

City of Plainwell



“The Island City”

Rick Brooks, Mayor
Lori Steele, Mayor Pro-Tem
Brad Keeler, Council Member
Roger Keeney, Council Member
Todd Overhuel, Council Member

Department of Administration Services
211 N. Main Street
Plainwell, Michigan 49080
Phone: 269-685-6821
Fax: 269-685-7282
Web Page Address: www.plainwell.org

Agenda Planning Commission July 17, 2019 7:00 PM

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Minutes: 06/19/19 Planning Meeting
5. Chairman’s Report
6. New Business:
 - A. Site Plan Review for Ransom District Library
 - B. Site plan for Sherwood Park Restroom
7. Old Business:
 - A. Public meeting - Marihuana Presentation September 4, 2019
8. Reports and Communications:
 - A. 6/10/19 & 6/24/19 Council minutes
9. Public Comments
10. Staff Comments
11. Commissioners/ Council Comments
12. Adjournment

The City of Plainwell is an equal opportunity provider and employer

**CITY OF PLAINWELL
MINUTES
Planning Commission
June 19, 2019**

1. Call to Order at 7:02 p. m. by Sausaman
2. Pledge of Allegiance was given by all present.
3. Roll Call: Present: Jay Lawson, Rachel Colingsworth, Lori Steele, Diana Lubic, Stephen Bennett, Gary Sausaman
Excused: Jim Higgs
4. Approval of Minutes – 06/05/19
Steel motioned to approve minutes, as received seconded by Lawson. Minutes approved on an all in favor voice vote.
5. Chairperson’s Report: - None

Closed Planning meeting at 7:05 Open Public Hearing at 7:05

- A. Sausaman open the Public Hearing for 720 N. Main Rezone Application: to rezone 720 N. Main from C1 to SB (service business), along with a special use permit for a holistic animal clinic to utilize 720 N. Main. Dr. Shawn Dolan and Scott Merlett were present; they gave a brief description of their Renewed Animal Wellness Center.

Public Comments were taken:

Cory Redder, 731 Thomas St. asked about construction and additional buildings. No new construction is being considered at this time. Mr. Redder stated that their niche of animal care would be a good idea for the neighborhood.

A letter of concern was presented by Amy and Jim Pell, 712 N. Main St. stating a concern for a fence, being she runs a day care and feels parents would be unsure about coming to her daycare. Also asking the new owners to put in their own sewer, and concerned about tax increase. City Manager, Erik Wilson will meet with the Pell’s to discuss these concerns. Scott Merlett, mentioned they are not opposed to a fence.

Planning Commission comments:

Sausaman asked how many appointments they would have in a day. Approximately 20-30 animals a day. No overnight stays and nothing after 6 or 7 p.m.

Sausaman inquired about number of employees- approximately 7-10 employees.

Steele made a motion to close the public hearing, seconded by Colingsworth. A motion by Bennett to recommend the Planning Commission move forward on the rezone and special use permit and send to City Council on 6/24/19.

6. New Business
7. Old Business

A. Final review of the CIP draft copy 2019-2024
B. Marihuana ordinance discussion. Set a public meeting in September, date TBA.
Staff will compile a summary of other communities and the latest information regarding the new laws.

8. Reports and Communications:

A. 5/28/19 Council Minutes reviewed by Commission

9. Public Comments – None

10. Staff Comments:

Denise Siegel, Community Development Manager mentioned the new site plans for the library arrived; a special meeting will be set to review the plans on or before Wed. July 3, 2019.

Also announced that there will not be fireworks this year due to sponsorship/funding for this year's show.

11. Commissioner Comments: Sausaman mentioned what a great turn out for the Plainwell Days Festival, Rotary sold out of all their food by 3 p.m. on Saturday.

12. Adjournment:

Lubic adjourned the meeting at 7:48 p.m.

Minutes submitted by Denise Siegel, Community Development Manager



Preliminary Site Plan Checklist

City of Plainwell Administration Department
 211 N. Main St. Plainwell, MI 49080
 269-685-6821
 Plainwell.org

Project Name: **Ransom District Library**
 Parcel Number: **55-160-087-20**
 Current Zoning District: **CS**

Item	Requirement	Shown	NO – N/A
1.	Provide name, address and phone number of applicant	X	
2.	Provide name, address, phone number and sealed with signatures of Michigan licensed architect, engineer, designer, landscape architect or planner who prepared the plan. Plan should be stamped "Preliminary or titled Preliminary Site Plan	X	
3.	Has the Zoning Permit has been completed?	X	
4.	Include the north arrow, legend, graphic and written scale on all sheets	X	
5.	Include the land description	X	
6.	Include the zoning of the site and adjacent parcels		
7.	Include the gross land area		
8.	Include scale	X	
9.	Include Structure location(s) Dimensions of lot and property lines- Location of all structures on subject and abutting properties- Location of each proposed structure, w/use(s), w/number of stories, gross building area Distances between structures and lot lines, setback lines	x	
10.	Include Occupancy type and Fire exits	x	
11.	Parking and Paving Proper number of parking spots/handicap? Location of loading docks/zone? Adequate loading space? Asphalt or gravel requirement met?	X	
12.	Landscaping Location and volume meets requirement for zoning district	X	
13.	Lighting Exterior lighting kept substantially on property?	X	
14.	Traffic Flow (vehicular and pedestrian) Driveway permit needed? Does traffic circulation provide safe vehicular and pedestrian flow Public safety vehicle access? Yes Fire lanes needed? Yes	X X	
15.	Storm Water Retention Location of proposed storm collection area shown? Is it an adequate size?		
16.	Dumpster Location and screening met for zoning district		

Item	Requirement	Shown	No- N/A
17.	Water and Sewer Lines (hookups) Will permits be needed? Size and location of water connections/meter(s) ? Is a backflow preventer required? Size and location of sewer connections? Hydrant location Yes (2)		
18.	Noise, Odor, Particulate, Vibration, Combustible or Hazardous Material Concerns		X
19	Signage Plan Describe plan and show signage plan (no signage plan shown)		
20	Outside Storage Will outside storage be required? Proper screen age and distances met?		
21.	Is Minimum/Maximum Lot Width Requirement Met	X	
22.	Is Minimum/Maximum Lot Area Requirement Met	X	
23.	Is Minimum/Maximum Height Requirement Met	X	
24	Are the Setback Requirements met for the zoning district Front - 30 Back - 25 Side - 20	X	
25	Is this a phase Construction? If so Description of each phase:		X
26.	Fire Suppression Considerations (if applicable) Is sprinkler needed or recommended No details provided Fire Pump needed (3 stories or more)		
27.	Is this project in a wellhead Protection/Flood Hazard District?		
28.	Include a brief description of the project Ransom District Library build and demolition		

Reviewed by:

Community Development Manager

Denise Siegel 6/21/19

Public Works Superintendent

Robert Nieuwenhuis 6/24/19

Director of Public Safety

Bill Bomar 6/24/19

City Manger

Internal Use Only

Site Plan Checklist

Date: 6/19/19
Project Name: Ransom District Library
Site Address: 180 Sherwood Ave.
Telephone number:

Permit #: 2019-16
Contact Person:
Parcel #:
Email Address:

Approval Date: _____ Planning Commission
Approval Date: _____ City Commission

1. Minutes sent to applicant

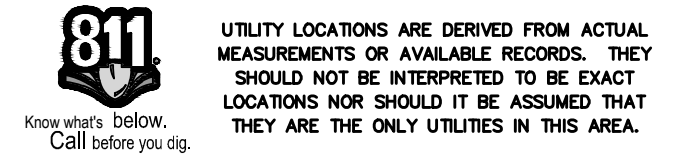
2. Conditions of approval none
 - A. Soil Erosion and Sedimentation control Permit required from Allegan County Water Resources Commissioner
 - B. Take care of any Fire Department Concerns
 - C. Provide a CAD compatible plan

3. Sign Plan Signed by City and Applicant

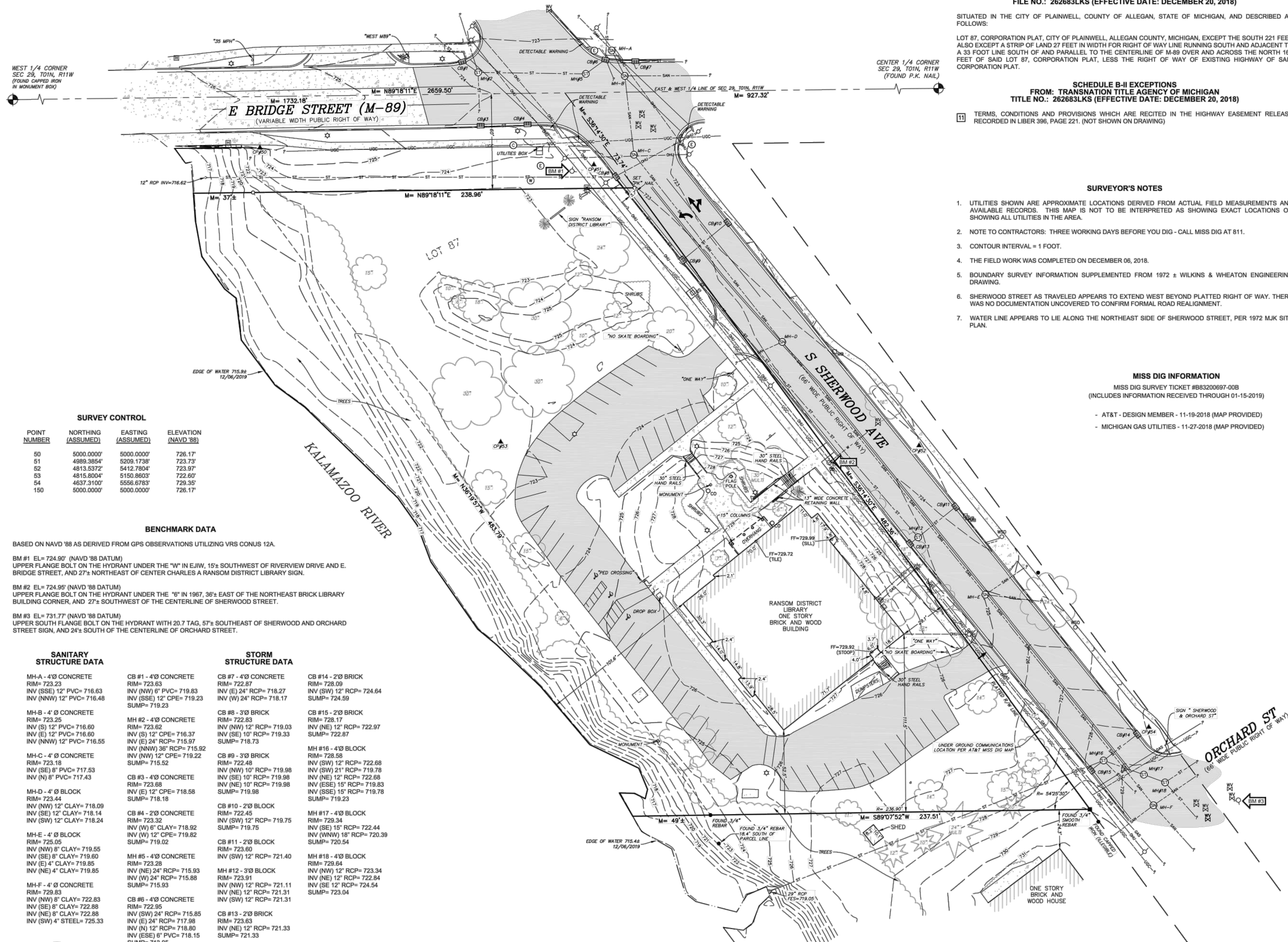
4. Sealed Site Plans sent to PCI: Date _____

5. Site Plan complete: Date _____

6. Easements Required Private Public Date to City Commission _____



TOPOGRAPHIC / BOUNDARY SURVEY



SURVEY CONTROL

POINT NUMBER	NORTHING (ASSUMED)	EASTING (ASSUMED)	ELEVATION (NAVD 88)
50	5000.0000'	5000.0000'	726.17'
51	4989.3854'	5209.1738'	723.73'
52	4813.5372'	5412.7804'	723.97'
53	4815.8004'	5150.8603'	722.50'
54	4637.3100'	5556.6763'	728.35'
150	5000.0000'	5000.0000'	726.17'

BENCHMARK DATA
 BASED ON NAVD '88 AS DERIVED FROM GPS OBSERVATIONS UTILIZING VRS CONUS 12A.
 BM #1 EL= 724.90' (NAVD '88 DATUM)
 UPPER FLANGE BOLT ON THE HYDRANT UNDER THE "W" IN E.I.W., 15' SOUTHWEST OF RIVERVIEW DRIVE AND E. BRIDGE STREET, AND 27' NORTHEAST OF CENTER CHARLES A RANSOM DISTRICT LIBRARY SIGN.
 BM #2 EL= 724.98' (NAVD '88 DATUM)
 UPPER FLANGE BOLT ON THE HYDRANT UNDER THE "P" IN 1967, 36' EAST OF THE NORTHEAST BRICK LIBRARY BUILDING CORNER, AND 27' SOUTHWEST OF THE CENTERLINE OF SHERWOOD STREET.
 BM #3 EL= 731.77' (NAVD '88 DATUM)
 UPPER SOUTH FLANGE BOLT ON THE HYDRANT WITH 20.7 TAG, 57' SOUTHEAST OF SHERWOOD AND ORCHARD STREET SIGN, AND 24' SOUTH OF THE CENTERLINE OF ORCHARD STREET.

SANITARY STRUCTURE DATA

MH-A - 4' Ø CONCRETE RIM= 723.23 INV (SSE) 12" PVC= 716.63 INV (NNW) 12" PVC= 716.48	MH-B - 4' Ø CONCRETE RIM= 723.25 INV (S) 12" PVC= 716.60 INV (E) 12" PVC= 716.60 INV (NNW) 12" PVC= 716.55	MH-C - 4' Ø CONCRETE RIM= 723.18 INV (SE) 8" PVC= 717.83 INV (N) 8" PVC= 717.43	MH-D - 4' Ø BLOCK RIM= 723.44 INV (NW) 12" CLAY= 718.09 INV (SE) 12" CLAY= 718.14 INV (SW) 12" CLAY= 718.24	MH-E - 4' Ø BLOCK RIM= 725.05 INV (NW) 8" CLAY= 719.55 INV (SE) 8" CLAY= 719.60 INV (E) 4" CLAY= 719.85 INV (NE) 4" CLAY= 719.85	MH-F - 4' Ø CONCRETE RIM= 729.83 INV (NW) 8" CLAY= 723.83 INV (SE) 8" CLAY= 722.88 INV (NE) 8" CLAY= 722.88 INV (SW) 4" STEEL= 725.33
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STORM STRUCTURE DATA

CB #1 - 4' Ø CONCRETE RIM= 723.63 INV (NW) 6" PVC= 719.83 INV (SSE) 12" CPE= 719.23 SUMP= 719.23	CB #2 - 4' Ø CONCRETE RIM= 723.62 INV (S) 12" CPE= 716.37 INV (E) 24" RCP= 715.97 INV (NNW) 36" RCP= 715.92 SUMP= 715.52	CB #3 - 4' Ø CONCRETE RIM= 723.88 INV (E) 12" CPE= 718.58 SUMP= 718.18	CB #4 - 2' Ø CONCRETE RIM= 723.32 INV (W) 8" CLAY= 718.92 INV (NW) 12" CPE= 719.82 SUMP= 719.02	CB #5 - 4' Ø CONCRETE RIM= 723.28 INV (NE) 24" RCP= 715.93 INV (W) 24" RCP= 715.88 SUMP= 715.93	CB #6 - 4' Ø CONCRETE RIM= 722.95 INV (SW) 24" RCP= 715.85 INV (E) 24" RCP= 717.98 INV (N) 12" RCP= 716.80 INV (ESE) 8" PVC= 718.15 SUMP= 713.95
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STORM STRUCTURE DATA

CB #7 - 4' Ø CONCRETE RIM= 722.87 INV (E) 24" RCP= 718.27 INV (W) 24" RCP= 718.17 SUMP= 719.23	CB #8 - 3' Ø BRICK RIM= 722.83 INV (NW) 12" RCP= 719.03 INV (SE) 10" RCP= 719.33 SUMP= 718.73	CB #9 - 3' Ø BRICK RIM= 722.48 INV (NW) 10" RCP= 719.98 INV (SE) 10" RCP= 719.98 INV (NE) 10" RCP= 719.98 SUMP= 719.98	CB #10 - 2' Ø BLOCK RIM= 722.45 INV (SW) 12" RCP= 719.75 SUMP= 719.75	CB #11 - 2' Ø BLOCK RIM= 723.80 INV (SW) 12" RCP= 721.40 SUMP= 721.40	CB #12 - 3' Ø BLOCK RIM= 723.83 INV (NE) 12" RCP= 721.11 INV (NE) 12" RCP= 721.31 INV (SW) 12" RCP= 721.31 SUMP= 721.33
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STORM STRUCTURE DATA

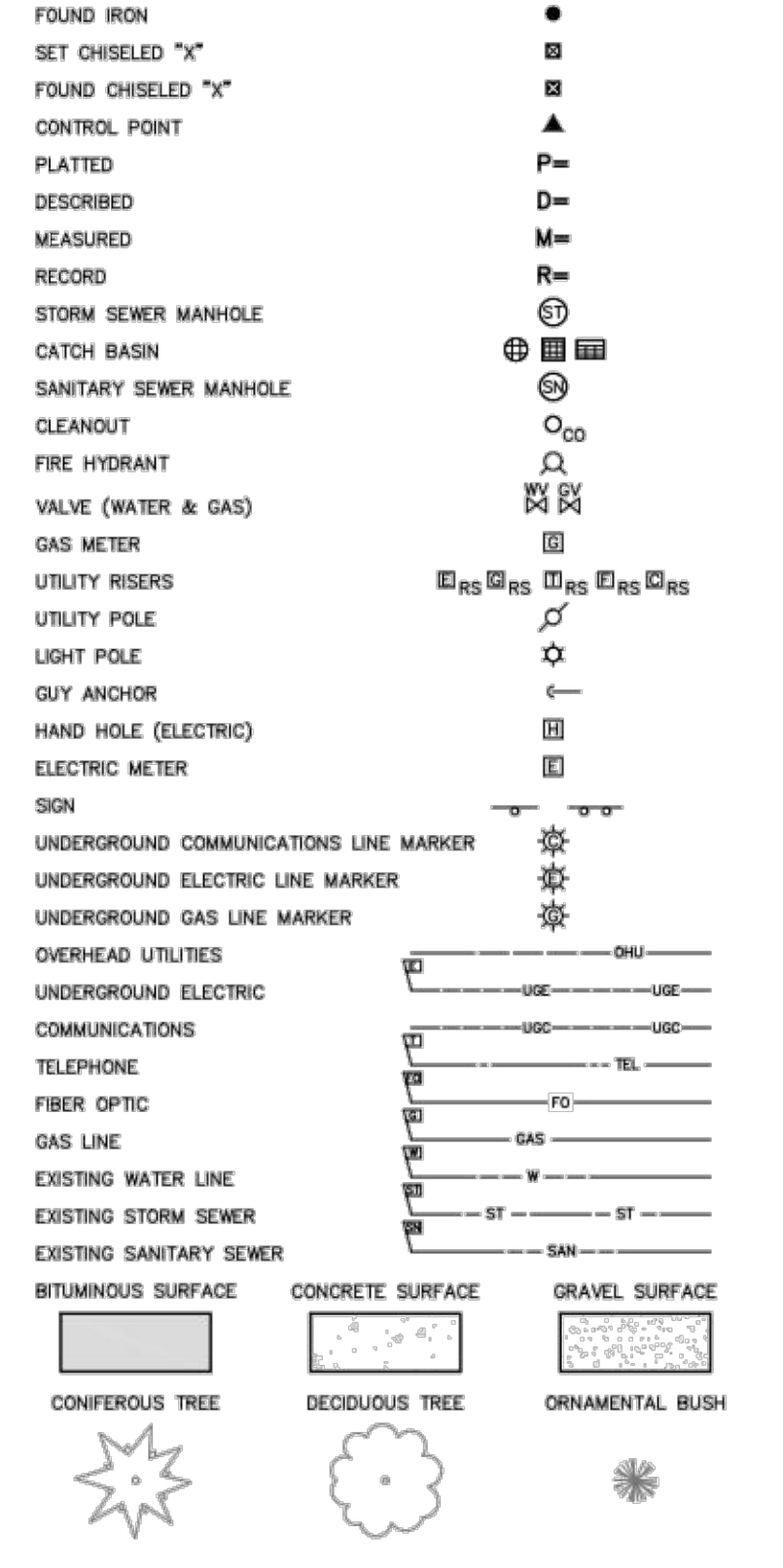
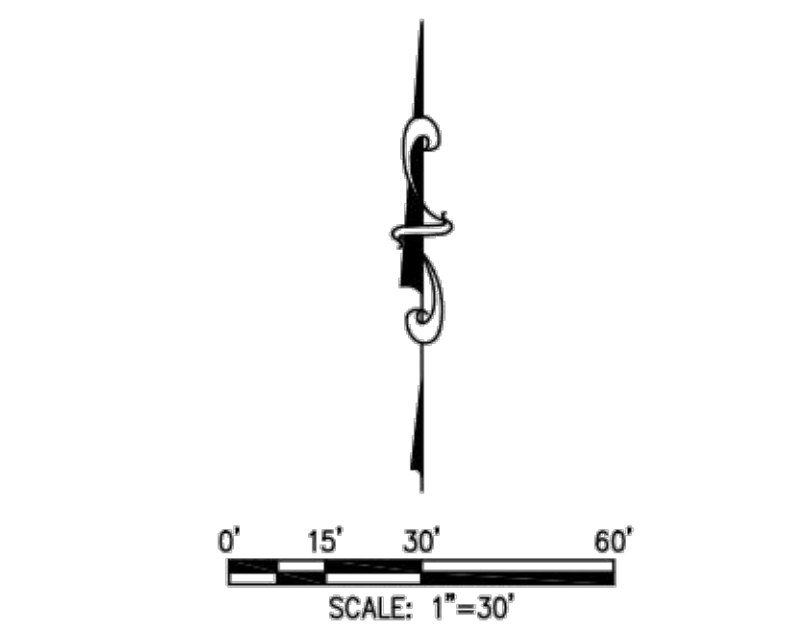
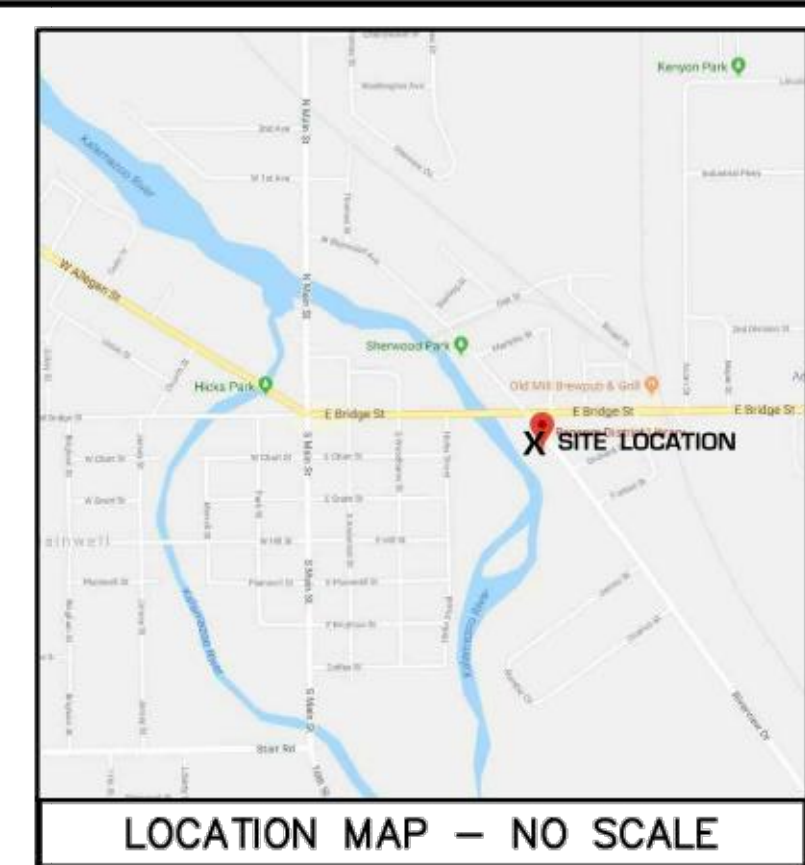
CB #14 - 2' Ø BRICK RIM= 728.08 INV (SW) 12" RCP= 724.64 SUMP= 724.59	CB #15 - 2' Ø BRICK RIM= 728.17 INV (NE) 12" RCP= 722.97 SUMP= 722.87	MH #16 - 4' Ø BLOCK RIM= 728.59 INV (SW) 12" RCP= 722.68 INV (SW) 21" RCP= 719.78 INV (NE) 12" RCP= 722.68 INV (ESE) 15" RCP= 719.83 INV (SSE) 15" RCP= 719.78 SUMP= 718.23	MH #17 - 4' Ø BLOCK RIM= 728.34 INV (SE) 15" RCP= 722.44 INV (NNW) 18" RCP= 720.39 SUMP= 720.54	MH #18 - 4' Ø BLOCK RIM= 728.64 INV (NW) 12" RCP= 723.34 INV (NE) 12" RCP= 722.84 INV (SE) 12" RCP= 724.54 SUMP= 723.04
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SCHEDULE "A" LEGAL DESCRIPTION
 FROM: TRANSMISSION TITLE AGENCY OF MICHIGAN
 FILE NO.: 262683LKS (EFFECTIVE DATE: DECEMBER 20, 2018)
 SITUATED IN THE CITY OF PLAINWELL, COUNTY OF ALLEGAN, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:
 LOT #7, CORPORATION PLAT, CITY OF PLAINWELL, ALLEGAN COUNTY, MICHIGAN, EXCEPT THE SOUTH 221 FEET ALSO EXCEPT A STRIP OF LAND 27 FEET IN WIDTH FOR RIGHT OF WAY LINE RUNNING SOUTH AND ADJACENT TO A 33 FOOT LINE SOUTH OF AND PARALLEL TO THE CENTERLINE OF M-89 OVER AND ACROSS THE NORTH 165 FEET OF SAID LOT #7, CORPORATION PLAT, LESS THE RIGHT OF WAY OF EXISTING HIGHWAY OF SAID CORPORATION PLAT.

SCHEDULE B-II EXCEPTIONS
 FROM: TRANSMISSION TITLE AGENCY OF MICHIGAN
 TITLE NO.: 262683LKS (EFFECTIVE DATE: DECEMBER 20, 2018)
 [1] TERMS, CONDITIONS AND PROVISIONS WHICH ARE RECITED IN THE HIGHWAY EASEMENT RELEASE RECORDED IN LIBER 386, PAGE 221. (NOT SHOWN ON DRAWING)

- SURVEYOR'S NOTES**
- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL FIELD MEASUREMENTS AND AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
 - NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG - CALL MISS DIG AT 811.
 - CONTOUR INTERVAL = 1 FOOT.
 - THE FIELD WORK WAS COMPLETED ON DECEMBER 06, 2018.
 - BOUNDARY SURVEY INFORMATION SUPPLEMENTED FROM 1972 ± WILKINS & WHEATON ENGINEERING DRAWING.
 - SHERWOOD STREET AS TRAVELED APPEARS TO EXTEND WEST BEYOND PLATTED RIGHT OF WAY. THERE WAS NO DOCUMENTATION UNCOVERED TO CONFIRM FORMAL ROAD REALIGNMENT.
 - WATER LINE APPEARS TO LIE ALONG THE NORTHEAST SIDE OF SHERWOOD STREET, PER 1972 MJK SITE PLAN.

