipal government. Walsh noted that the posting would be uploaded to Linked In, GlassDoor and MML with two targeted blitzes during a 4-week posting period to end on April 7. He said his firm would vet the candidates and present confidential candidate profiles to City Council in a closed session for Council to discuss and review the redacted resumes, then Council would select in open session the candidates to interview and schedule the interviews. Once the candidate agrees to the interview, the candidate names could be made public. The interview is an open session of Council with pre-selected questions agreed upon between Walsh and the Council, then a conditional offer could be made. Walsh asked for questions.

Councilmember Overhuel asked if Plainwell was the only current search. Walsh reported his firm is currently conducting three (3) searches.

Councilmember Wisnaski asked about the guarantee noted in the proposal. Walsh noted that second-round interviews were rare, but said that the search would continue until Council is satisfied.

Mayor ProTem Steele inquired further about the recruiting challenges.

Councilmember Overhuel questioned whether residency was a concern. Per State Law, residency cannot be a condition of employment.

Mayor Keeler asked whether it would be helpful to form a committee to assist Council in choosing the next City Manager, since the city has used committees in the past. Walsh shared his experience that committees are rare because committees can take a different direction than Council, with whom the city manager decision rests. He also noted the use a committee could compromise the city's ability to hold a closed session meeting to consider the candidates in confidence as required by the Open Meetings Act. Walsh reiterated his experience and said he would leave no stone unturned.

The City of Plainwell is an equal opportunity employer and provider

Mayor ProTem Steele asked about coordinating with the attorney as noted in the original proposal. Walsh noted in his experience, the attorneys are helpful once a conditional offer is made to review the contract for final consideration.

Mayor Keeler asked about the city's salary range.

Walsh closed by giving options for the open interviews and a possible meet-and-greet for the community, but noted that since Covid, those community gatherings rarely happen. The interviews are a public meeting, so the community can be involved.

6. Public Comments: None.

7. Council Comments: None

8. Adjournment:

A motion by Steele, seconded by Overhuel, to adjourn the meeting at 5:31 PM. On a voice vote, all voted in favor. Motion passed.

Minutes respectfully
Submitted by,
Brian Kelley
City Clerk

MINUTES APPROVED BY CITY COUNCIL

March 13, 2023



Brian Kelley, City Clerk