MISS DIG INFORMATION
 MISS DIG SURVEY TICKET #B85200697-008
 (INCLUDES INFORMATION RECEIVED THROUGH 01-15-2019)
 - AT&T - DESIGN MEMBER - 11-19-2018 (MAP PROVIDED)
 - MICHIGAN GAS UTILITIES - 11-27-2018 (MAP PROVIDED)



RANSOM DISTRICT LIBRARY
 CITY OF PLAINWELL, ALLEGAN CO.
 SEC. 29, T01N, R11W
 RANSOM DISTRICT LIBRARY
 160 S. SHERWOOD AVE
 PLAINWELL, MICHIGAN 49080

TOPOGRAPHIC / BOUNDARY SURVEY

Designed By: MJD
 Drawn By: MJD
 Checked By: Date:
 Plot:
 Scale: 1"=30'
 Date: 01-15-2019
 Job No.: 1850825.5A
 Sheet No.: V-101
 1 of 1

ALAN E. DAHL
 PROFESSIONAL SURVEYOR
 NO. 47948
 LICENSED PROFESSIONAL SURVEYOR

THE DESCRIPTION WAS GIVEN TO US BY THE PERSON CERTIFIED TO, OR WAS PREPARED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY THE PERSON CERTIFIED TO, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS.

ISSUED FOR: PROJECT TITLE: NEW RANSOM DISTRICT LIBRARY

OWNER: RANSOM DISTRICT LIBRARY

DATE: APRIL 23, 2019

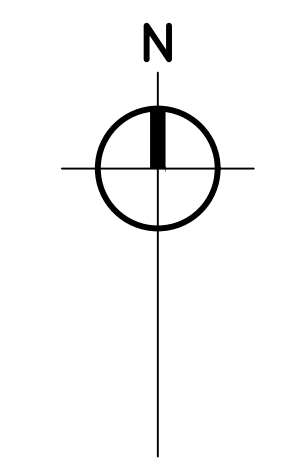
SHEET NUMBER: C 110

CONDITIONS: 17-205.00





UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.



SCALE: 1" = 30'
(CONTOURS AT ONE FOOT INTERVALS)

LEGEND EXISTING

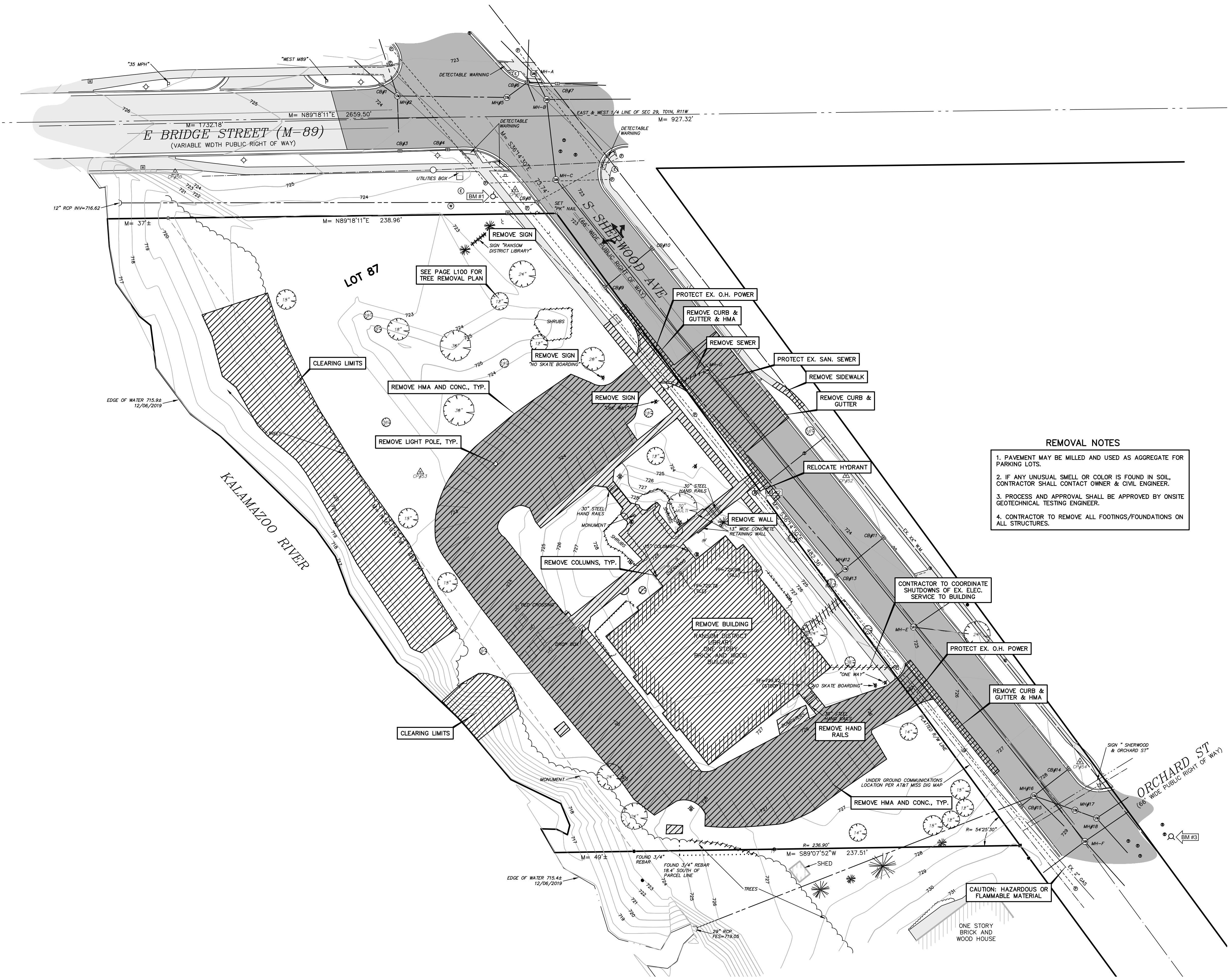
- UG TELEPHONE
- UG GAS
- UG SANITARY
- UG STORM
- UG WATER
- FENCE
- TREE LINE
- MAJOR CONTOUR
- ASPHALT
- CONCRETE
- GRAVEL
- WETLAND

LEGEND REMOVALS

- X = REMOVALS
- = REMOVALS

REMOVAL NOTES

1. PAVEMENT MAY BE MILLED AND USED AS AGGREGATE FOR PARKING LOTS.
2. IF ANY UNUSUAL SMELL OR COLOR IS FOUND IN SOIL, CONTRACTOR SHALL CONTACT OWNER & CIVIL ENGINEER.
3. PROCESS AND APPROVAL SHALL BE APPROVED BY ONSITE GEOTECHNICAL TESTING ENGINEER.
4. CONTRACTOR TO REMOVE ALL FOOTINGS/FOUNDATIONS ON ALL STRUCTURES.



APPLICANT/OWNER
RANSOM DISTRICT LIBRARY
JOE GROSS
1800 SERWOOD AVENUE
PLAINWELL MI, 49080
PHONE: (269) 685-8024

ENGINEER
PREIN&NEWHOF
MIKE SCHWARTZ, P.E.
1707 SOUTH PARK ST.
KALAMAZOO, MI 49001
PHONE: (269) 372-1158
FAX: (269) 364-6955

ARCHITECT
TOWER PINKSTER
MIKE GALOVAN
242 E KALAMAZOO AVENUE
KALAMAZOO, MI 49007
PHONE: (269) 492-6763



ISSUED FOR _____ DATE _____

PROJECT TITLE
NEW RANSOM DISTRICT LIBRARY

OWNER
RANSOM DISTRICT LIBRARY

Plainwell, Michigan

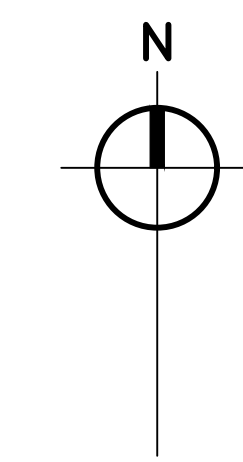
SHEET TITLE
REMOVAL
PLAN

DATE
APRIL 23, 2019

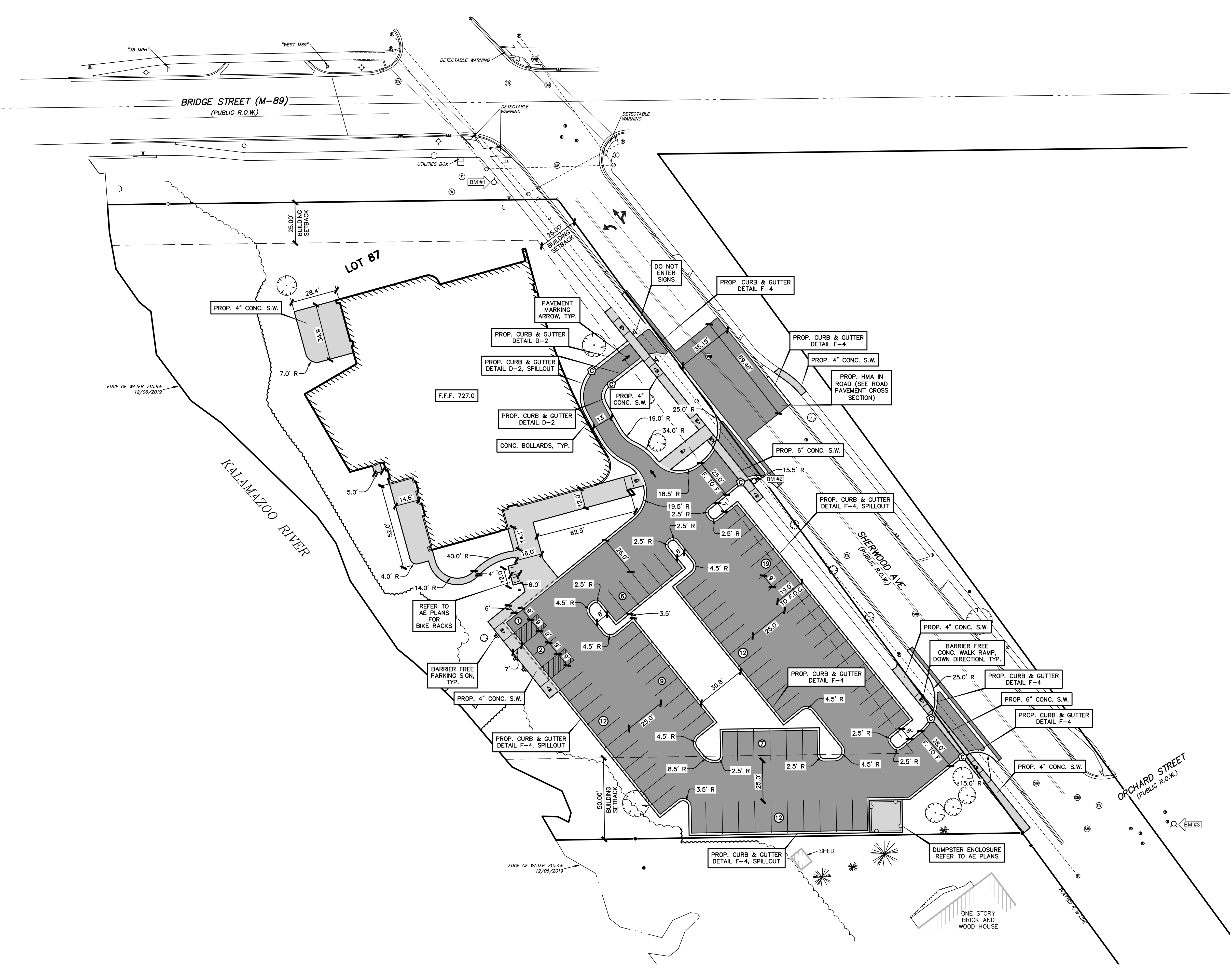
SHEET NUMBER
C 110
17-205.00



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(CONTOURS AT ONE FOOT INTERVALS)



SITE LAYOUT LEGEND

- CONCRETE CURB & GUTTER
- CONCRETE STRAIGHT CURB
- SIGN
- BARRIER FREE RAMP
- PARKING AREA STRIPING ISLAND
- STANDARD DUTY CONCRETE WALKWAY/PAVEMENT
- HEAVY DUTY CONCRETE WALKWAY/PAVEMENT
- STANDARD DUTY BITUMINOUS PAVEMENT
- HEAVY DUTY BITUMINOUS PAVEMENT
- TRAFFIC FLOW
- PARKING STALL COUNT
- TRANSITION FROM NORMAL TO REVERSE SLOPE GUTTER SECTION (5' TRANSITION LENGTH)

NOTES:

1. ALL TEXT & FEATURES SHOWN SCREENED ARE EXISTING. ALL STRUCTURES SHALL BE LOCATED IN RELATION TO THE PROPOSED IMPROVEMENTS.
2. UTILITIES SHOWN WERE EITHER FIELD LOCATED, OR TAKEN FROM EXISTING RECORD/DESIGN DRAWINGS & ARE SHOWN ACCORDINGLY. THE CONTRACTOR SHALL EXERCISE CAUTION & FIELD VERIFY REQUIRED LOCATIONS PRIOR TO EXCAVATION & CONSTRUCTION.
3. THE STANDARD PARKING STALL DIMENSION IS 9'-FEET BY 18'-FEET.
4. THE STANDARD BARRIER FREE PARKING STALL IS 9'-FEET BY 18'-FEET (PLUS 2'-FOOT OVERHANG).
5. THE STANDARD COMPACT PARKING STALL IS 9'-FEET BY 16'-FEET.
6. BARRIER FREE PARKING STALLS MUST BE MARKED BLUE.
7. STANDARD PARKING STALLS MUST BE MARKED YELLOW.

GENERAL NOTES:

SITE INFORMATION:
PROPERTY ADDRESS: 180 S. SHERWOOD AVE.
TAX ID NUMBERS & ZONING DISTRICT: 55-160-087-20 CS

PARCEL SIZE: 2.41 ACRES (105,000 SQ. FT.)
NO FLOODPLAIN ON PROPERTY.
TRASH RECEPTACLE: DUMPSTER ENCLOSURE
BUILDING LOT COVERAGE MAXIMUM = 35% OF TOTAL AREA
BUILDING LOT COVERAGE PROPOSED = 17.00% (20,000 SQ. FT.)

ZONING REQUIREMENTS:
SETBACKS: FRONT = 25'
SIDE = 25' FROM PROP. LINE, 50' FROM SIDE LOT
REAR = 0'
MAXIMUM BUILDING HEIGHT = 35'
PROP. BUILDING HEIGHT =
PARKING CALCULATION:
PROP. BUILDING 20,000 SQ. FT. LIBRARY
REQUIRED: 20,000 SQ. FT. LIBRARY/250 = 80 SPACES
TOTAL REQUIRED = 80 SPACES
TOTAL PROVIDED = 78 SPACES
LIBRARY BUILDING UTILITIES = ELECTRIC, WATER, SANITARY
SEWER, COMMUNICATIONS, GAS

SITUATED IN THE CITY OF PLAINWELL, COUNTY OF ALLEGAN, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:
LOT 87, CORPORATION PLAT, CITY OF PLAINWELL, ALLEGAN COUNTY, MICHIGAN, EXCEPT THE SOUTH 221 FEET ALSO EXCEPT A STRIP OF LAND 27 FEET IN WIDTH FOR RIGHT OF WAY LINE RUNNING SOUTH AND ADJACENT TO A 33 FOOT LINE SOUTH OF AND PARALLEL TO THE CENTERLINE OF M-89 OVER AND ACROSS THE NORTH 165 FEET OF SAID LOT 87, CORPORATION PLAT, LESS THE RIGHT OF WAY OF EXISTING HIGHWAY OF SAID CORPORATION PLAT.



ISSUED FOR DATE

PROJECT TITLE
NEW RANSOM DISTRICT LIBRARY

OWNER
RANSOM DISTRICT LIBRARY

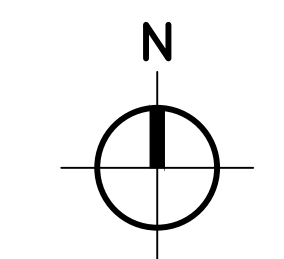
Plainwell, Michigan

SHEET NUMBER
SITE PLAN

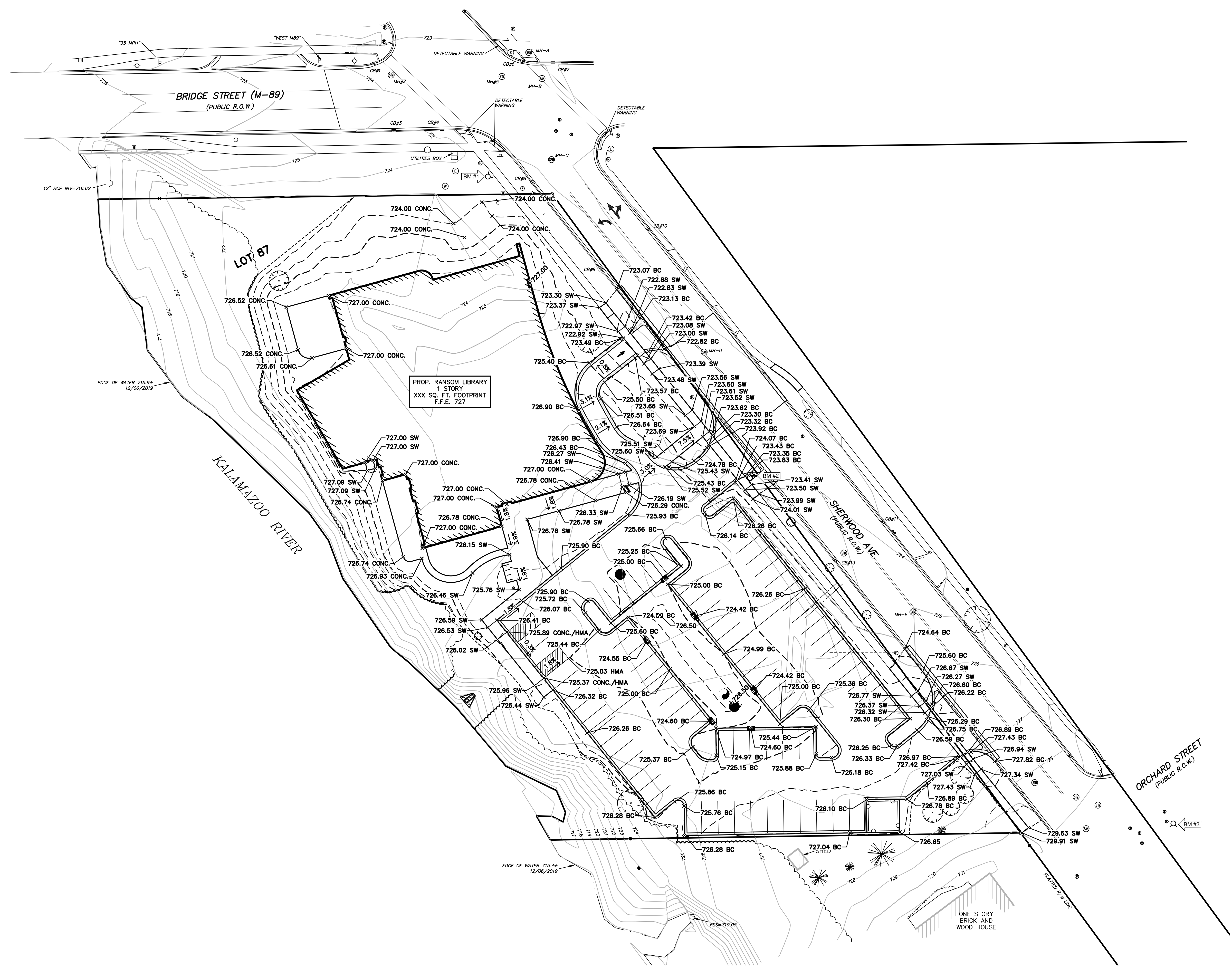
DATE
APRIL 23, 2019
SHEET NUMBER
C 200
17-205.00



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0' 30' 60' 90'
SCALE: 1" = 30'
(CONTOURS AT ONE FOOT INTERVALS)



FLOODPLAIN DATA:
100-YEAR FLOOD ELEVATION: 722.00

SITE GRADING LEGEND

SPOT ELEVATION	970.10 TC
FLOW DIRECTION WITH GRADE	1.50%
SLOPE LABEL	3:1
CATCH BASIN	[Symbol]
CULVERT END SECTION	[Symbol]
HYDRANT & VALVE	[Symbol]
MANHOLE	[Symbol]
CLEANOUT	[Symbol]
GRADE BREAK	---
PROP. CONTOUR LINE	---790.0---
EX. CONTOUR LINE	---790---
GRADING LIMIT	---

NOTES:
BC = BACK OF CURB
CONC = TOP OF CONC.
SW = SIDEWALK
HMA = HMA PAVT.
CONC./HMA = WHERE CONC. MEETS HMA
REFER TO SPECIFICATIONS FOR ADDITIONAL ABBREVIATIONS FOR CIVIL/SITE AMENITIES.



ISSUED FOR _____ DATE _____

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RANSOM DISTRICT LIBRARY

Plainwell, Michigan

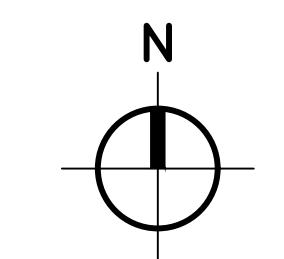
SHEET TITLE
GRADING & UTILITIES

DATE
APRIL 23, 2019

SHEET NUMBER
C 300
17-205.00



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.



SCALE: 1" = 30'
(CONTOURS AT ONE FOOT INTERVALS)

LEGEND EXISTING

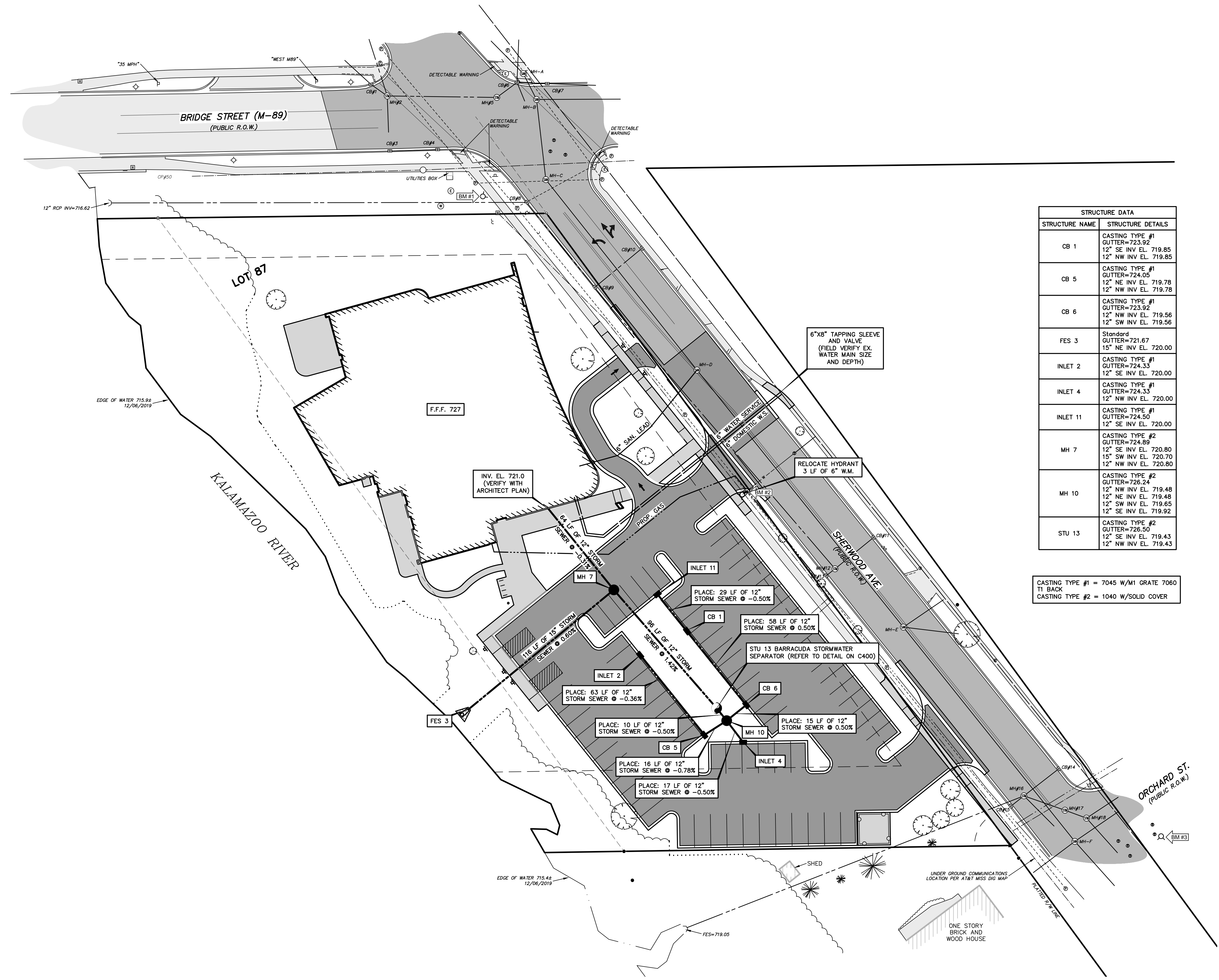
- UG GAS
- UG SANITARY
- UG STORM
- UG WATER
- x FENCE
- ... TREE LINE
- MAJOR CONTOUR
- ASPHALT
- CONCRETE
- GRAVEL

LEGEND PROPOSED

- ⊕ ELEC. HANDHOLE
- ⊙ LIGHT POLE
- ⊕ CATCH BASIN
- UG STORM
- UG UTILITIES
- UG SANITARY SVC
- UG WATER SVC
- MAJOR CONTOUR
- GRADING LIMITS
- LIGHT DUTY HMA
- HEAVY DUTY HMA
- H.D. CONCRETE
- CONCRETE

STRUCTURE NAME	STRUCTURE DATA
CB 1	CASTING TYPE #1 GUTTER=723.92 12" SE INV EL. 719.85 12" NW INV EL. 719.85
CB 5	CASTING TYPE #1 GUTTER=724.05 12" NE INV EL. 719.78 12" NW INV EL. 719.78
CB 6	CASTING TYPE #1 GUTTER=723.92 12" NW INV EL. 719.56 12" SW INV EL. 719.56
FES 3	Standard GUTTER=721.67 15" NE INV EL. 720.00
INLET 2	CASTING TYPE #1 GUTTER=724.33 12" SE INV EL. 720.00
INLET 4	CASTING TYPE #1 GUTTER=724.33 12" NW INV EL. 720.00
INLET 11	CASTING TYPE #1 GUTTER=724.50 12" SE INV EL. 720.00
MH 7	CASTING TYPE #2 GUTTER=724.89 12" SE INV EL. 720.80 15" SW INV EL. 720.70 12" NW INV EL. 720.80
MH 10	CASTING TYPE #2 GUTTER=726.24 12" NW INV EL. 719.48 12" NE INV EL. 719.48 12" SW INV EL. 719.65 12" SE INV EL. 719.92
STU 13	CASTING TYPE #2 GUTTER=726.50 12" SE INV EL. 719.43 12" NW INV EL. 719.43

CASTING TYPE #1 = 7045 W/M1 GRATE 7060 T1 BACK
CASTING TYPE #2 = 1040 W/SOLID COVER



ISSUED FOR _____ DATE _____

PROJECT TITLE
NEW RANSOM DISTRICT LIBRARY

OWNER
RANSOM DISTRICT LIBRARY

Plainwell, Michigan

SHEET TITLE
UTILITIES

DATE
APRIL 23, 2019

SHEET NUMBER
C 400
17-205.00



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUED FOR _____ DATE _____

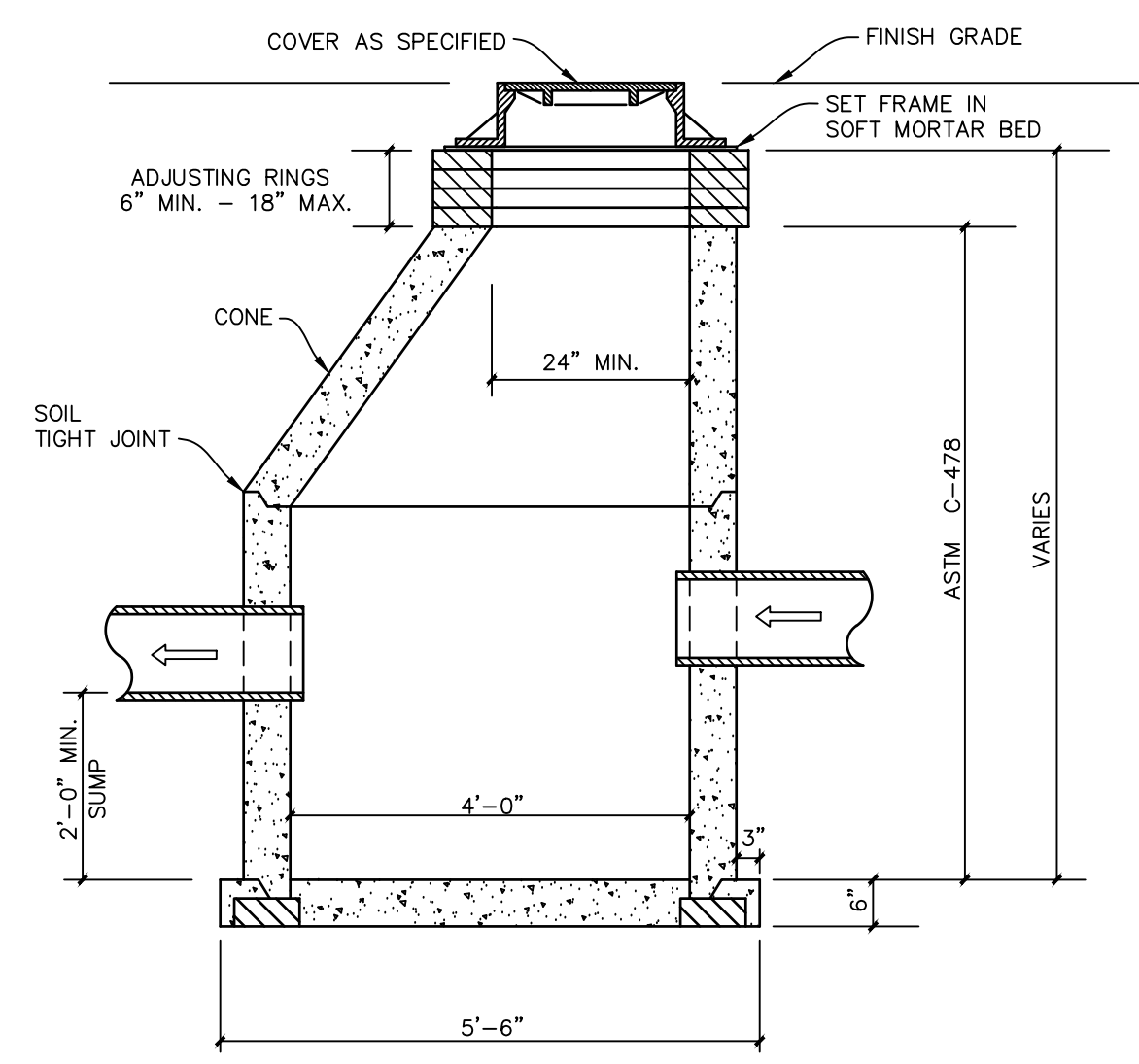
PROJECT TITLE
NEW RANSOM DISTRICT LIBRARY

OWNER
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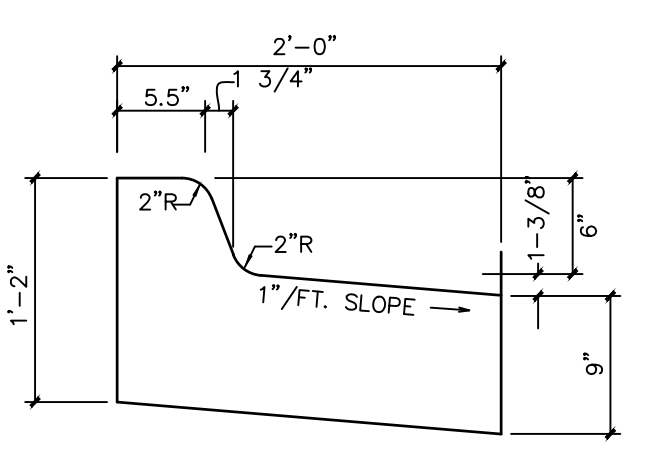
Plainwell, Michigan

SHEET TITLE
PROJECT
DETAILS

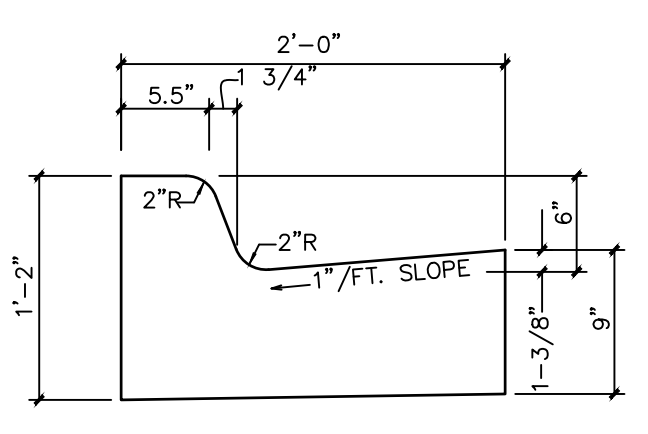
DATE
APRIL 23, 2019
SHEET NUMBER
C 400
17-205.00



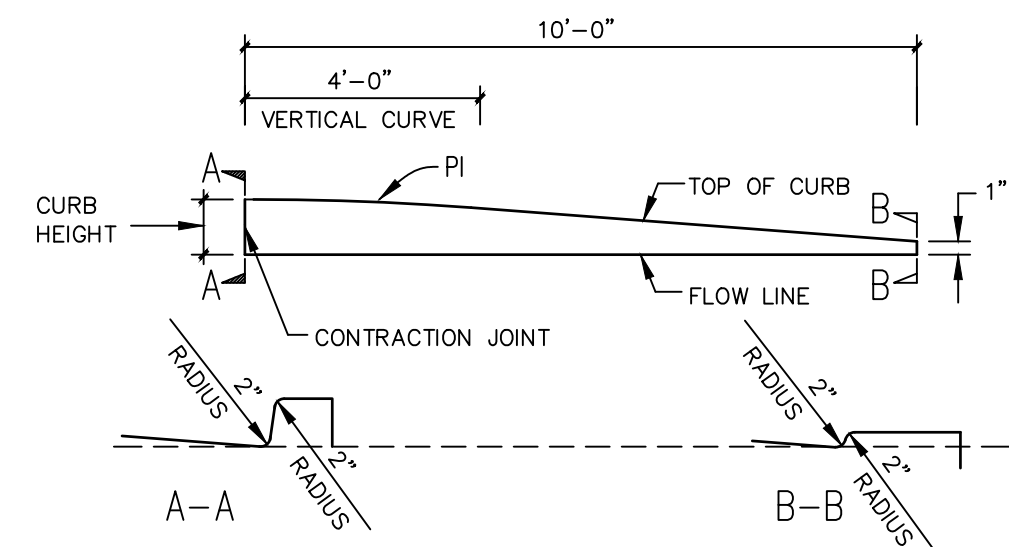
(PRECAST CONCRETE)
STANDARD CATCH BASIN WITH SUMP
SCALE: NONE



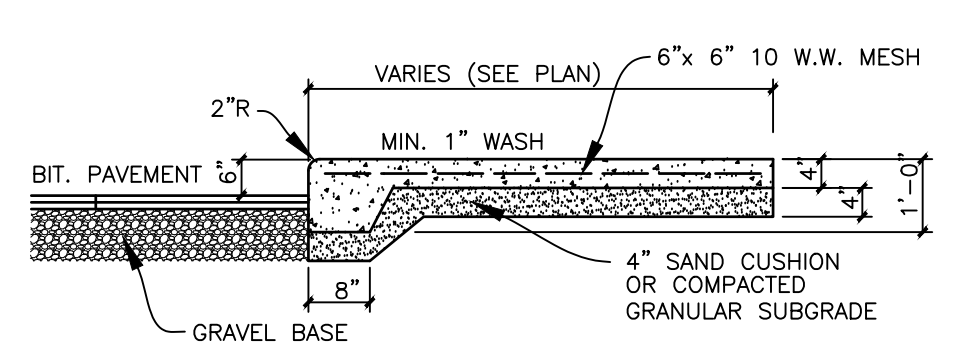
**CONCRETE CURB & GUTTER
DETAIL F-4 W/ SPILL PAN**
SCALE: NONE



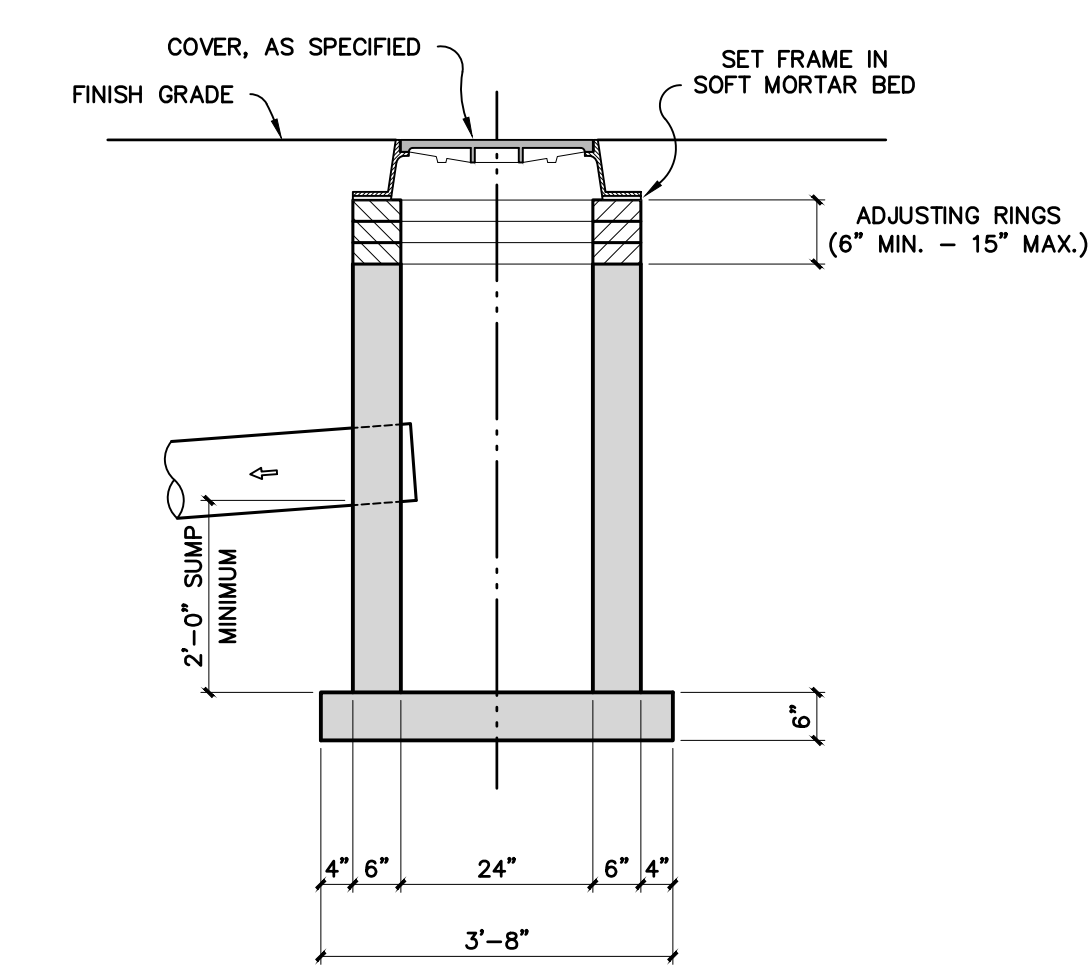
CONCRETE REQUIRED (0.0610 CYD/LFT)
CONCRETE CURB & GUTTER DETAIL F-4
SCALE: NONE



**CURB & GUTTER ENDINGS
(DETAIL F)**
SCALE: NONE

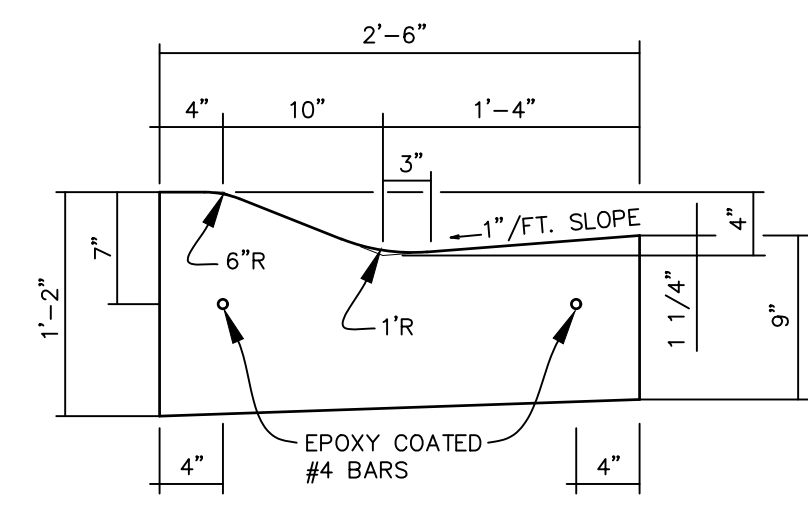


TYPICAL THICKENED SIDEWALK SECTION
TO BE USED WHERE WALKS ADJOIN PARKING LOTS OR DRIVES UNLESS SHOWN AS STANDARD WALK
SCALE: NONE

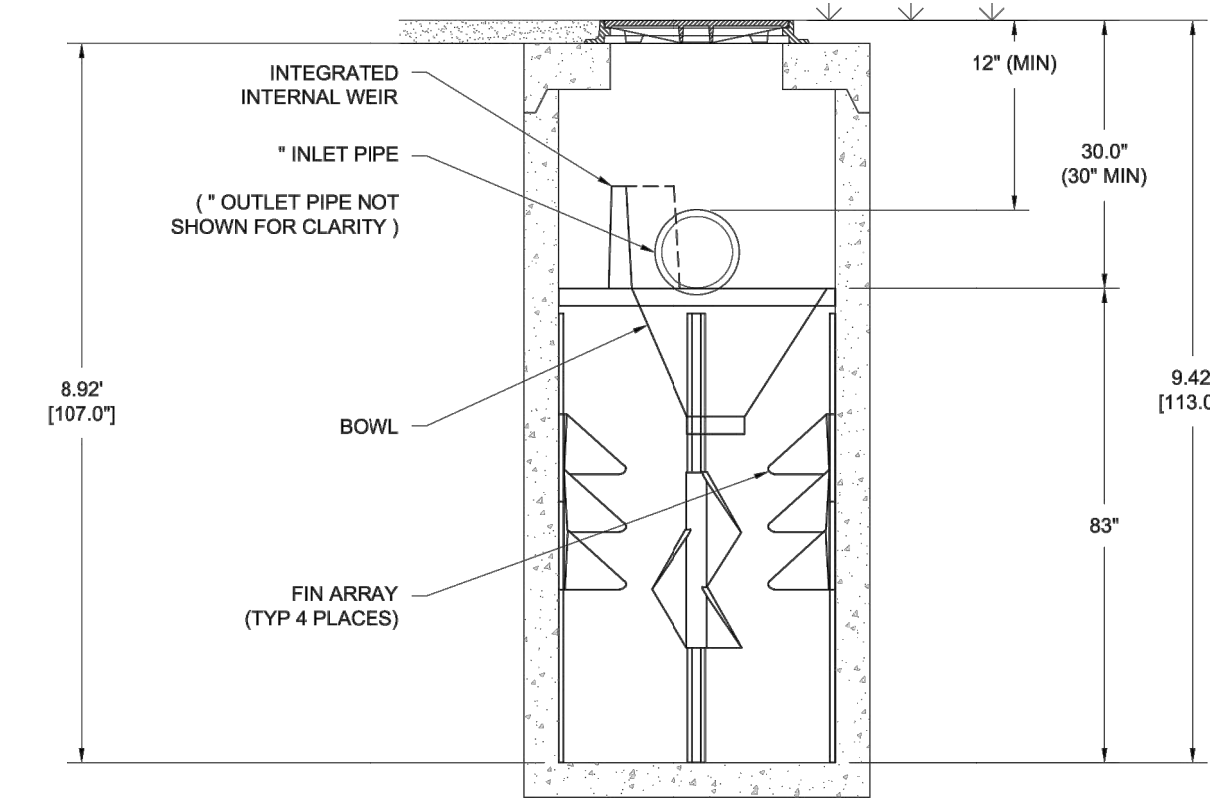


2' DIAMETER INLET w/SUMP

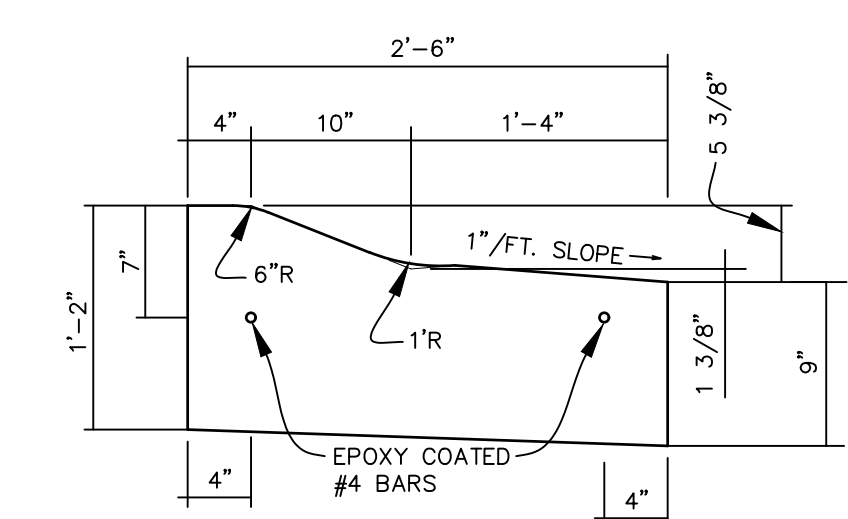
- NOTE
- 1. PRECAST CONCRETE INLET SHALL MEET ASTM C478.
 - 2. IF BOTTOM IS PRECAST CONCRETE, SET ON MINIMUM 4\"/>



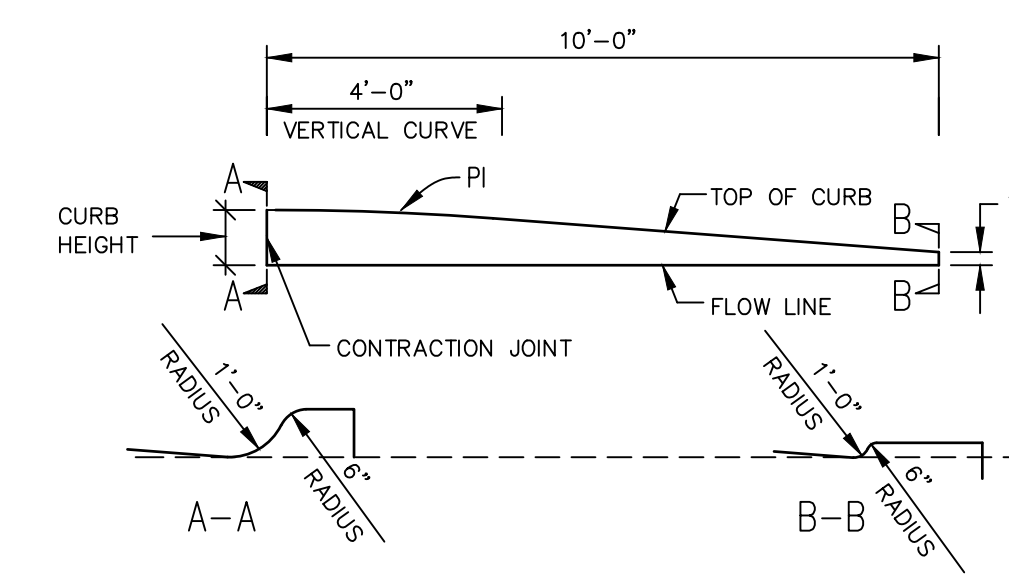
CONCRETE REQUIRED 0.0788 CYD/LFT.
CONCRETE CURB & GUTTER DETAIL D-2
SCALE: NONE



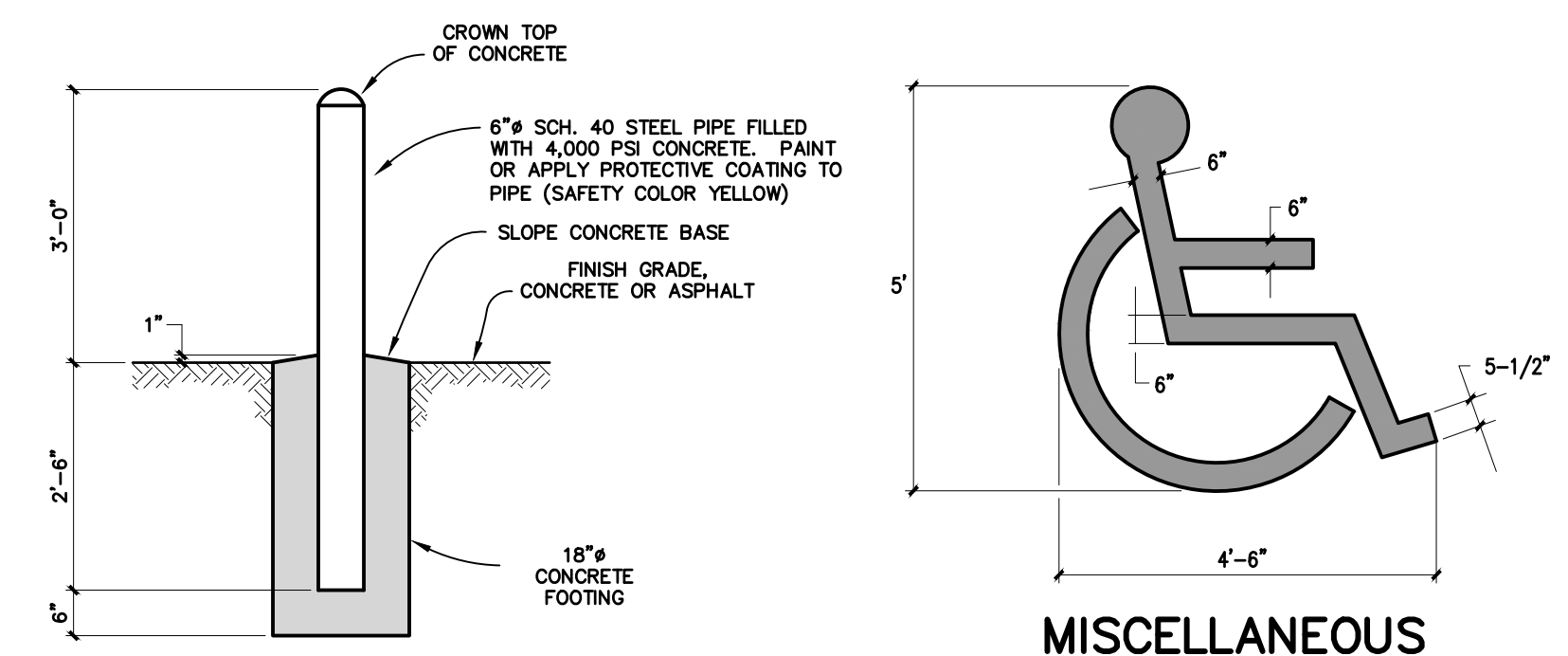
BARRACUDA S4 STANDARD DETAIL



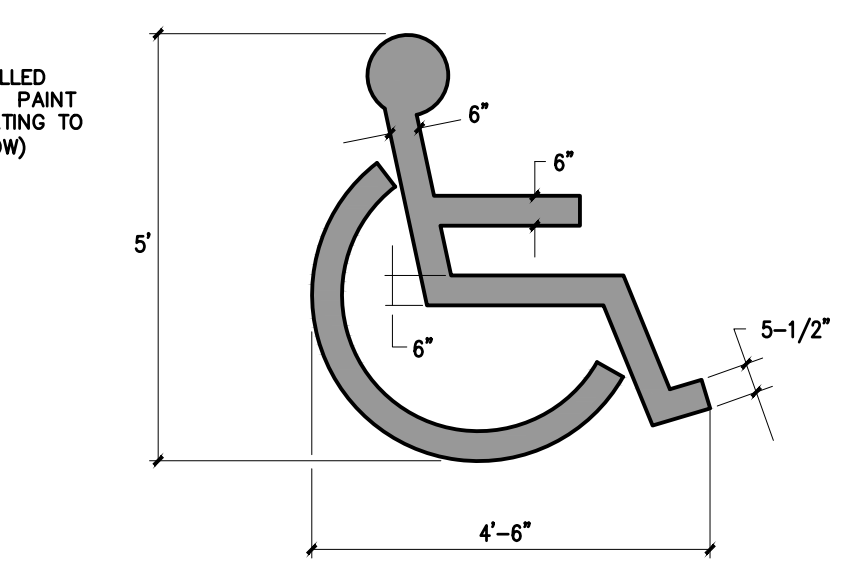
CONCRETE REQUIRED 0.0788 CYD/LFT.
CONCRETE CURB & GUTTER DETAIL D-2 SPILL
SCALE: NONE



**CURB & GUTTER ENDINGS
(DETAIL D)**
SCALE: NONE

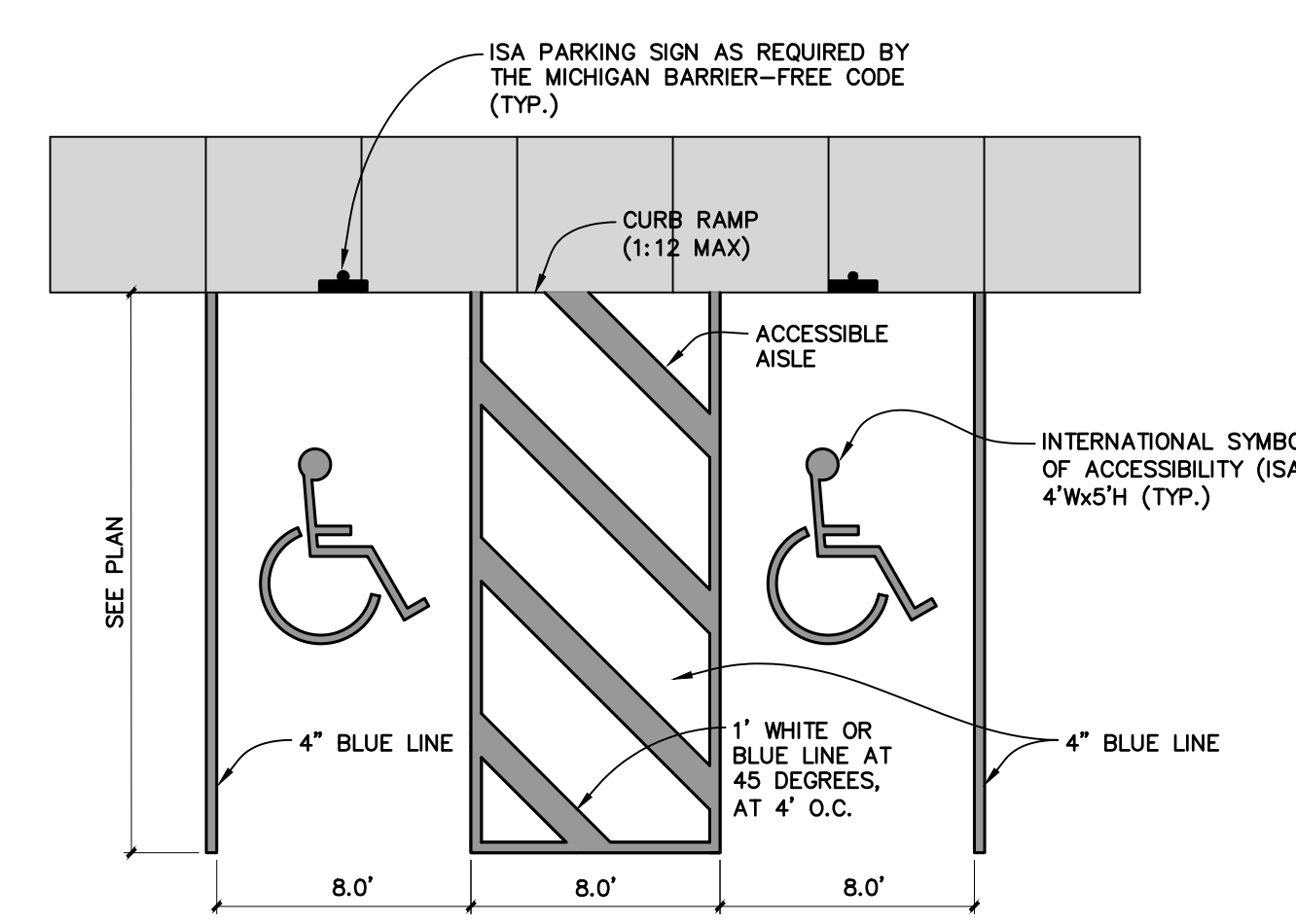


M1 PIPE BOLLARD DETAIL
SCALE: 1/2\"/>

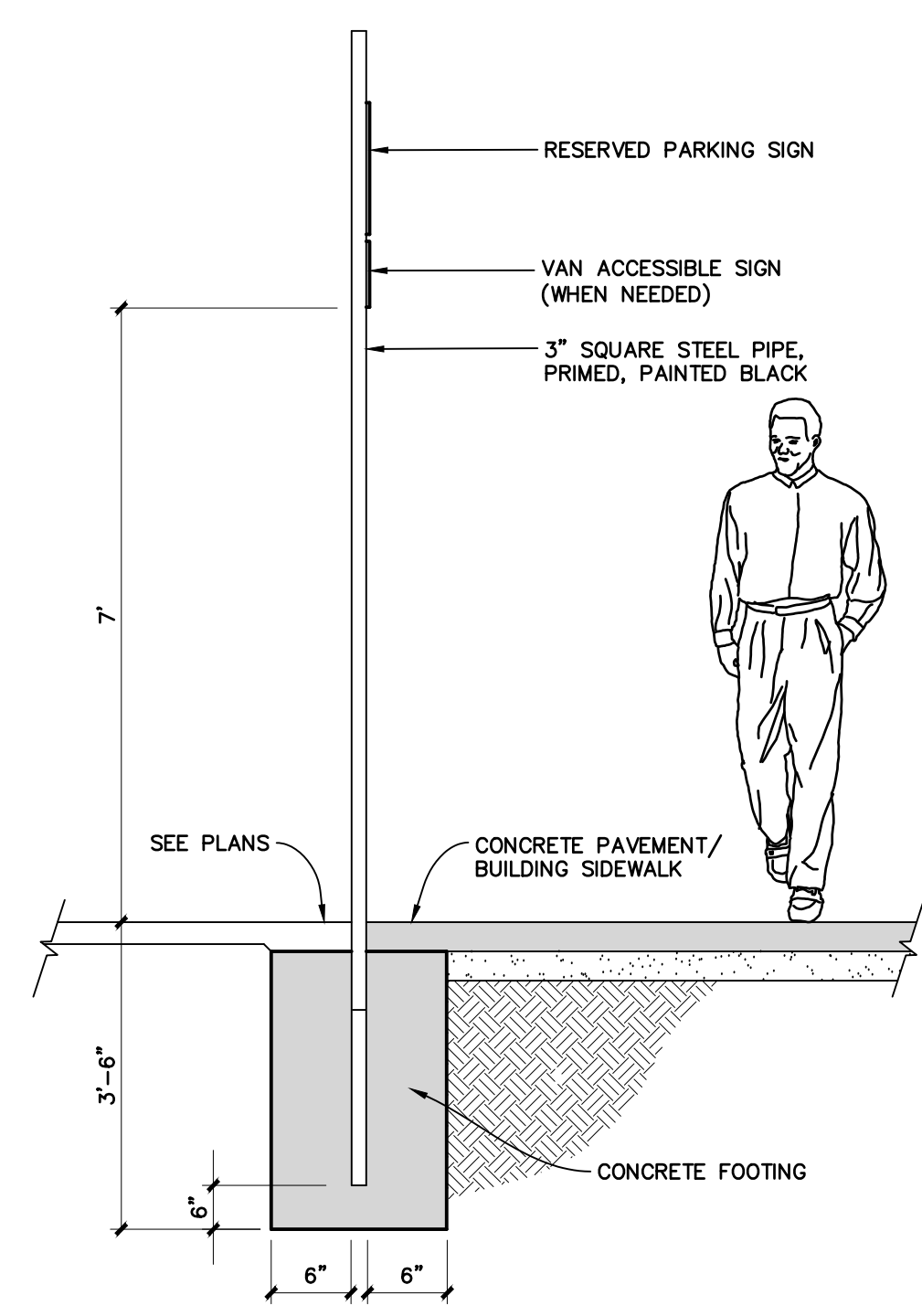


**M21 MISCELLANEOUS
BARRIER FREE SYMBOL**
NOT TO SCALE

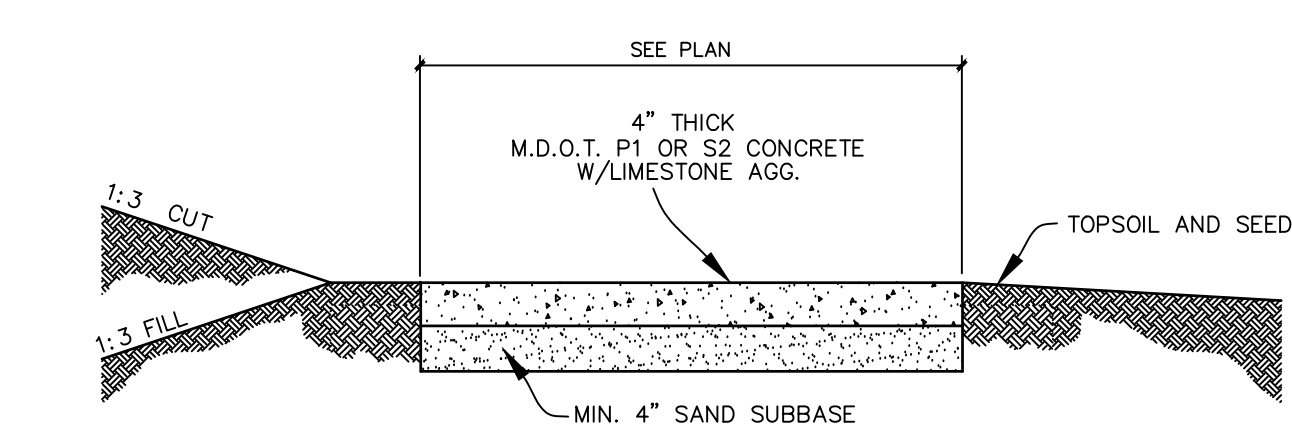
- NOTE
- BARRIER-FREE PARKING SPACES SHALL BE LOCATED TO THE NEAREST ACCESSIBLE ENTRANCE ON AN ACCESSIBLE ROUTE ONE (1) IN EVERY EIGHT (8) ACCESSIBLE SPACES, BUT NO LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 8'-0\"/>



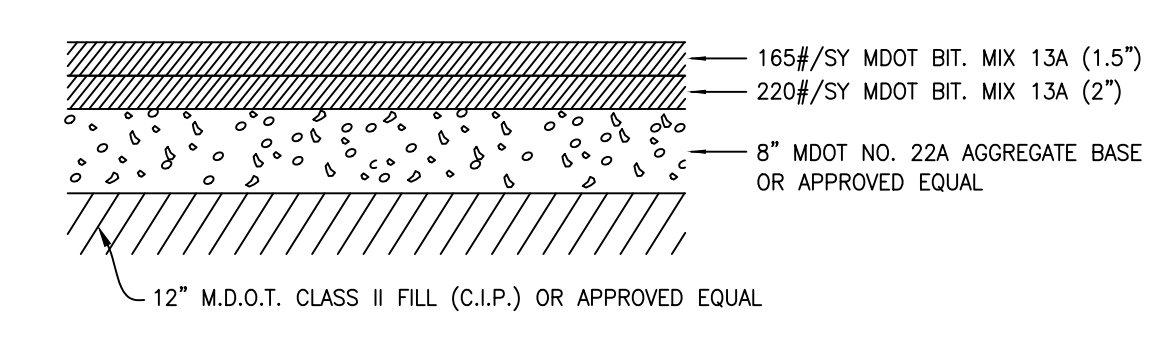
**M23 BARRIER-FREE PARKING SPACE
LAYOUT - VAN ACCESSIBLE**
SCALE: NONE



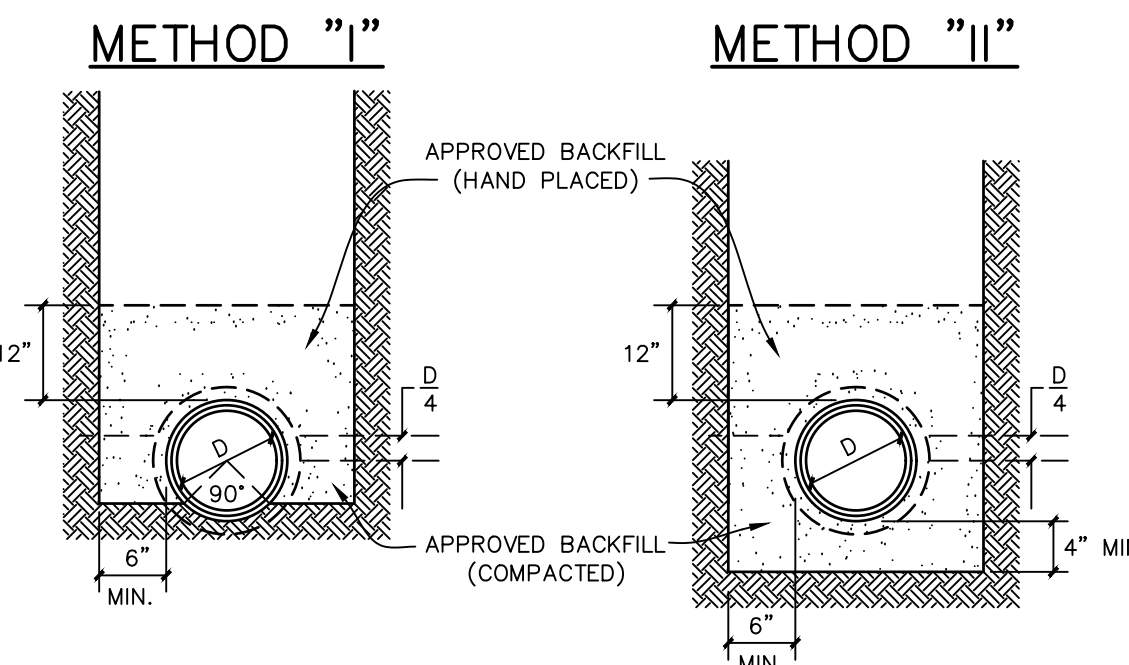
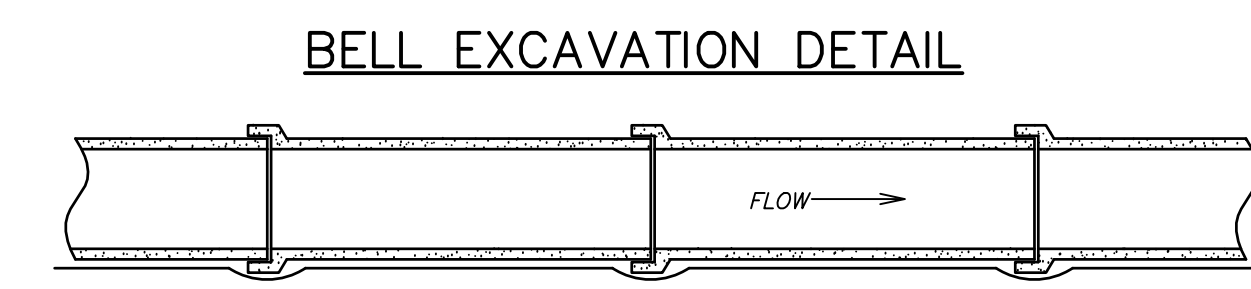
T1 BARRIER FREE PARKING SIGN
SCALE: NONE



CONCRETE SIDEWALK DETAIL
SCALE: NONE

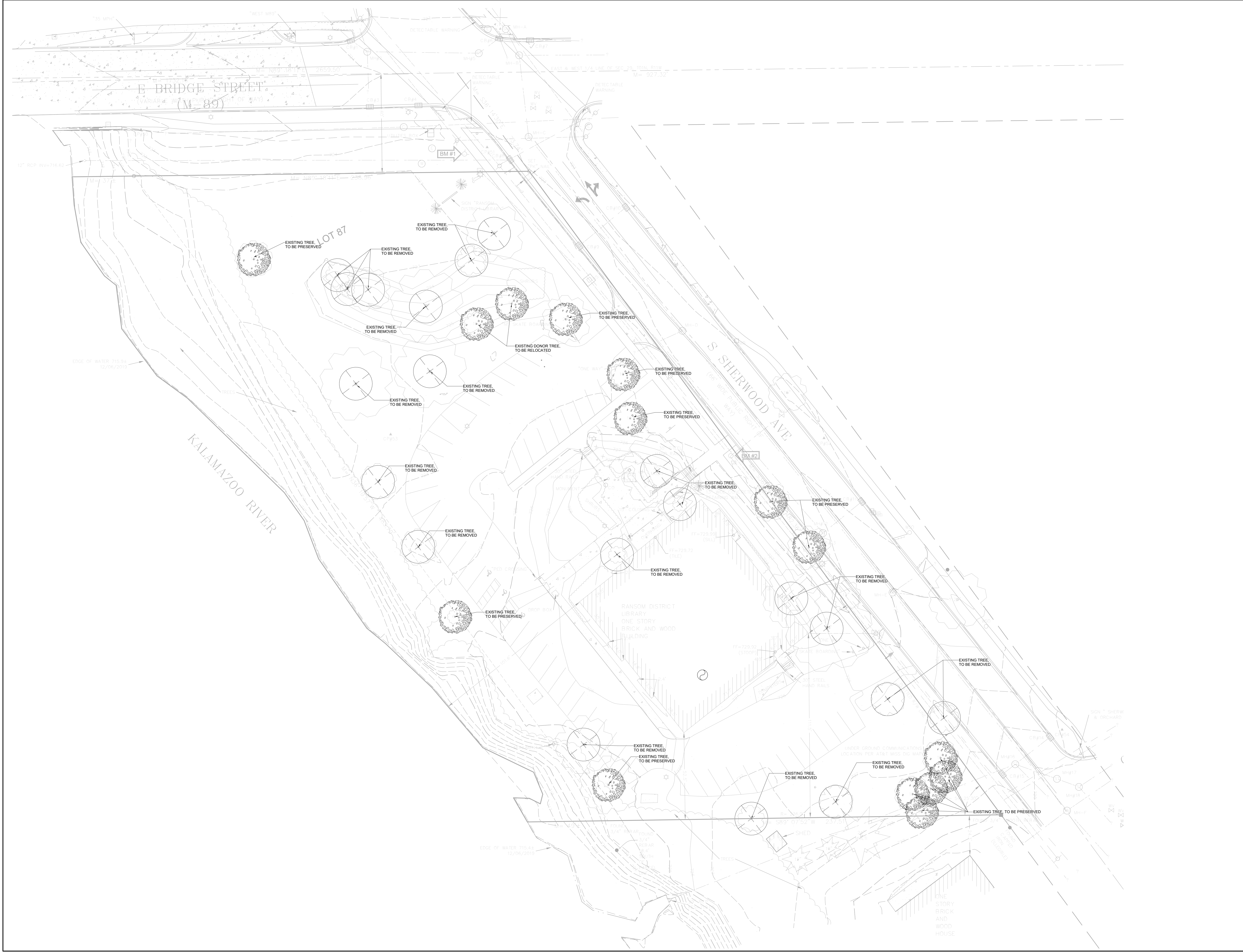


LIGHT DUTY (HMA) PAVEMENT
SCALE: NONE



- NOTE:
- 1. METHOD 'I' TO BE USED IN AREAS OF UNCONSOLIDATED SOILS. (SAND, GRAVEL, ETC.)
 - 2. METHOD 'II' TO BE USED IN AREAS OF CONSOLIDATED SOILS. (CLAY, HARDPAN, ROCK, ETC.)
 - 3. ALL BACKFILL INDICATED SHALL BE COMPACTED TO 95% MAX. DENSITY.
 - 4. APPROVED BACKFILL - COMPACTED - TO BE PLACED AROUND PIPE BY HAND TO A HEIGHT OF NO GREATER THAN 1/4 THE DIAMETER OF THE PIPE USED, ABOVE THE CENTERLINE OF SAID PIPE, AS SHOWN.

CLASS "B" - PIPE EMBEDMENT
SCALE: NONE



SHEET TITLE
TREE PRESERVATION PLAN

SHEET NUMBER
L 100
17-205.00

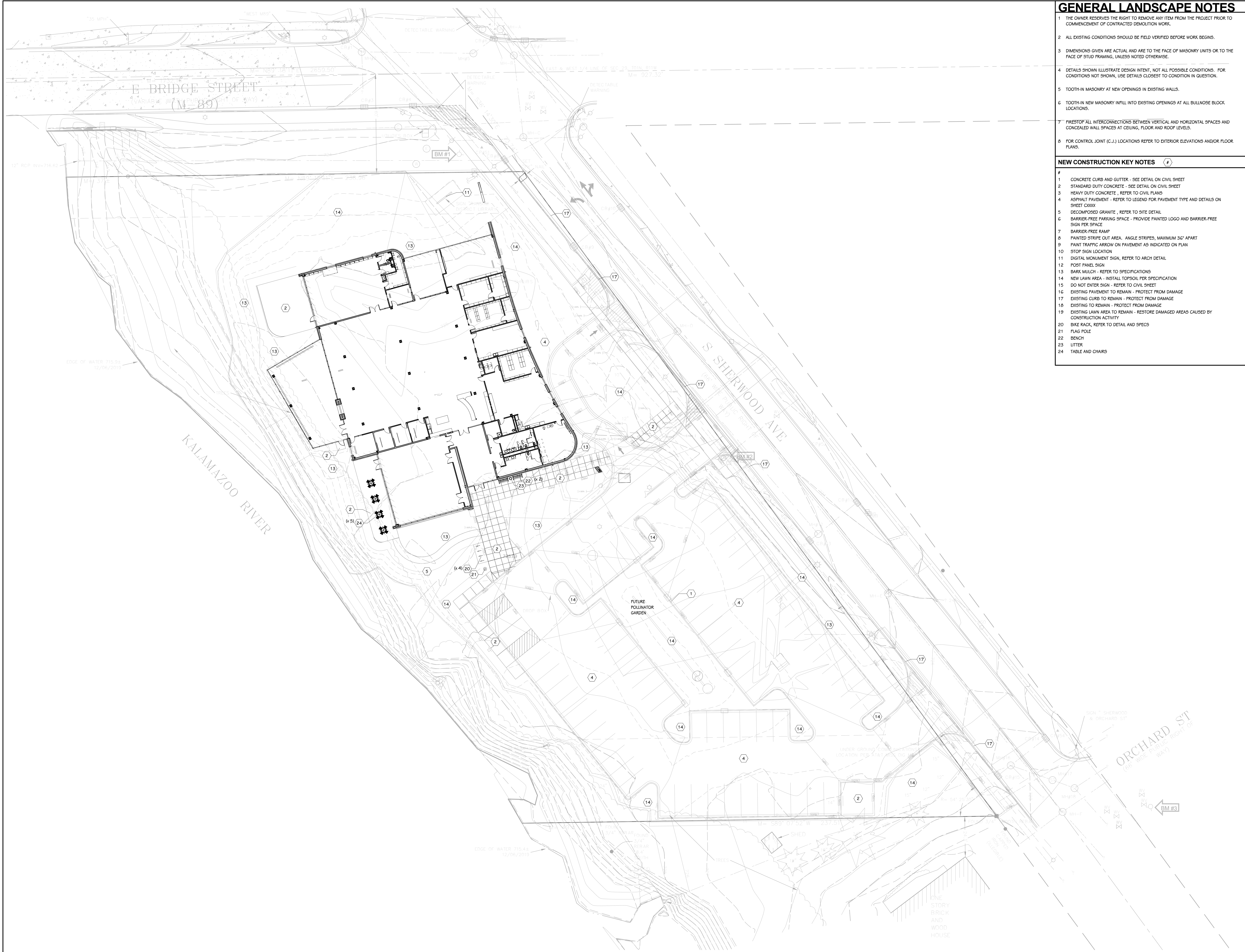
DATE
JUNE 19, 2019

OWNER
RANSOM DISTRICT LIBRARY

Plainwell, Michigan

PROJECT TITLE
NEW RANSOM DISTRICT LIBRARY

ISSUED FOR DATE



GENERAL LANDSCAPE NOTES

- 1 THE OWNER RESERVES THE RIGHT TO REMOVE ANY ITEM FROM THE PROJECT PRIOR TO COMMENCEMENT OF CONTRACTED DEMOLITION WORK.
- 2 ALL EXISTING CONDITIONS SHOULD BE FIELD VERIFIED BEFORE WORK BEGINS.
- 3 DIMENSIONS GIVEN ARE ACTUAL AND ARE TO THE FACE OF MASONRY UNITS OR TO THE FACE OF STUD FRAMING, UNLESS NOTED OTHERWISE.
- 4 DETAILS SHOWN ILLUSTRATE DESIGN INTENT, NOT ALL POSSIBLE CONDITIONS. FOR CONDITIONS NOT SHOWN, USE DETAILS CLOSEST TO CONDITION IN QUESTION.
- 5 TOOTH-IN MASONRY AT NEW OPENINGS IN EXISTING WALLS.
- 6 TOOTH-IN NEW MASONRY INFILL INTO EXISTING OPENINGS AT ALL BULLNOSE BLOCK LOCATIONS.
- 7 FIRESTOP ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES AND CONCEALED WALL SPACES AT CEILING, FLOOR AND ROOF LEVELS.
- 8 FOR CONTROL JOINT (C.J.) LOCATIONS REFER TO EXTERIOR ELEVATIONS AND/OR FLOOR PLANS.

NEW CONSTRUCTION KEY NOTES

- 1 CONCRETE CURB AND GUTTER - SEE DETAIL ON CIVIL SHEET
- 2 STANDARD DUTY CONCRETE - SEE DETAIL ON CIVIL SHEET
- 3 HEAVY DUTY CONCRETE - REFER TO CIVIL PLANS
- 4 ASPHALT PAVEMENT - REFER TO LEGEND FOR PAVEMENT TYPE AND DETAILS ON SHEET CXXX
- 5 DECOMPOSED GRANITE - REFER TO SITE DETAIL
- 6 BARRIER-FREE PARKING SPACE - PROVIDE PAINTED LOGO AND BARRIER-FREE SIGN PER SPACE
- 7 BARRIER-FREE RAMP
- 8 PAINTED STRIPE OUT AREA - ANGLE STRIPES, MAXIMUM 36" APART
- 9 PAINT TRAFFIC ARROW ON PAVEMENT AS INDICATED ON PLAN
- 10 STOP SIGN LOCATION
- 11 DIGITAL MONUMENT SIGN, REFER TO ARCH DETAIL
- 12 POST PANEL SIGN
- 13 BARK MULCH - REFER TO SPECIFICATIONS
- 14 NEW LAWN AREA - INSTALL TOPSOIL PER SPECIFICATION
- 15 DO NOT ENTER SIGN - REFER TO CIVIL SHEET
- 16 EXISTING PAVEMENT TO REMAIN - PROTECT FROM DAMAGE
- 17 EXISTING CURB TO REMAIN - PROTECT FROM DAMAGE
- 18 EXISTING TO REMAIN - PROTECT FROM DAMAGE
- 19 EXISTING LAWN AREA TO REMAIN - RESTORE DAMAGED AREAS CAUSED BY CONSTRUCTION ACTIVITY
- 20 BIKE RACK, REFER TO DETAIL AND SPECS
- 21 FLAG POLE
- 22 BENCH
- 23 LITTER
- 24 TABLE AND CHAIRS

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Plainwell, Michigan 48860
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ISSUED FOR _____ DATE _____

PROJECT TITLE
NEW RANSOM DISTRICT LIBRARY

OWNER
RANSOM DISTRICT LIBRARY

PLAINWELL, MICHIGAN

SHEET TITLE
LANDSCAPE SITE PLAN

SHEET NUMBER
L 101

DATE
JUNE 19, 2019

17-205.00

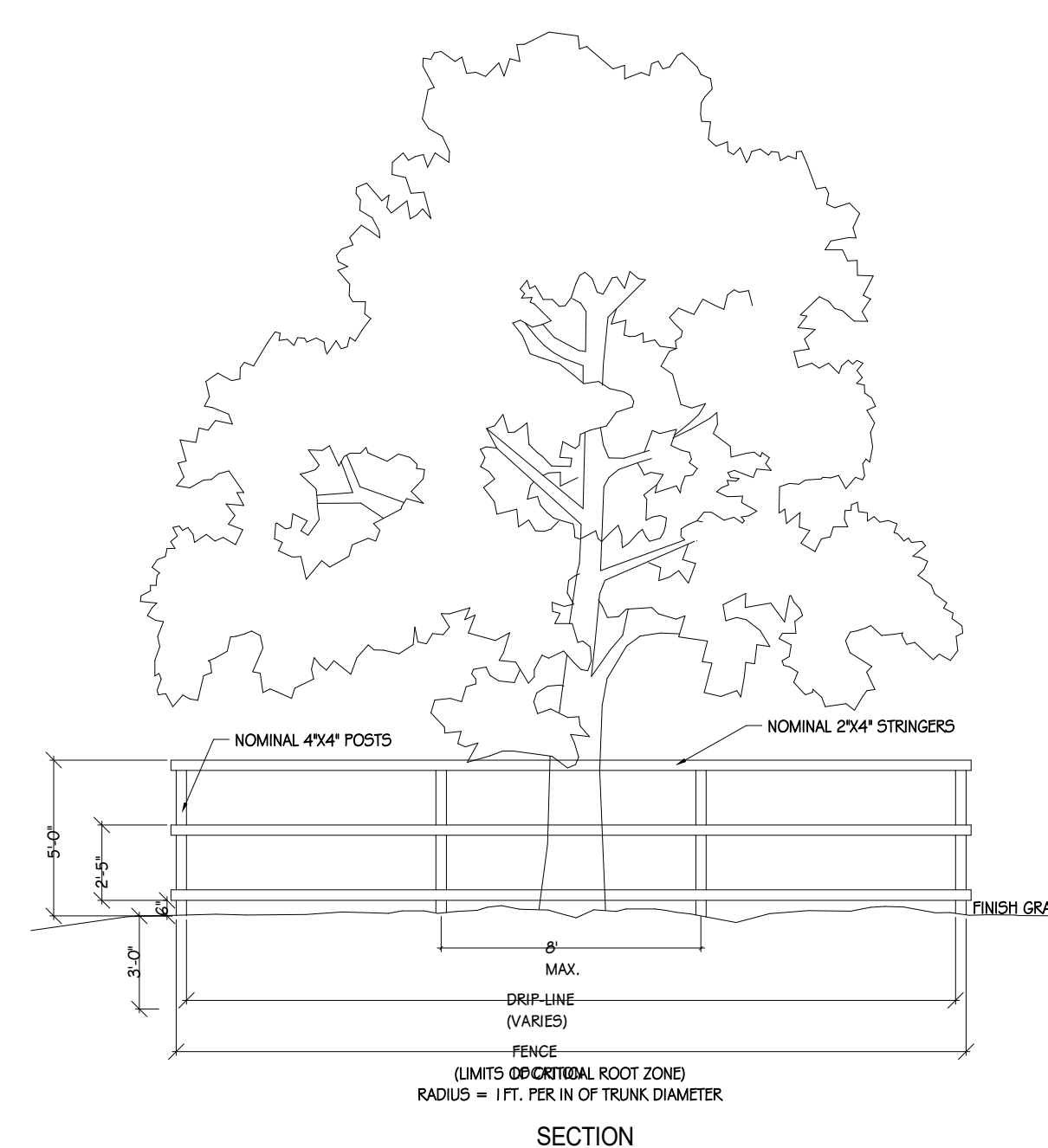


PLANT SCHEDULE

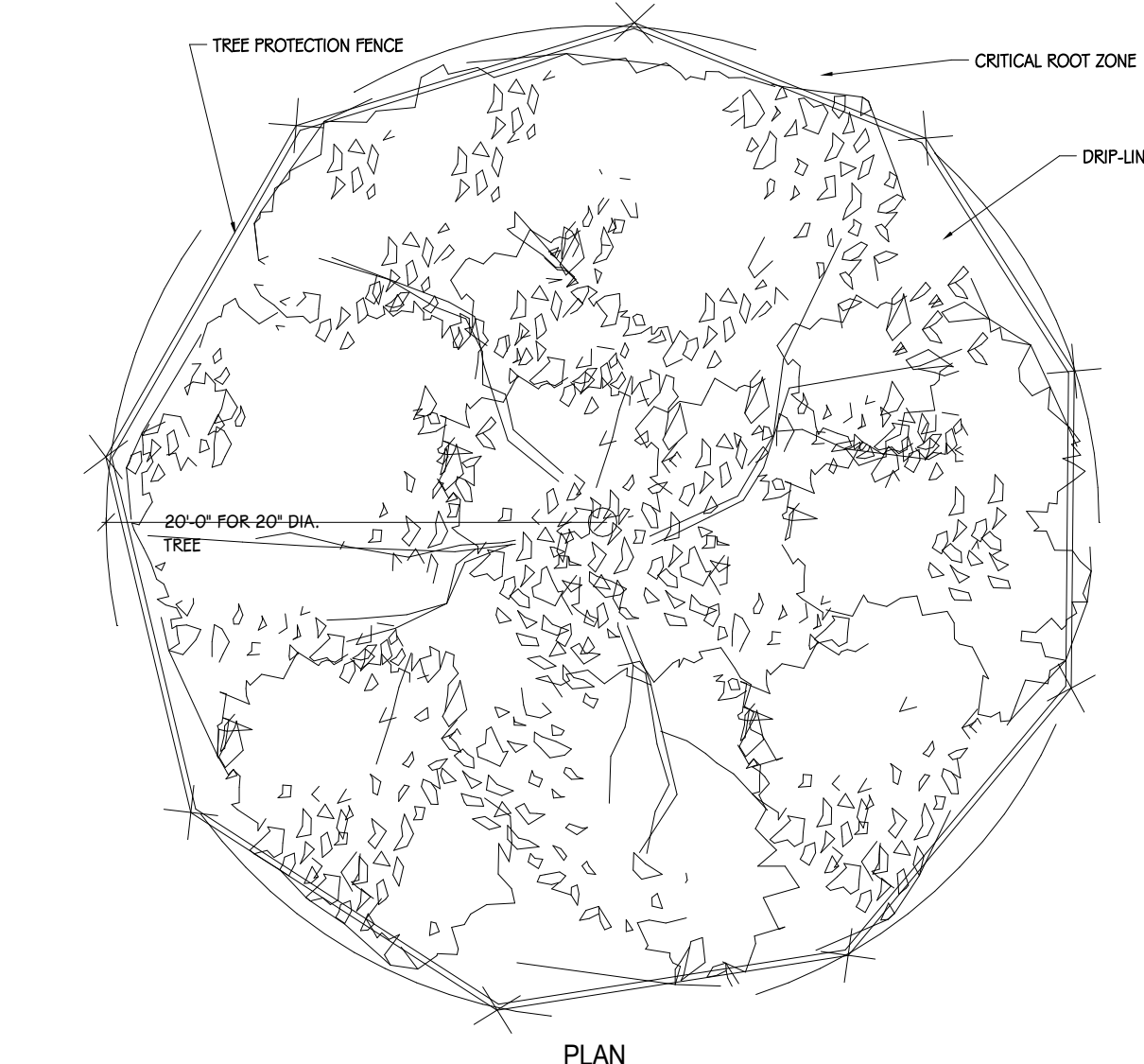
TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
AR	Acer rubrum 'Autumn Blaze'	Autumn Blaze Red Maple	3" Cal.	
AA	Amelanchier arborea 'Autumn Brilliance'	Downy Serviceberry	12" Ht.	B&B
CC	Cercis canadensis	Eastern Redbud	12" Ht.	B&B
GT	Gleditsia triacanthos 'Skyline'	Skyline Honey Locust	3" Cal.	B&B
NS	Nyssa sylvatica	Sour Gum	3" Cal.	B&B
QB	Quercus bicolor	Swamp White Oak	3" Cal.	B&B
ZS	Zelkova serrata 'Green Vase'	Sawleaf Zelkova	3" Cal.	B&B

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
AM	Aronia melanocarpa 'Autumn Magic'	Autumn Magic Black Chokeberry	2" Ht.	Pot
CA	Ceanothus americanus	New Jersey Tea	2 gal.	Pot
CB	Cornus baileyi	Bailey's Red-twig Dogwood	2 gal.	Pot
FG	Fothergilla gardenii 'Blue Mist'	Blue Mist Fothergilla	3" Ht.	Pot
IV	Ilex verticillata	Winterberry	2" Ht.	Pot
JC	Juniperus chinensis sargentii	Sargent Juniper	2" Ht.	Pot
RA	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	2" Ht.	Pot
TX	Taxus x media 'Everlow'	Yew	3" Ht.	Pot

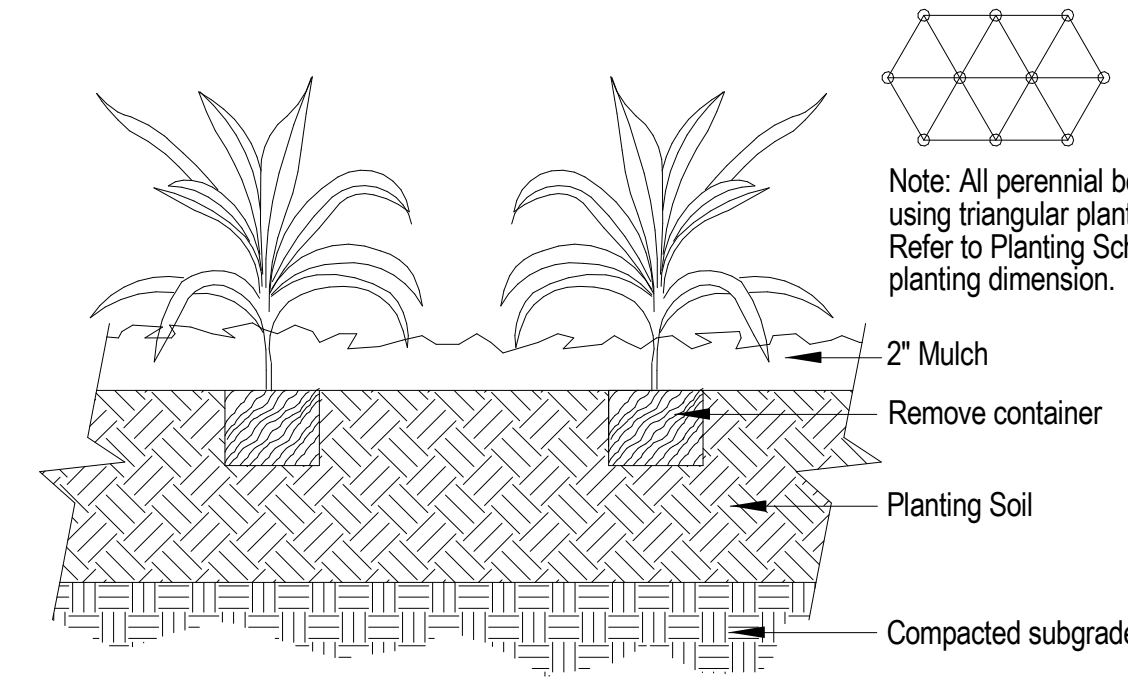
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
[Pattern]	AT	Asclepias tuberosa	Butterfly Milkweed	1 gal.	Pot	18" o.c.
[Pattern]	CP	Carex pensylvanica	Pennsylvania Sedge	1 gal.	Pot	18" o.c.
[Pattern]	DE	Dryopteris erythrosora 'Brilliance'	Autumn Fern	1 gal.	Pot	18" o.c.
[Pattern]	EP	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	1 gal.	Pot	24" o.c.
[Pattern]	HX	Hemerocallis x 'Pardon Me'	Pardon Me Daylily	1 gal.	Pot	12" o.c.
[Pattern]	HS2	Hosta sieboldiana 'Frances Williams'	Frances Williams Hosta	2 gal.	Pot	24" o.c.
[Pattern]	LS2	Liatris spicata	Spike Gayleather	1 gal.	Pot	24" o.c.
[Pattern]	LS	Liriope spicata 'Big Blue'	Creeping Lily Turf	1 gal.	Pot	12" o.c.
[Pattern]	RF	Rudbeckia fulgida 'Goldstrum'	Coneflower	1 gal.	Pot	24" o.c.



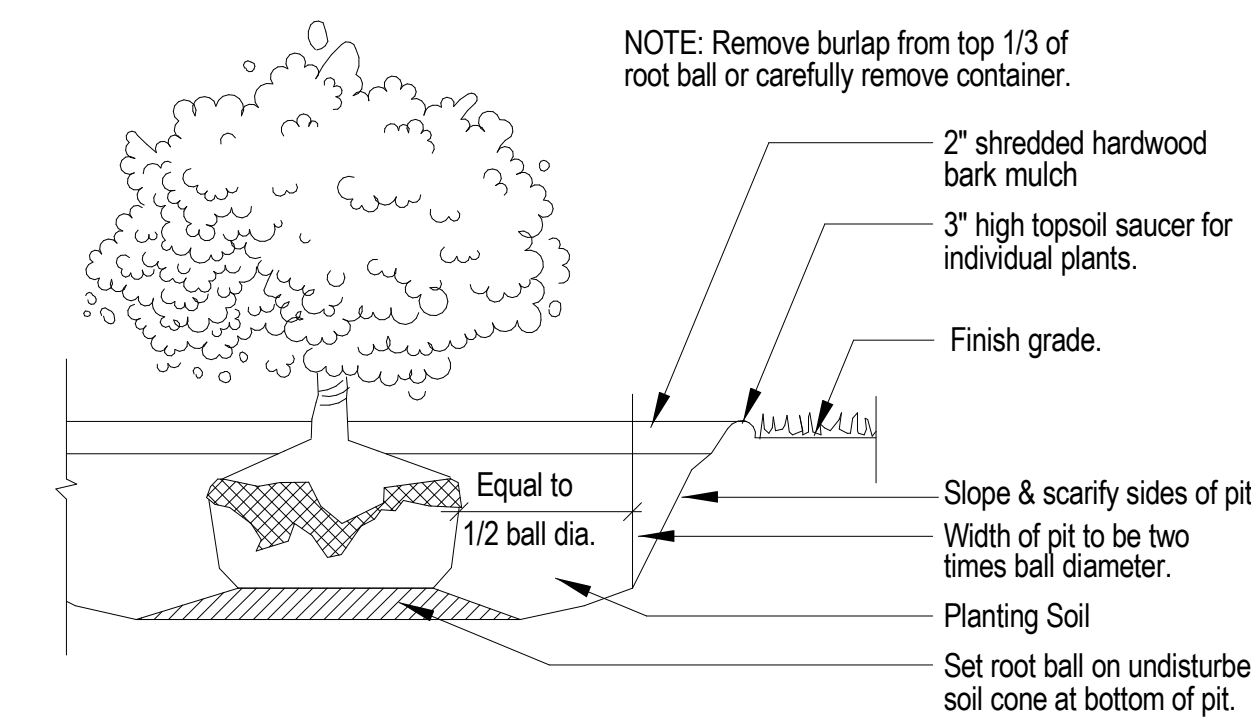
9 Tree Preservation
 SCALE: NONE



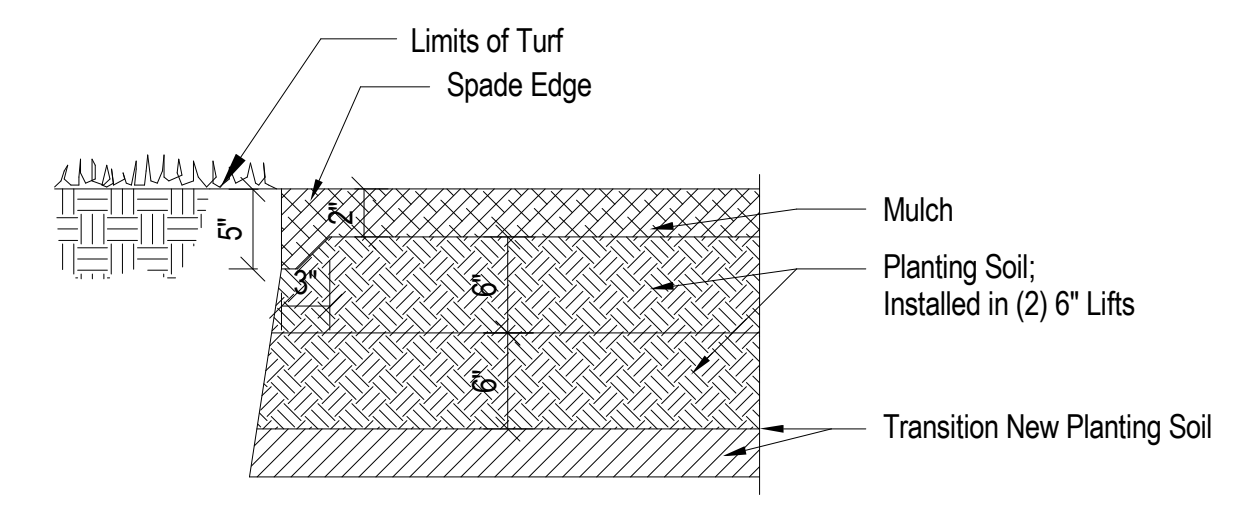
8 Groundcover
 SCALE: NONE



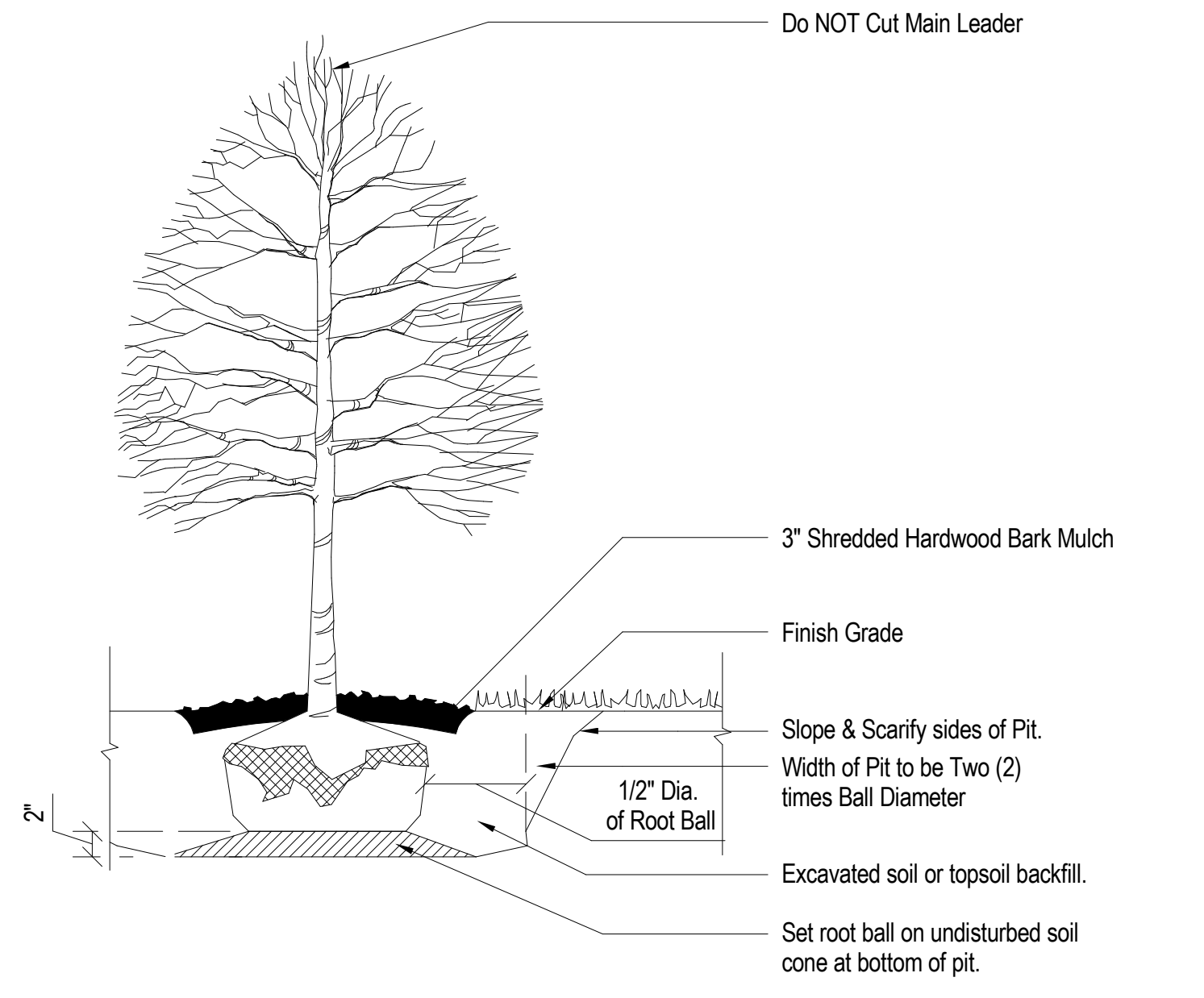
6 Crushed Gravel Path
 SCALE: NONE



5 Spade Edge
 SCALE: NONE

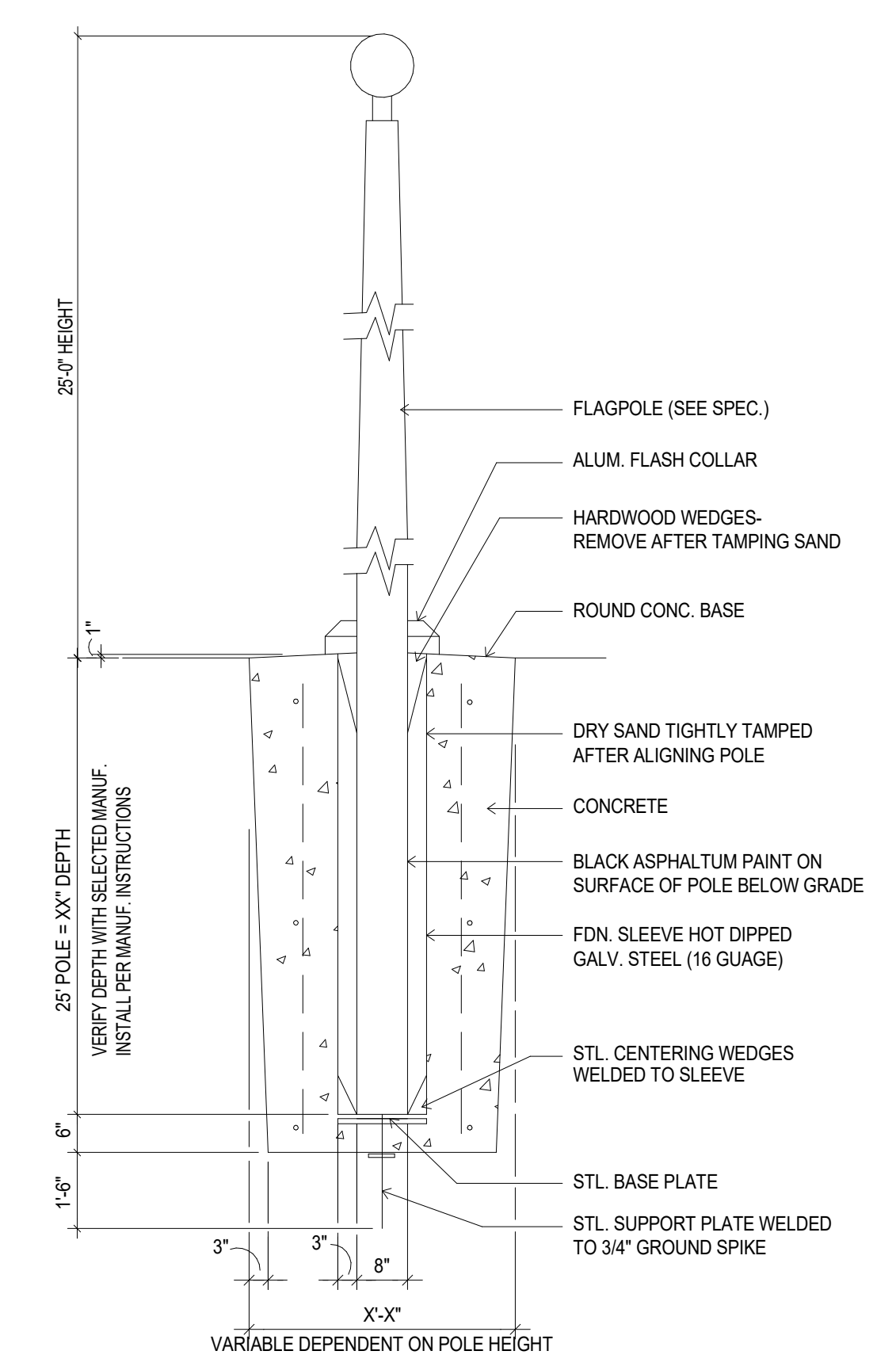


4 Multi-Stem Tree
 SCALE: NONE

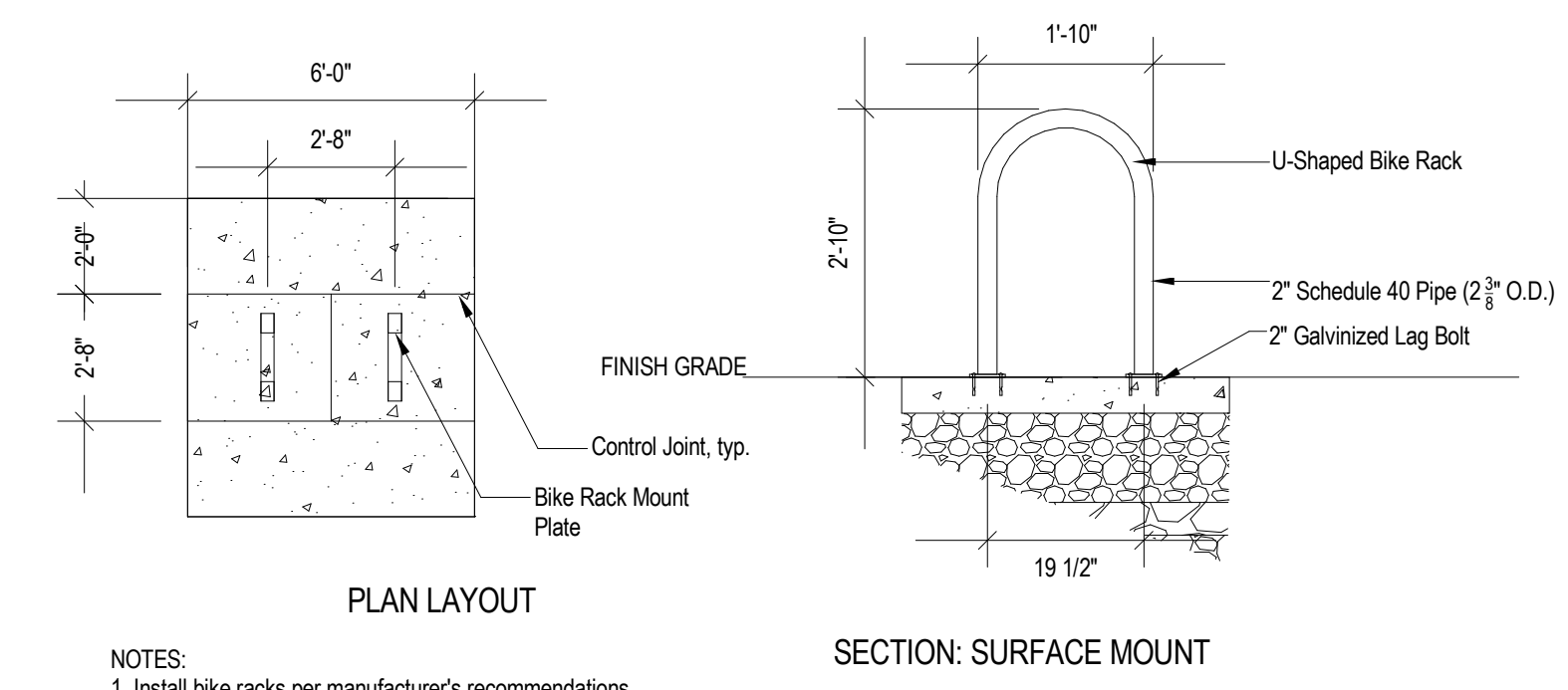


2 Shrub
 SCALE: NONE

1 Tree
 SCALE: NONE

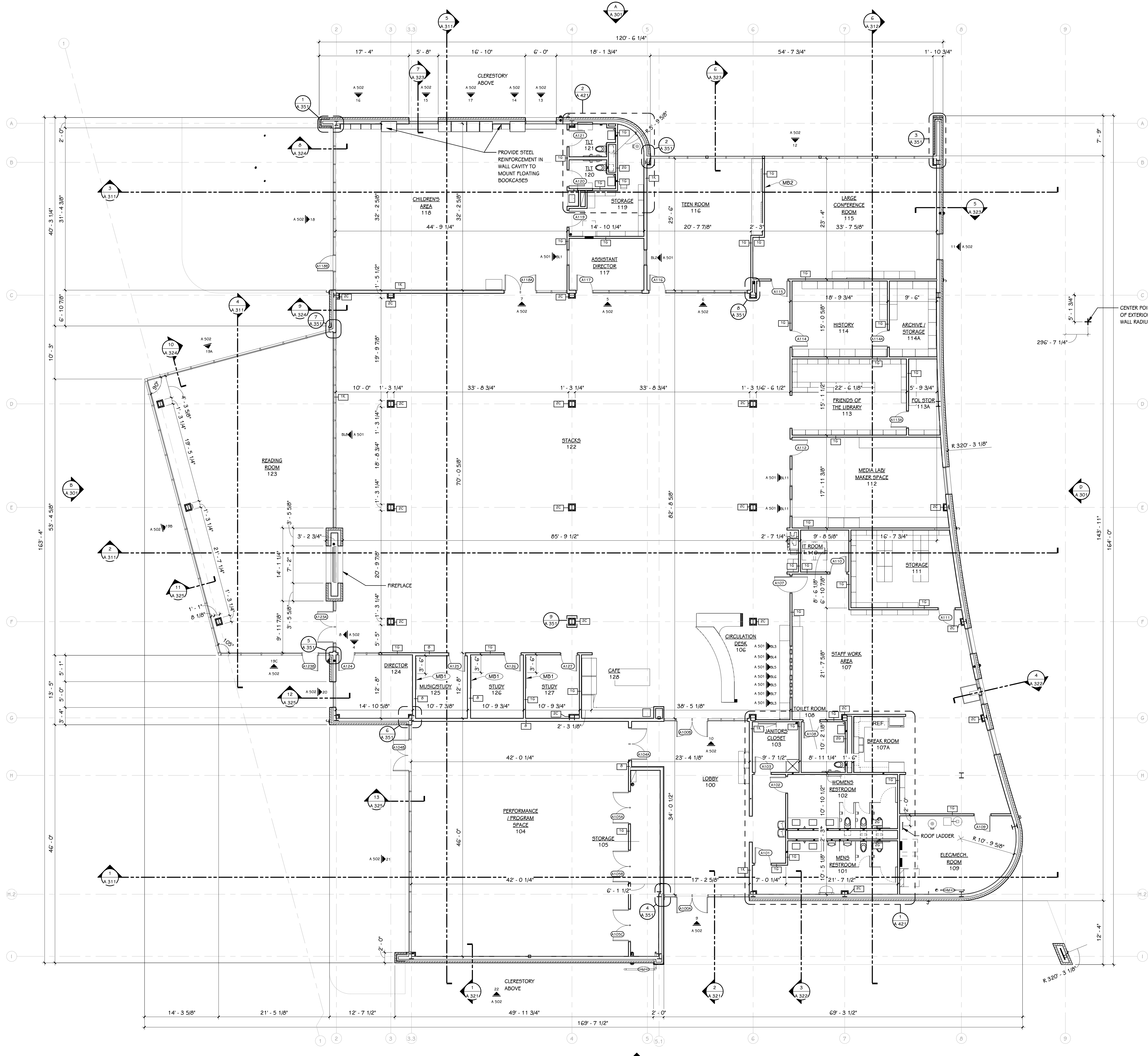


12 Retaining Wall
 SCALE: NONE



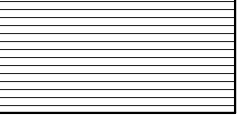
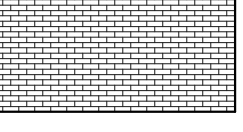
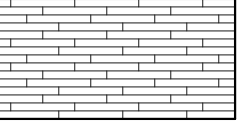
7 Bike Racks
 SCALE: NONE

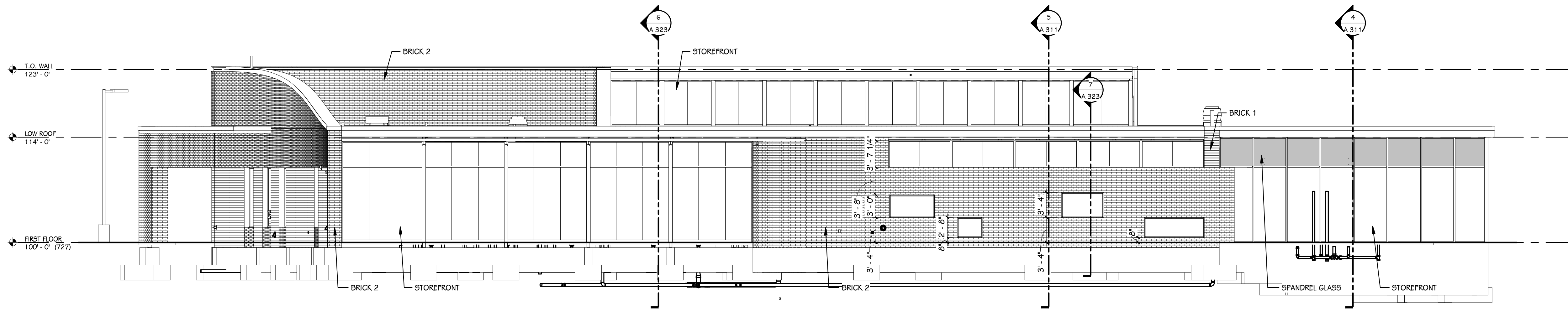
GENERAL NOTES	
1	REFER TO CODE COMPLIANCE PLAN FOR WALL RATING LINES
2	REFER TO FLOOR FINISH PLANS FOR INTERIOR ELEVATION CALLOUTS
3	REFER TO SHEET A 501 FOR WALL AND CEILING ACCESS PANEL INFORMATION
VISUAL DISPLAY BOARD KEY	
MB1	4H x 6W MARKBOARD
MB2	4H x 8W MARKBOARD
1. MOUNT VISUAL DISPLAY BOARDS CENTERED ON THE WALL UNLESS NOTED OTHERWISE	
2. MOUNT BOTTOM OF VISUAL DISPLAY BOARDS AT 3'-0" ABOVE FINISHED FLOOR	
3. REFER TO SPECIFICATION FOR ACCESSORIES RELATED TO VISUAL DISPLAY BOARDS	



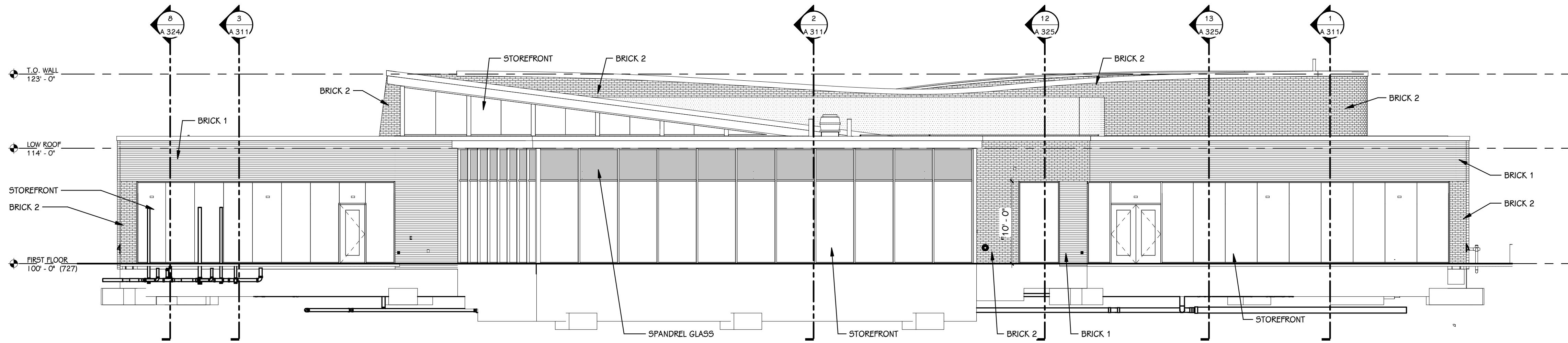
FIRST FLOOR PLAN
 1/8" = 1'-0"

EXTERIOR ELEVATION KEY

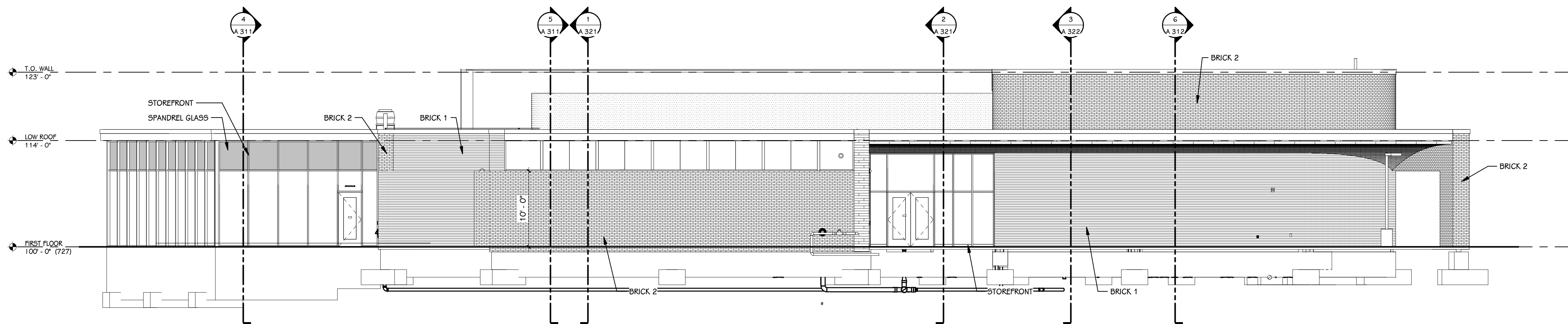
-  BRICK 1 ENDICOTT CLAY PRODUCTS:
 COLOR: MANGANESE IRONSPOT
 MORTAR: 94X IRON BLACK
 -  BRICK 2 ENDICOTT CLAY PRODUCTS:
 COLOR: MANGANESE IRONSPOT
 MORTAR: 97A SUPER BLACK
 -  TRESPA: NWO2 ELEGANT OAK, SATIN
- CJ = CONTROL JOINT, COLOR:



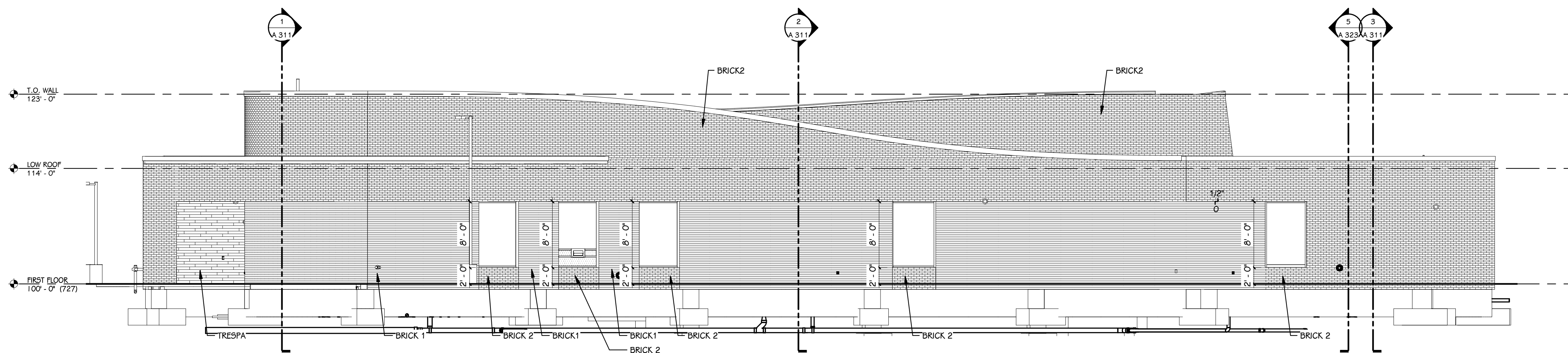
A
 EXTERIOR ELEVATION - NORTH
 1/8" = 1'-0"



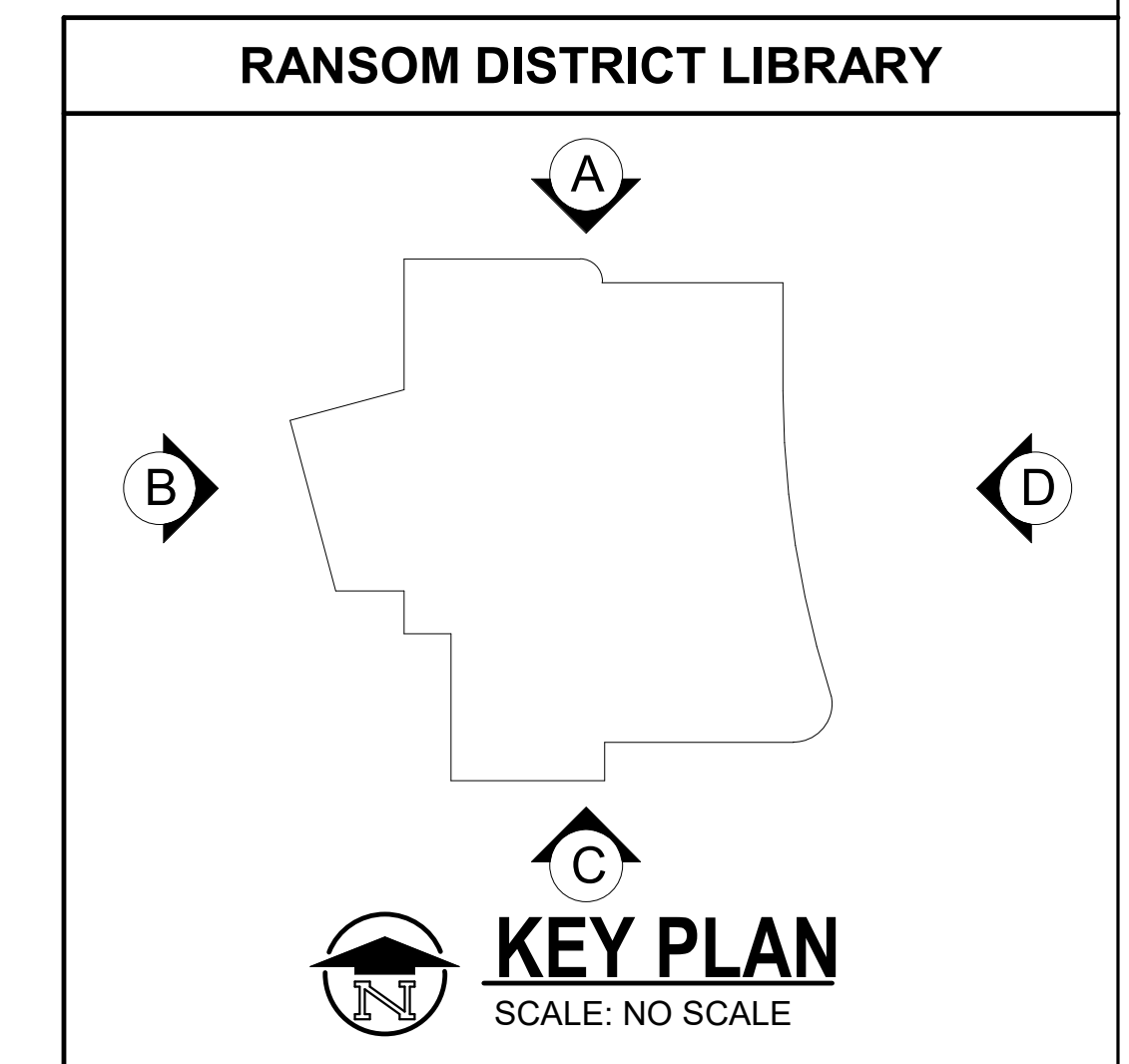
B
 EXTERIOR ELEVATION - WEST
 1/8" = 1'-0"



C
 EXTERIOR ELEVATION - SOUTH
 1/8" = 1'-0"

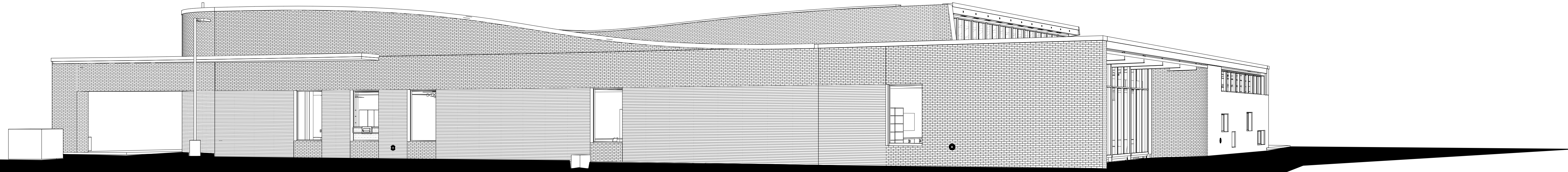


D
 EXTERIOR ELEVATION - EAST
 1/8" = 1'-0"

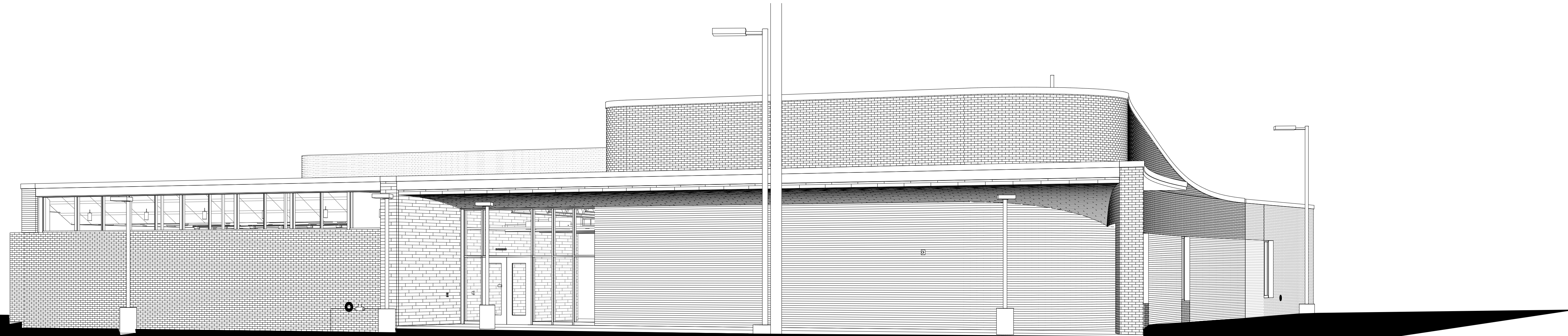




EXTERIOR CHILDRENS ROOM CORNER



EXTERIOR FRONT CORNER



EXTERIOR ENTRANCE

SHEET TITLE
EXTERIOR 3D VIEWS

SHEET NUMBER
A 302
17-205.00

DATE
JUNE 19, 2019

OWNER
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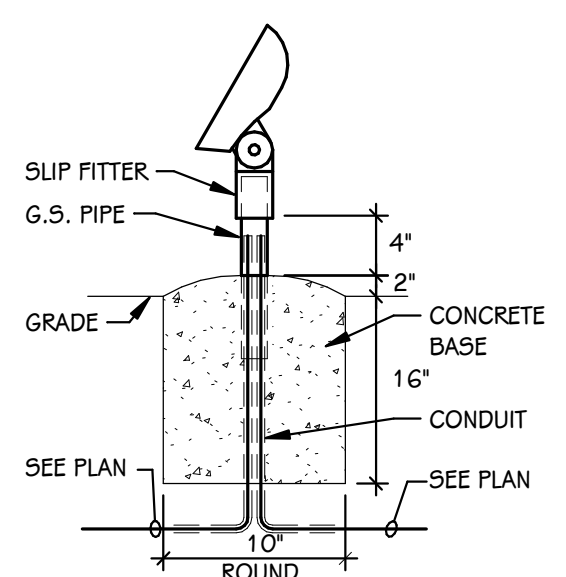
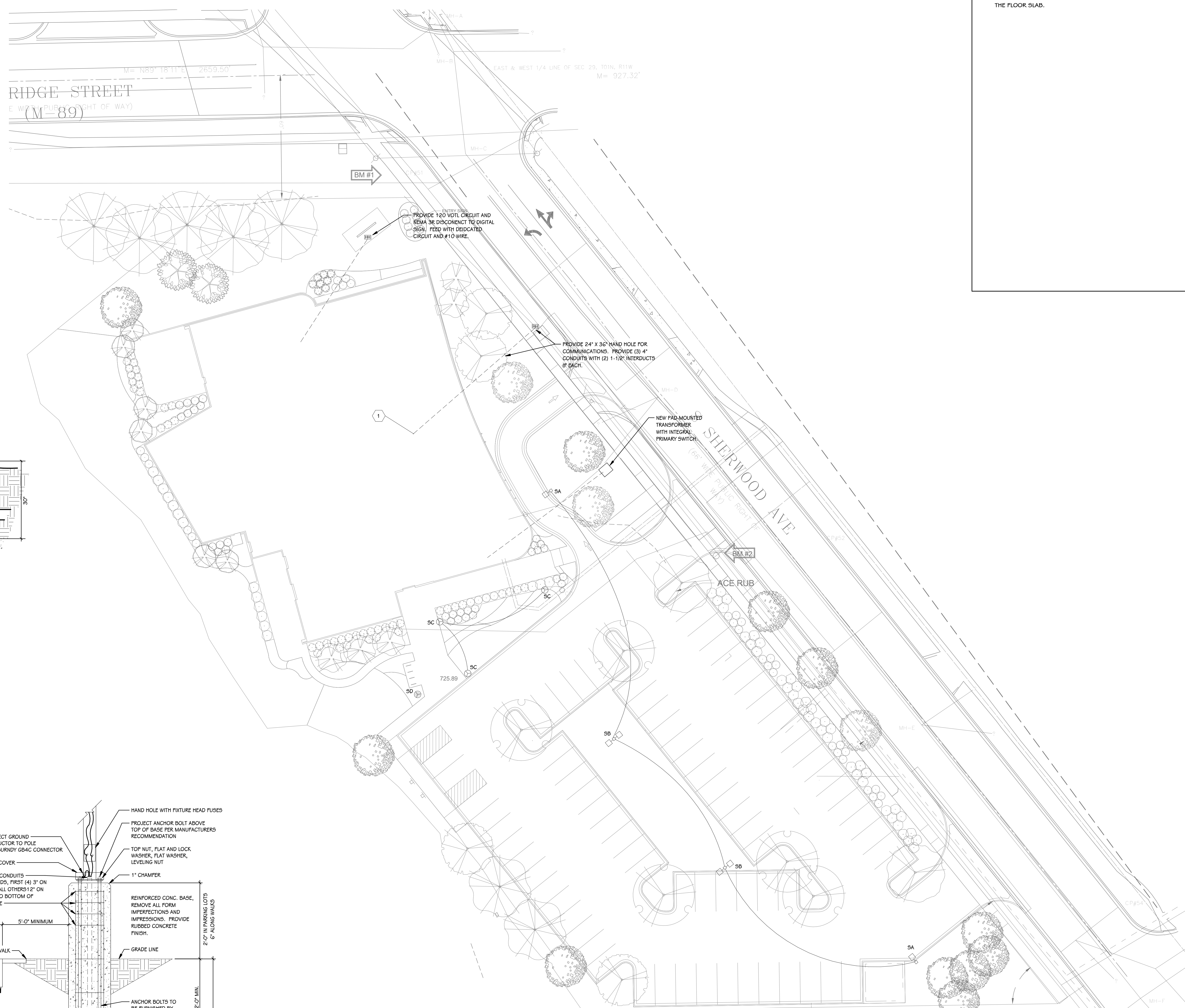
Plainwell, Michigan

PROJECT TITLE
NEW RANSOM DISTRICT LIBRARY

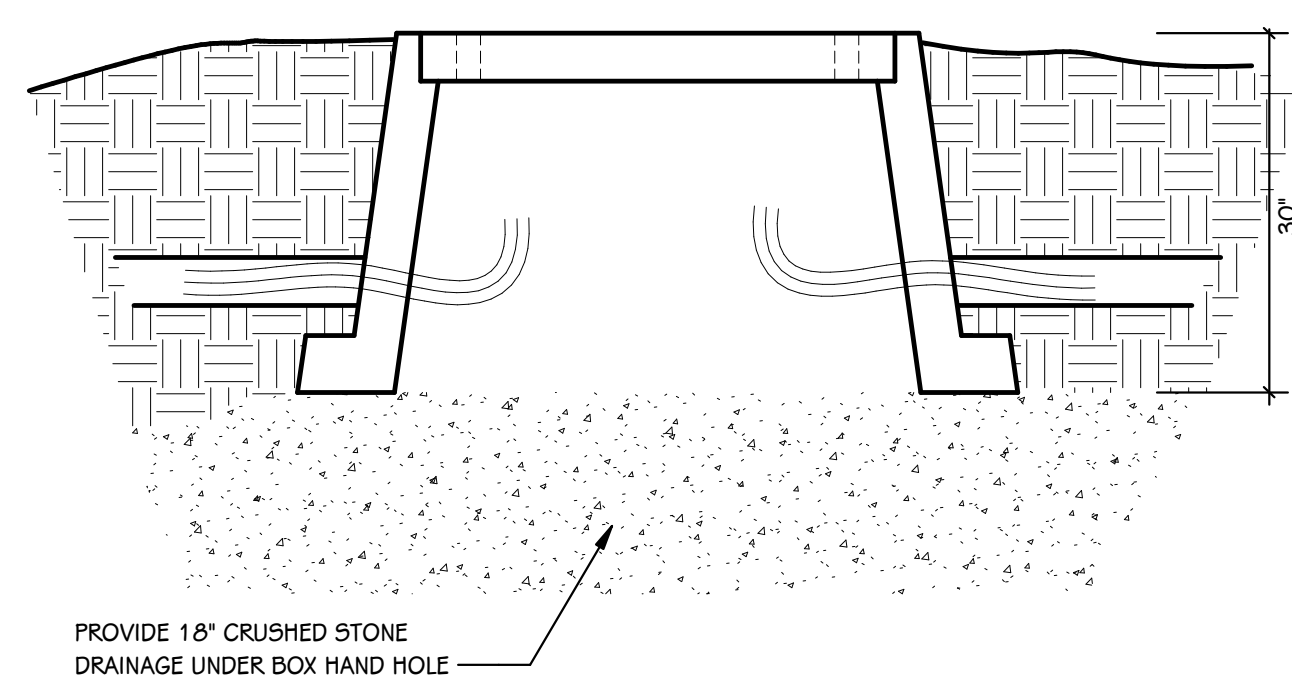
ISSUED FOR DATE

ELECTRICAL KEYED NOTES

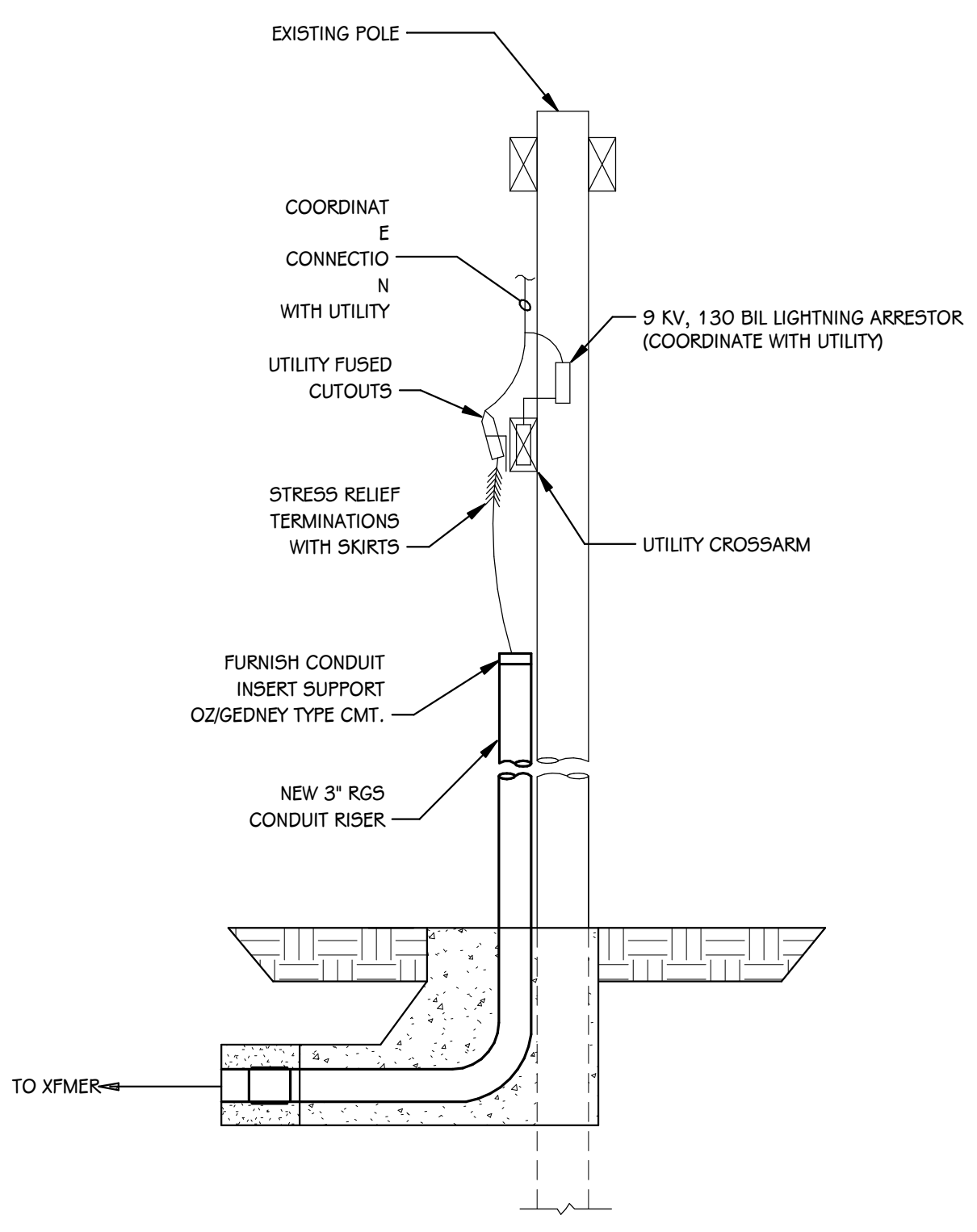
1 PVC CONDUITS SHALL TRANSITION TO RIGID AS THEY PASS THROUGH THE FLOOR SLAB.



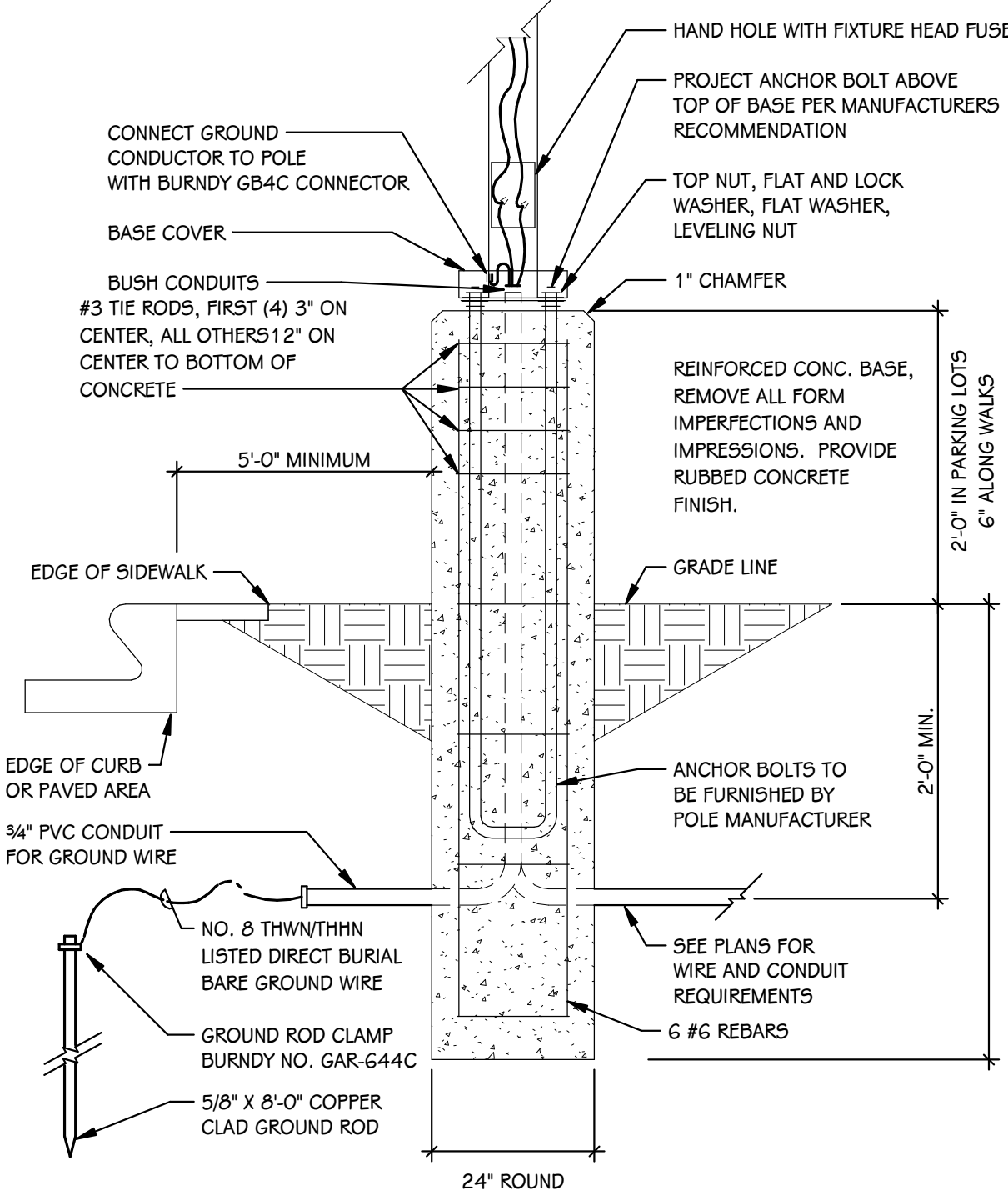
GROUND MOUNTED LIGHTING BASE
 SCALE: NONE



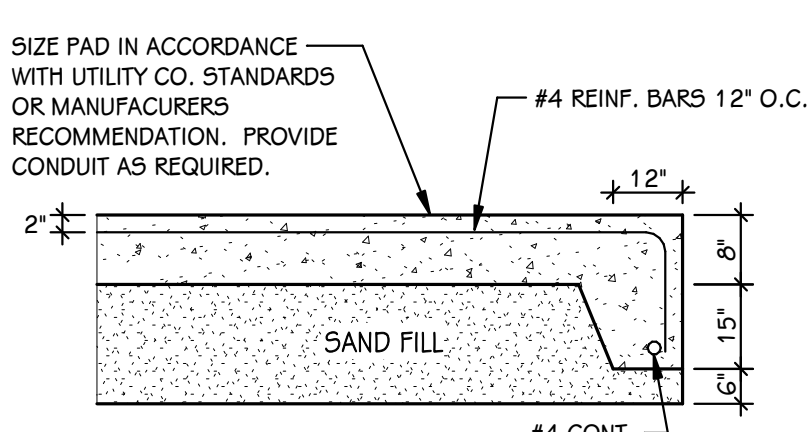
HAND HOLE DETAILS
 SCALE: NONE



UTILITY POLE DETAIL
 SCALE: NONE



LIGHTING POLE BASE DETAIL
 SCALE: NONE





OUTDOOR TRANSFORMER PAD
 SCALE: NONE

ELECTRICAL SITE PLAN
 1" = 20'-0"

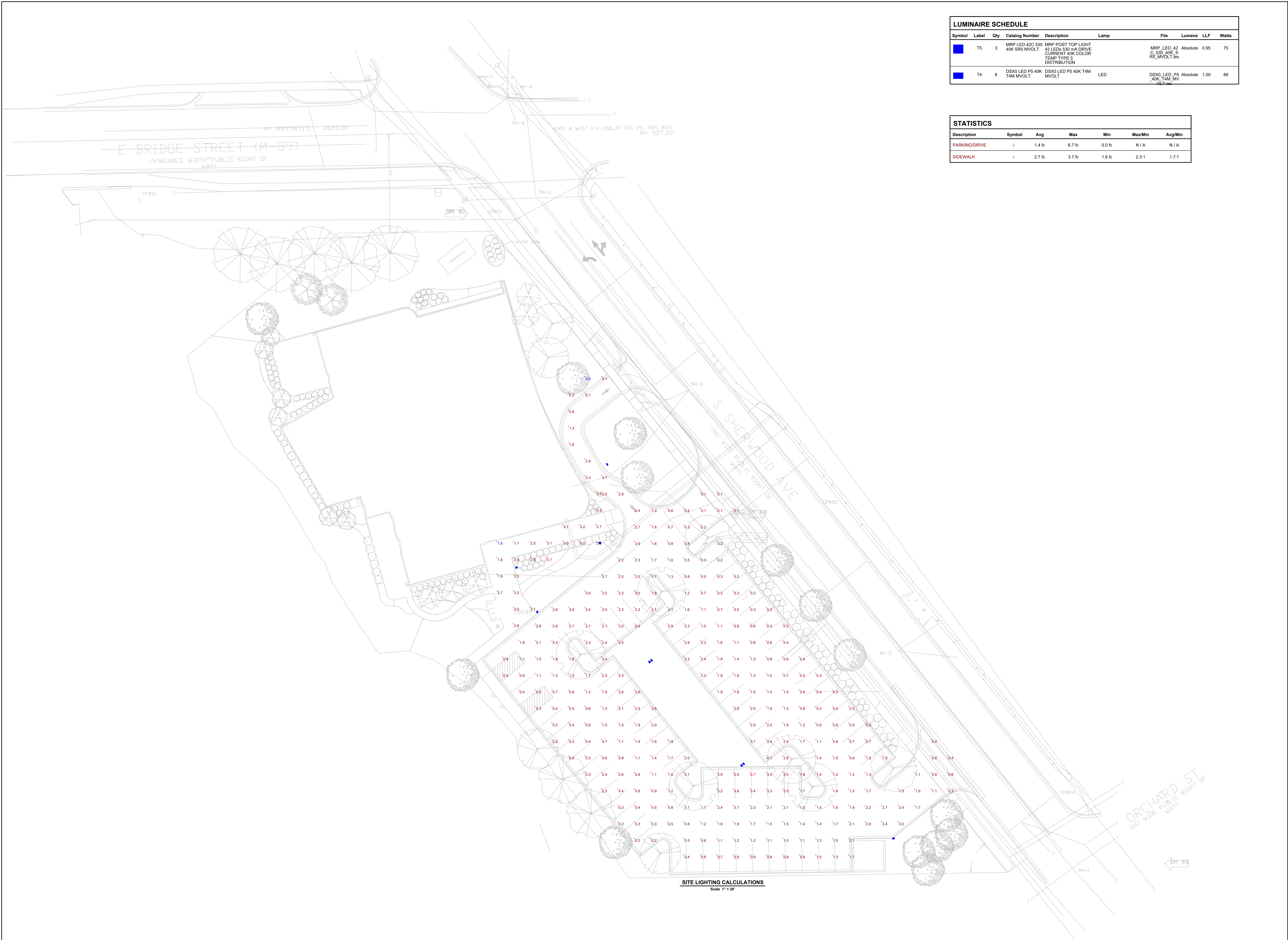
SITE LIGHT FIXTURE SCHEDULE				
TYPE	DESCRIPTION	MOUNTING	WATTS	MANUFACTURER
SA	LED AREA LIGHT ON 20' POLE	20' POLE	89 VA	LITHONIA: DSXO-LED-P5-40K-T4M-MVOLT-PIR W/ 20' ROUND ALUMINUM POLE
SB	DUAL HEAD LED AREA LIGHT ON 20' POLE	20' POLE	178 VA	(2) LITHONIA: DSXO-LED-P5-40K-T4M-MVOLT-PIR W/ 20' ROUND ALUMINUM POLE
SC	LED AREA LIGHT ON 15' POLE	15' POLE	75 VA	LITHONIA: MRP-LED-42C-530-40K-SR5-MVOLT-PNMTDD3 W/ 20' ROUND ALUMINUM POLE
SD	FLAG POLE LIGHT	GROUND	20 VA	HOLMLIGHTING: #DCST-13-UV-L20-K40-FL-LS-FB-GM

RANSOM DISTRICT LIBRARY
SITE LIGHTING CALCULATIONS

Designer
SCOTT GARBERICK
Date
JUNE 19, 2019
Scale
1" = 20'
Drawing No.

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	T5	3	MRP LED 42C 530 40K SR5 MVOLT	MRP POST TOP LIGHT 42 LEDx 530 mA DRIVE CURRENT 40K COLOR TEMP TYPE 5 DISTRIBUTION		MRP_LED_42_C_530_40K_SR5_MVOLT.tps	Absolute 0.95		75
	T4	6	DSX0 LED P5 40K T4M MVOLT	DSX0 LED P5 40K T4M MVOLT	LED	DSX0_LED_P5_40K_T4M_MVOLT.tps	Absolute 1.00		89

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING/DRIVE	+	1.4 fc	6.7 fc	0.0 fc	N/A	N/A
SIDEWALK	+	2.7 fc	3.7 fc	1.6 fc	2.3:1	1.7:1



SITE LIGHTING CALCULATIONS
Scale 1" = 20'



The Conrad

Single, Wet, Unisex Style Restroom

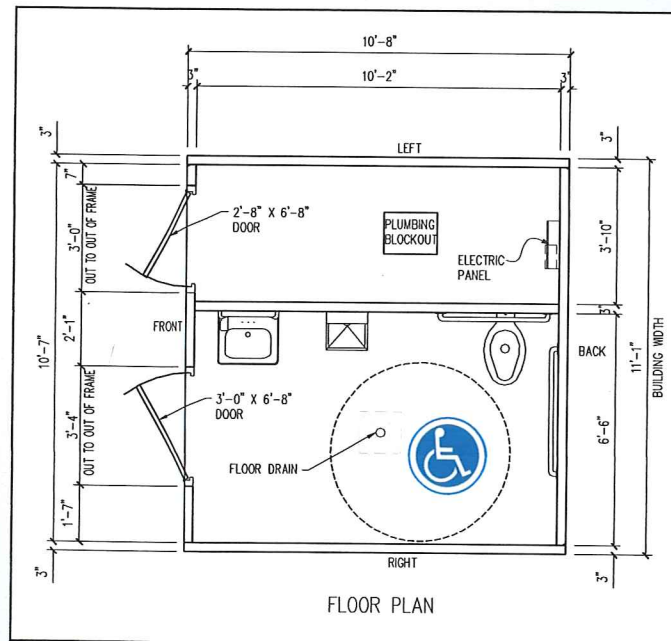


The Conrad, a plumbed unisex style restroom, offers one individual unit containing all stainless steel fixtures, a separate chase for housing mechanical, electrical equipment and storage for supplies. Unique industry-leading features include: easy to clean and sanitize wall-to-floor cove detail; post-tensioning system to add strength, shrinkage crack resistance and impermeability; stainless steel connector plates and window frames for corrosion resistance; and post-tensioning in large multi-unit restrooms to create monolithic two-way slab design. Restroom meets or exceeds current codes.

Pre-Engineered • Minimal Site Preparation • Delivered To Site Ready To Use • Maintenance Free • Durable • Sustainable

Only Brand to Offer:

- Easy clean-out cove detail
- Patented post-tensioning system
- Stainless steel assembly connector plates
- Stainless steel window frame
- Monolithic roof and floor designs (multi-unit)



AVAILABLE OPTIONS:

- Wall Textures & Colors
- Factory Plumbed & Wired
- Choice of Pre-Installed Fixtures
- Hot Water Heaters • Water Fountains
- Room Heaters • Solar Package
- Anti-Graffiti Coating

MANUFACTURED throughout the USA & Canada by Licensed Producers
AVAILABLE LOCALLY FROM:



DRAWING PACKAGE NUMBER: CFS108111

10'-8" X 11'-1" X 9'-8" CONRAD

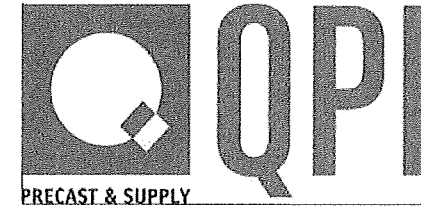
SHERWOOD PARK IMPROVEMENTS

CUSTOMER: CITY OF PLAINWELL

PROJECT: SHERWOOD PARK IMPROVEMENTS

PRODUCER: QUALITY PRECAST, INC.

PREPARED FOR:



EASI-SET® WORLDWIDE
5119 Callett Rd. • Midland, VA 22728 • info@EasiSet.com
www.EasiSet.com • 800-547-4045 • Fax 540-439-2541

SUBMITTAL DRAWINGS

GENERAL NOTES:

1. DESIGN SPECIFICATIONS

- BC 20'5
- ASCE 7-10
- AC 3'8-14
- PC 7T- ED.
- STEEL CONST. MANUAL 14TH ED.

2. LOADS

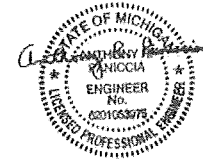
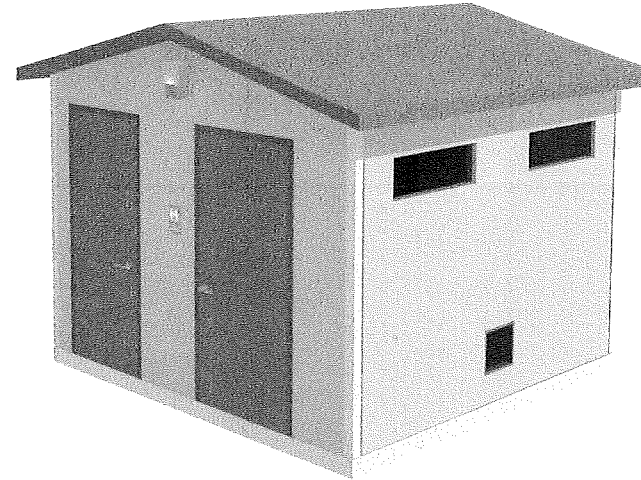
- ROOF LIVE LOAD: 150 PSF
- FLOOR LIVE LOAD: 150 PSF
- WIND LOADING: 65 MPH
- SEISMIC DESIGN: DESIGN CATEGORY C

3. MATERIALS

- CONCRETE = 2,500 PS (RELEASE)
= 3,000 PS (28 DAY)
= 3,500 PS (POST-TENSIONING)
- REBAR: ASTM A615, GRADE 60
- WELDED WIRE FABRIC: GRADE 65 ASTM A1064
- POST-TENSION STRAND: ASTM A416, F_{pu}=270 KSI

ABBREVIATIONS:

- P.D. = PANEL DIMENSION
- R.O. = ROUGH OPENING
- TYP. = TYPICAL



DRAWING INDEX

DWG	SHEET TITLE	REVISION NO.	DATE
E-01	COVERSHEET		07.03.19
E-02	BUILDING LAYOUT		07.03.19
E-03	BUILDING CROSS SECTIONS		07.03.19
E-04	CONNECTION LAYOUT		07.03.19
E-05	CONNECTION DETAILS		07.03.19
E-06	RECOMMENDED SITE PREP		07.03.19

DATE	DESCRIPTION	INI.	REV.
			1
			2
			3
			4

PROJECT: 10'-8" X 11'-1" X 9'-8" CONRAD
SHERWOOD PARK IMPROVEMENTS
CONTRACTOR: QUALITY PRECAST INC.

COM 123111

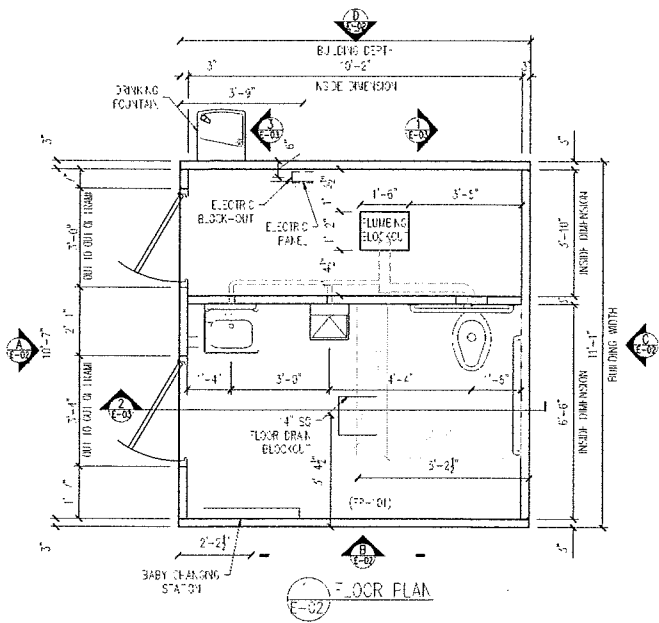
JOB #

DRAWN BY
JAD

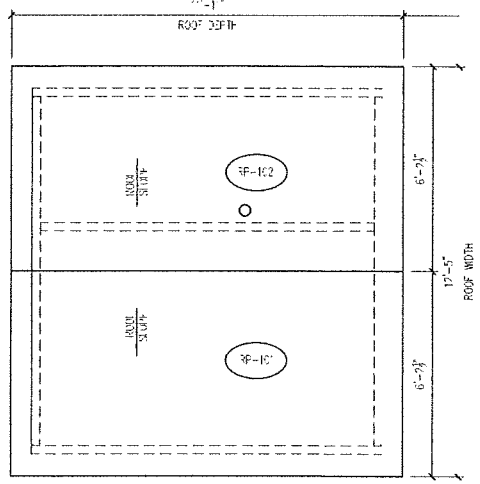
CHECK BY
WCR

ISSUE DATE
07.03.19

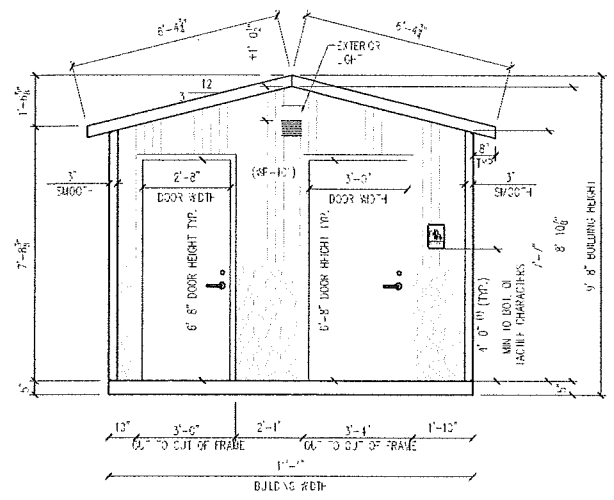
SHEET
1 - 0



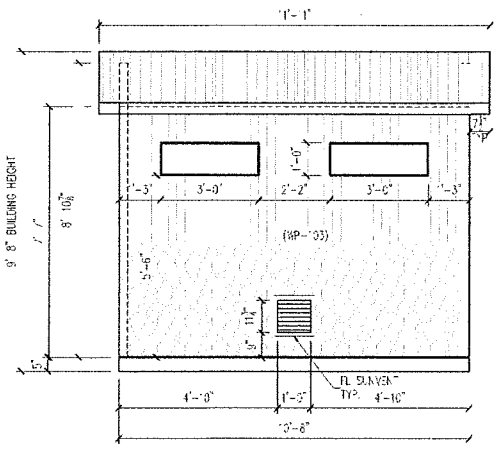
1 FLOOR PLAN
E-02



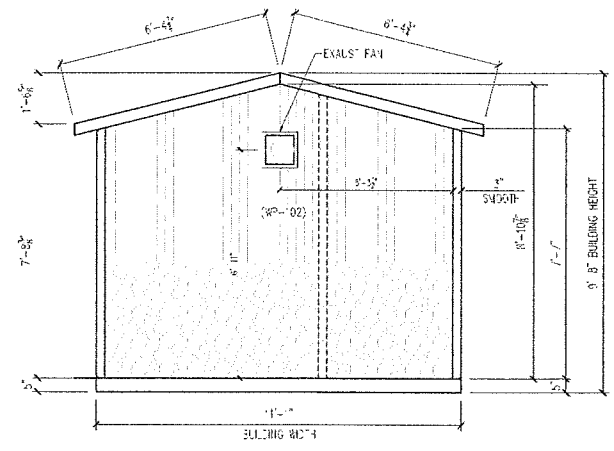
2 ROOF PLAN
E-02



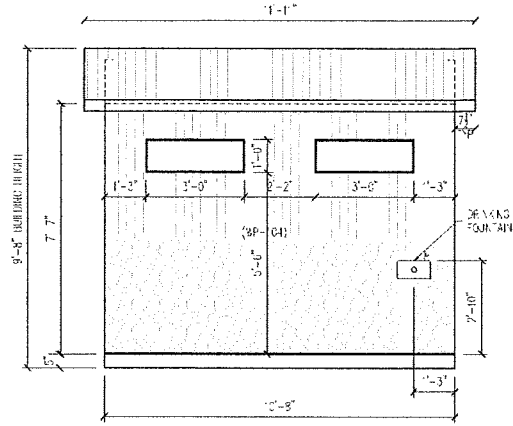
A FRONT ELEVATION
E-02



B RIGHT ELEVATION
E-02



C REAR ELEVATION
E-02



D LEFT ELEVATION
E-02

ALL REFERENCES BELOW ARE PER 2010
ADA STANDARDS FOR ACCESSIBILITY DESIGN.
1) ADA SECTION 703.4

ITEMS TO BE PROVIDED

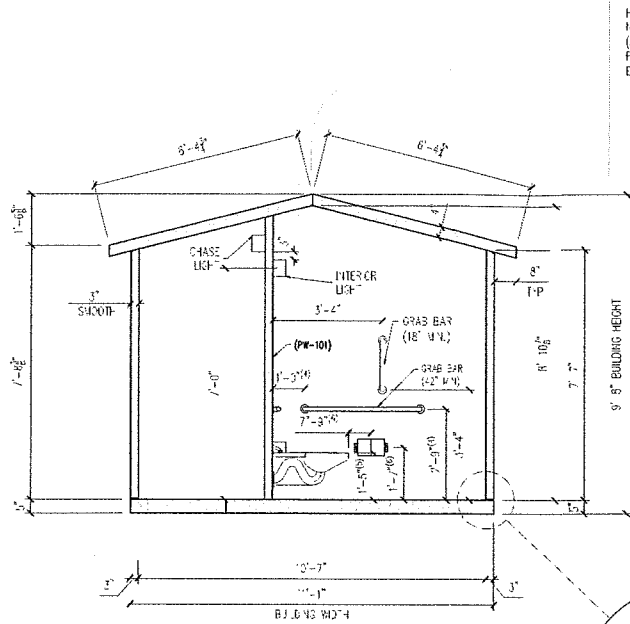
MESSAGE CENTER	
BUILDING FINISH WALLS: FELDSTONE/BARNWOOD	ROOF: VERTICAL SEAM FINISH
BUILDING STAIN: -	
DOOR COLOR: -	
BUILDING WEIGHT: XX,XXX_LBS	NET WEIGHT, EXCLUDING FIXTURES:
CUSTOMER APPROVAL:	
APPROVED BY: _____	DATE: _____

DATE	DESCRIPTION	REV	INT.
-	-	1	Δ
-	-	2	Δ
-	-	3	Δ
-	-	4	Δ

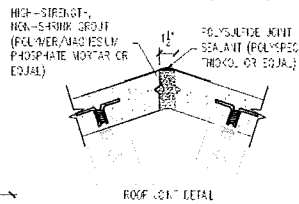
PROJECT: 10'-8" X 11'-1" X 9'-8" CONRAD
SHERWOOD PARK IMPROVEMENTS
CONTRACTOR: QUALITY PRECAST INC.

FOUNDING LAYOUT

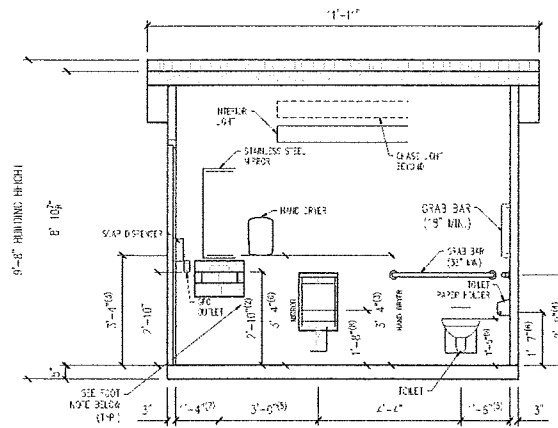
JOB #	_____
DRAWN BY	JAD
CHECK BY	WCR
ISSUE DATE	07.03.19
SHEET	1-02



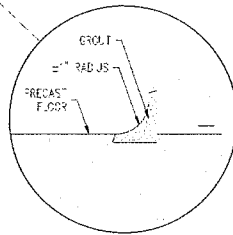
1 CROSS-SECTION
E-03



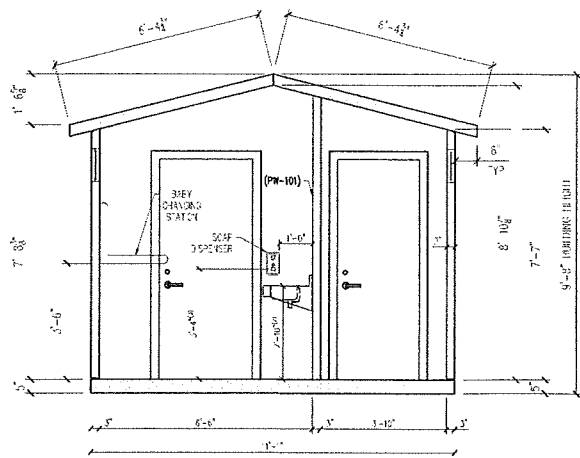
ROOF JOINT DETAIL



2 CROSS-SECTION
E-03



COVE DETAIL
AT BASE OF RESTROOM ONLY
(TYPICAL)



3 CROSS-SECTION
E-03

ALL REFERENCES BELOW ARE PER 2010
ADA STANDARDS FOR ACCESSIBLE DESIGN.

- (1) ADA SECTION 603.3
- (2) ADA SECTION 606.3
- (3) ADA SECTION 308
- (4) ADA SECTION 604.5-604.5.2 & 609
- (5) ADA SECTION 604
- (6) ADA SECTION 604.7
- (7) ADA SECTION 606
- (8) ADA SECTION 605.2

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EASI-SET®
 WORLDWIDE

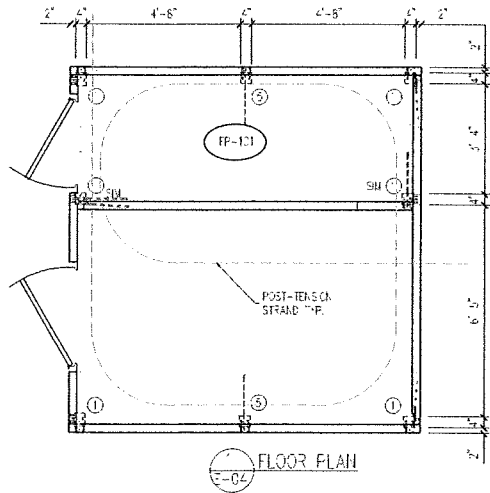
DATE	DESCRIPTION	INITIALS	REV
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			2
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			4

PROJECT: 10'-8" X 11'-1" X 9'-8" CONRAD
 SHERWOOD PARK IMPROVEMENTS
 CONTRACTOR: QUALITY PRECAST INC.

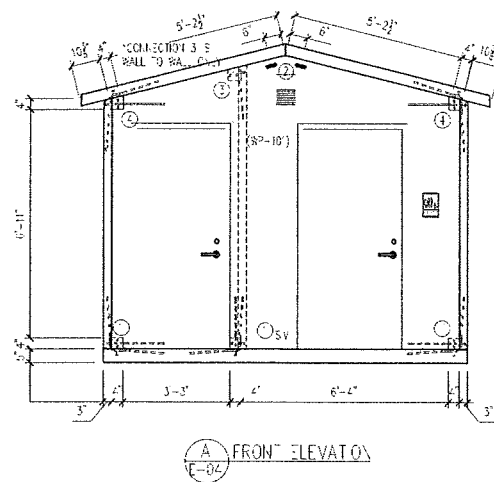
THIRD FLOOR
 CROSS
 SECTION

JOB #
 DRAWN BY
 JAD
 CHECK BY
 HCR
 ISSUE DATE
 07.03.19
 SHEET
 E-03

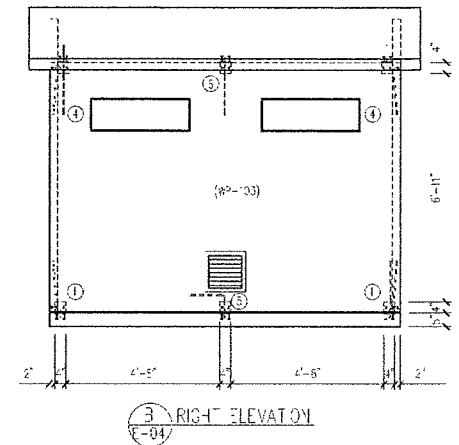
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 800-547-4045 • Fax 540-439-2541



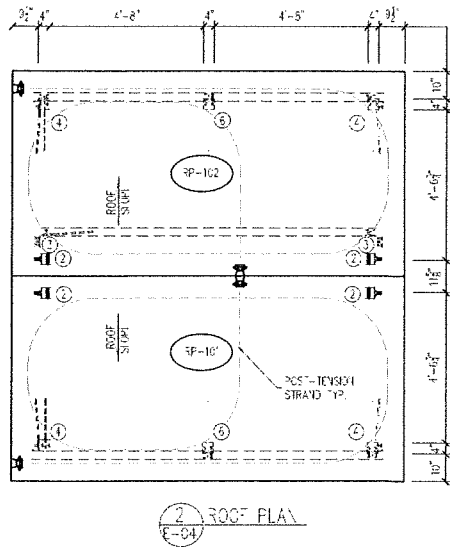
1 FLOOR PLAN
E-04



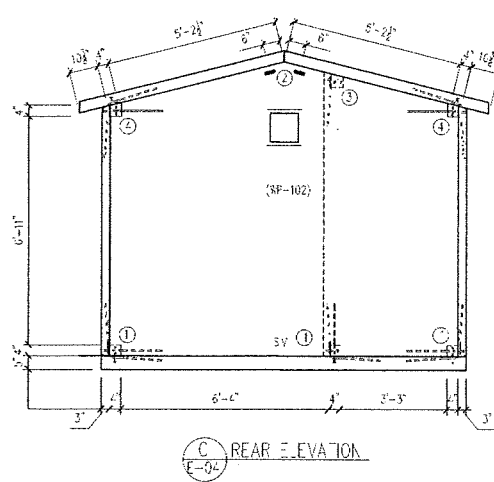
A FRONT ELEVATION
E-04



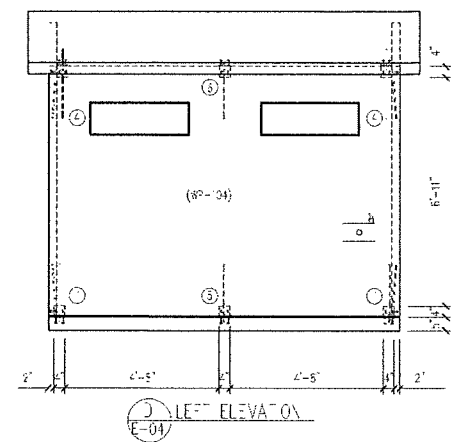
3 RIGHT ELEVATION
E-04



2 ROOF PLAN
E-04



C REAR ELEVATION
E-04



2 LEFT ELEVATION
E-04

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DATE	DESCRIPTION	INL	REV

PROJECT: 10'-8" X 11'-1" X 9'-8" CONRAD
SHERWOOD PARK IMPROVEMENTS
CONTRACTOR: QUALITY PRECAST INC.

CONNECTION
LAYOUT

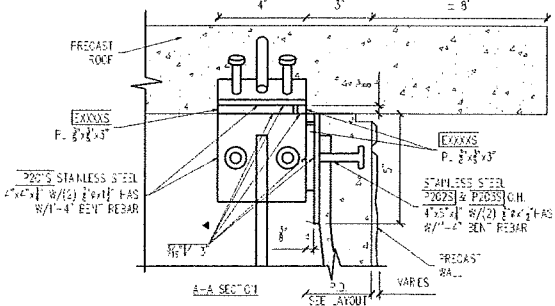
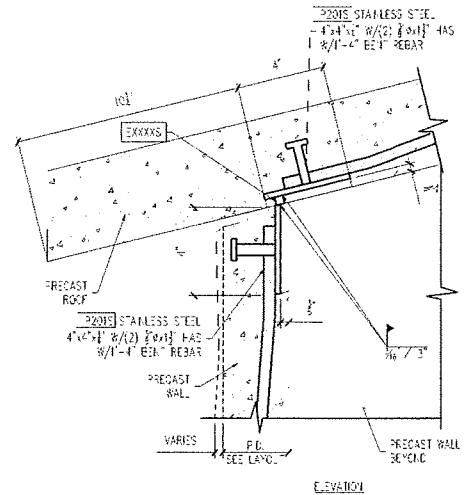
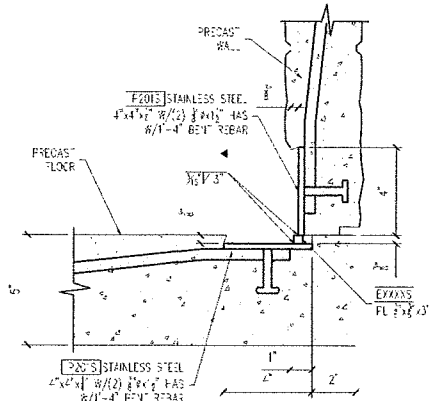
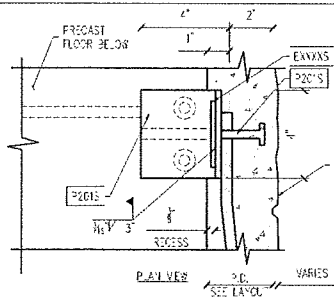
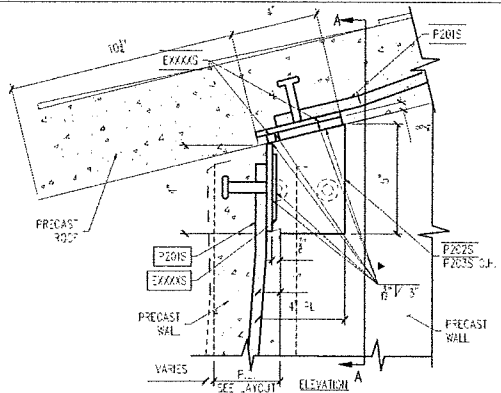
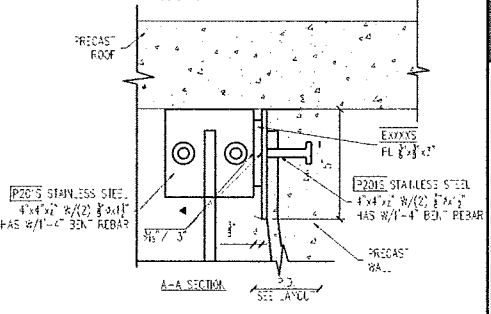
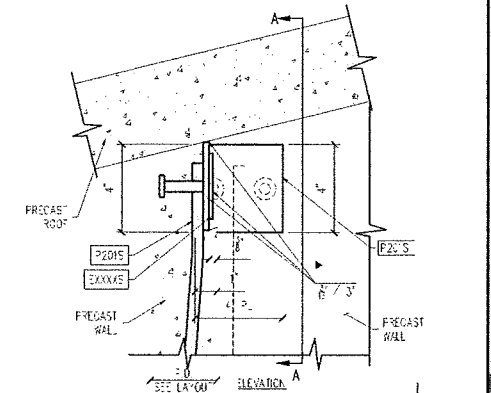
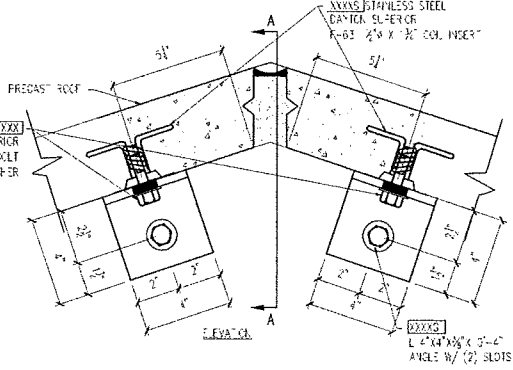
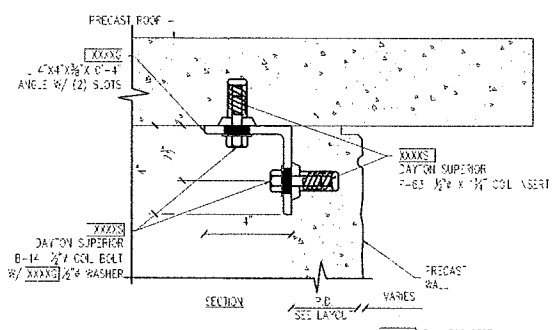
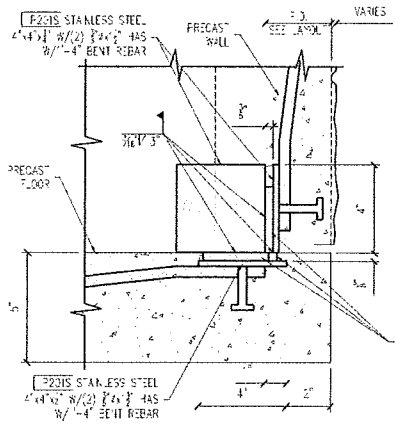
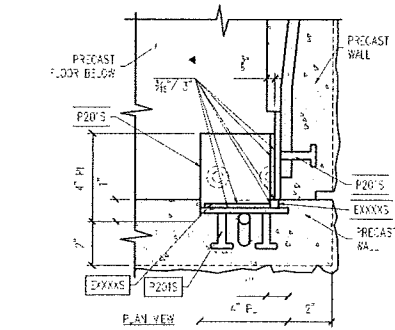
JOB #

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JAD

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WCR

ISSUE DATE
07.03.19

SHEET
1-04



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DATE	REV	DESCRIPTION
	1	
	2	
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	5	
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PROJECT: 10'-8" X 11'-1" X 9'-8" CONRAD
 SHERWOOD PARK IMPROVEMENTS
 CONTRACTOR: QUALITY PRECAST INC.

CUNNINGHAM DETAILS
JOB #
DRAWN BY JAD
CHECK BY MCR
ISSUE DATE 07.03.19
SHEET 1-05

RECOMMENDED FOUNDATION REQUIREMENTS FOR EASI-SET TRANSPORTABLE PRECAST CONCRETE BUILDINGS

BUILDING DESIGN

EASI-SET TRANSPORTABLE PRECAST CONCRETE BUILDINGS HAVE BEEN DESIGNED TO ELIMINATE THE NEED FOR FOUNDATIONS OR FOOTINGS FOR VIRTUALLY ALL INSTALLATIONS. THE BUILT-IN FLOOR OF THE EASI-SET BUILDING IS DESIGNED FOR USE ON FLOATING FOUNDATIONS COMPRISED OF 4"-6" OF CRUSHED STONE OR SAND. THIS DESIGN, AND THE USE OF APPROPRIATE FLOATING FOUNDATIONS OF STONE OR SAND, HAVE PROVEN TO BE EFFECTIVE AND PROBLEM FREE IN THE FIELD FOR A WIDE VARIETY OF INSTALLATIONS. THE EFFECTIVENESS OF THE DESIGN HAS NOT BEEN ADVERSELY AFFECTED BY THE SIZE OF THE EASI-SET BUILDING.

CAVEATS

THE FLOATING FOUNDATION OF CRUSHED STONE OR SAND SHOULD BE PLACED ON A WELL-DRAINED AND GRADED AREA, TO PRECLUDE THE RETENTION OF STANDING WATER. ON A WELL-DRAINED AND PROPERLY GRADED SITE, ANY GROUND SWELL SHOULD BE UNIFORM AND LINEAR, WITH NO DAMAGE TO THE EASI-SET BUILDING OR ITS CONTENTS.

IT IS IMPORTANT TO NOTE THAT THE DESIGN OF AN EASI-SET BUILDING ENABLES THE TRANSPORTATION OF THE BUILDING, WHICH MAXIMIZES THE FLEXIBILITY AND LONG-TERM USEFULNESS OF THE STRUCTURE. FURTHERMORE, THE ELIMINATION OF FOUNDATIONS AND FOOTINGS MAXIMIZES THE IMPACT ON, AND DAMAGE TO, THE ENVIRONMENT OF THE BUILDING SITE. THE USE OF STANDARD FOUNDATIONS OR FOOTINGS WOULD COUNTER SOME OF THE SIGNIFICANT BENEFITS, WHICH CAN BE ACHIEVED BY INSTALLING EASI-SET BUILDINGS. IN THOSE AREAS WHERE LOCAL BUILDING CODES MAY NOT ACCOMMODATE THE USE OF A FLOATING FOUNDATION FOR AN EASI-SET BUILDING, A VARIANCE TO SUCH CODES MAY BE AVAILABLE.

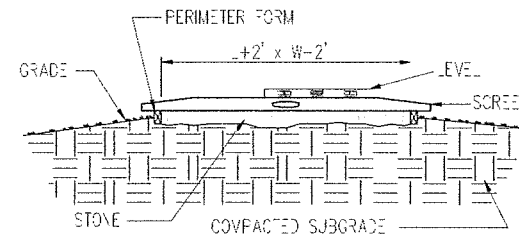
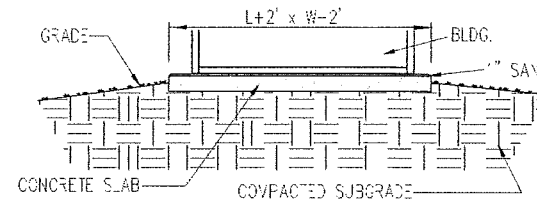
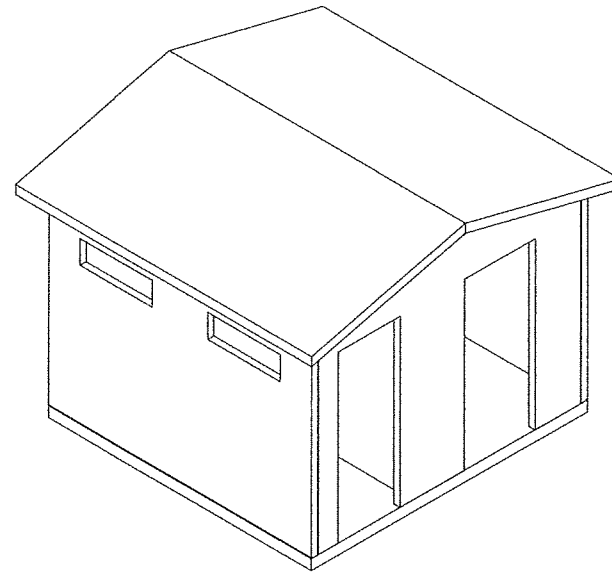
SITE PREPARATION REQUIREMENTS

(MANUFACTURER'S RECOMMENDATION)

- A. EASI-SET BUILDING SHALL BEAR FULLY ON A CRUSHED STONE BASE THAT IS AT LEAST TWO FEET LARGER THAN THE LENGTH AND WIDTH OF BUILDING.
- B. STONE SHALL BE A MINIMUM OF 4" THICK DOWN TO FIRM SUBGRADE. THE VERTICAL SOIL CAPACITY UNDER STONE SHALL BE COMPACTED TO HAVE MINIMUM BEARING OF 1,500 POUNDS PER SQUARE FOOT. STONE SHALL BE 3/8" OR SMALLER AND MUST BE SCREENED LEVEL WITH 1/4" IN BOTH DIRECTIONS. STONE SHALL BE PLACED WITHIN A PERIMETER FORM WITH FLAT AND LEVEL TOP EDGE FOR SCREENING. FORMING MATERIAL SHALL REMAIN AROUND STONE UNTIL AFTER THE BUILDING IS SET.
- C. THE CRUSHED STONE BASE SHALL BE KEPT WITHIN THE CONFINES OF THE SOIL OR PERIMETER FORM. DO NOT ALLOW THE BASE TO BECOME UNCONFINED SO THAT IT MAY WASH, ERODE, OR OTHERWISE BE UNDERMINED.
OR
IF BUILDING IS PLACED ON PAVEMENT OR A CONCRETE SLAB, SUBSTRATE BELOW PAVEMENT OR SLAB MUST HAVE A VERTICAL SOIL CAPACITY OF 1,500 POUNDS PER SQUARE FOOT. PLACE STONE OR SAND TO 1" ABOVE HIGHEST POINT OF AREA WHERE BUILDING WILL BE PLACED AND AT LEAST 1'-0" WIDE ALL AROUND THE BUILDING FOOTPRINT. RETAIN STONE OR SAND WITH A PERIMETER FORM TO PREVENT THE MATERIAL FROM WASHING OUT.
- D. PROVIDE POSITIVE DRAINAGE FOR THE FLOOR, PAD, OR SLAB AS REQUIRED.

ACCESS

- A. CONTRACTOR MUST PROVIDE LEVEL UNOBSTRUCTED AREA LARGE ENOUGH FOR A CRANE AND A TRACTOR-TRAILER TO PARK ADJACENT TO THE PAD. CRANE MUST BE ABLE TO PLACE OUTRIGGERS WITHIN 5'-0" OF EDGE OF PAD AND TRUCK AND CRANE MUST BE ABLE TO GET SIDE BY SIDE UNDER THEIR OWN POWER. NO OVERHEAD LINES MAY BE WITHIN 75' RADII OF CENTER OF PAD. A MINIMUM OF 24" CLEARANCE IS REQUIRED BETWEEN THIS BUILDING AND ADJACENT BUILDINGS.



SITE PREPARATION
SCALE: N.T.S.

REV	DESCRIPTION	DATE
1		
2		
3		
4		

PROJECT: 10'-6" X 11'-1" X 9'-8" CONRAD
 SHERWOOD PARK IMPROVEMENTS
 CONTRACTOR-QUALITY PRECAST INC.

FOR COMMENTS TO:
 SITE
 PERIT

JOB #	---
DRAWN BY	JED
CHECK BY	WOR
ISSUE DATE	07.03.19
SHEET	E-06

MINUTES
Plainwell City Council
June 10, 2019

1. Mayor Brooks called the regular meeting to order at 7:00 PM in City Hall Council Chambers.
2. Pledge of Allegiance was given by all present.
3. Roll Call: Present: Mayor Brooks, Mayor Pro-tem Steele, Councilmember Keeler, Councilmember Overhuel and Councilmember Keeney. Absent: None.
4. Approval of Minutes/Summary:
A motion by Steele, seconded by Overhuel, to accept and place on file the Council Minutes and Summary of the 05/28/2019 regular meeting and the Council Minutes. On voice vote, all voted in favor. Motion passed.
5. Robert Beltran from Lighthouse Baptist Church gave the invocation.
6. Public Comment: None
7. County Commissioner Report: None
8. Agenda Amendments: None
9. Mayor's Report: None
10. Recommendations and Reports:
 - A. Clerk Kelley reported having communicated with five (5) board members on various Boards and Commissions, each of whose term expire on June 30. Each member expressed desire to continue serving. The Mayor reviewed the list and has recommended re-appointment of each member, as presented, subject to City Council confirmation.
A motion by Keeney, seconded by Keeler, to confirm the Mayor's appoint of Nicholas Larabel to the BRA/TIFA/DDA Board, William Parsons to the Compensation Board, Matthew Bradley to the Parks & Trees Commission, and Diana Lubic and Gary Sausaman to the Planning Commission. On a voice vote, all voted in favor. Motion passed.
11. Communications:
 - A. **A motion by Steele, seconded by Overhuel, to accept and place on file the April 2019 Public Safety Report, the May 2019 Investment Report and the May 2019 Fund Balance Report. On a voice vote, all in favor. Motion passed.**
12. Accounts Payable:
A motion by Keeler, seconded by Overhuel, that the bills be allowed and orders drawn in the amount of \$146,777.34 for payment of same. On a roll call vote, all in favor. Motion passed.
13. Public Comments: None

14. Staff Comments

Superintendent Nieuwenhuis reported paint and landscaping work at the Sun Lot, as well as having moved 29 tons of asphalt on West Bridge on June 10.

Community Development Manager Siegel reported several Sesquicentennial Celebration events in coordination with this week's Plainwell Days Festival. She also reported having received a letter of approval from the Michigan DNR for the previously approved Sherwood Park Bathroom. Finally she invited Council to a Friday June 14 ribbon cutting event for Highland Ridge at 126 East Bridge at 11.30am.

Director Bomar reported Bob Farris as the City's new Part-Time Police Officer. He also reported retired Public Safety Officer Aaron Chapman has been retained to train the staff on reporting requirements within the Department.

Clerk/Treasurer Kelley reported Amanda Kersten as the city's new Accounts Payable/Finance Clerk, taking over for Cheryl Pickett who is transitioning to the Department of Public Works. He also reported working on property taxes which will be issued by month's end.

Personnel Manager Lamorandier reported ongoing work with documenting and orienting new hires.

City Manager Wilson thanked DPW Superintendent Nieuwenhuis and his staff for their work on the Sun Lot.

15. Council Comments: None

16. Adjournment:

A motion by Steele, seconded by Keeler, to adjourn the meeting at 7:17 PM. On voice vote, all voted in favor. Motion passed.

Minutes respectfully
Submitted by,
Brian Kelley
City Clerk/Treasurer

MINUTES
Plainwell City Council
June 24, 2019

1. Mayor Pro Tem Steele called the regular meeting to order at 7:00 PM in City Hall Council Chambers.
2. Peter Dams from Lighthouse Baptist Church gave the invocation.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Pro Tem Steele, Councilmember Keeler, Councilmember Overhuel and Councilmember Keeney. Absent: Mayor Brooks.
A motion by Keeney, seconded by Overhuel, to excuse Mayor Brooks with prior notification. On a voice vote, all in favor. Motion passed.
5. Approval of Minutes/Summary:
A motion by Overhuel, seconded by Keeler, to accept and place on file the Council Minutes and Summary of the 06/10/2019 regular meeting and the Council Minutes of the 06/10/2019 Special meeting. On voice vote, all voted in favor. Motion passed.
6. Treasurer Kelley introduced Amanda Kersten to Council and to the Public as the new Accounts Payable/Finance Clerk, having taken over for Cheryl Pickett who transferred to the Department of Public Works.
7. Public Comment: None
8. County Commissioner Report: None
9. Agenda Amendments:
A motion by Keeler, seconded by Overhuel, to add Item I – Appointment of Certifying Officer – Mill Demolition Grant. On a voice vote, all in favor. Motion passed.
10. Mayor's Report: None
11. Recommendations and Reports:
 - A. Community Development Director Siegel presented applications from Scott Marlett for a zoning change and a special use permit for 720 North Main Street. The zoning change takes the property from C-1, Local Commercial, to SB, Service Business, to allow for a holistic animal clinic. The Planning Commission reviewed the applications and held the required public hearing on June 19, 2019, and recommends approval. Scott Marlett, in attendance, briefed the Council on the business plan and answered questions from Council.
A motion by Keeney, seconded by Keeler, to approve Ordinance 382 to amend the Zoning Map to re-zone 720 North Main Street to SB – Service Business District and to approve a special use permit for a holistic animal clinic at that location. On a voice vote, all voted in favor. Motion passed.
 - B. Superintendent Pond reported higher than expected landfill costs associated with a previously approved storm drain/street sweeping/bio-bid mulch disposal project. The originally approved project cost was not to exceed \$7,000. The hauling costs totaled \$1,950 and the landfill costs totaled \$12,132.12.

A motion by Keeney, seconded by Keeler, to confirm the purchase with C&C Landfill for \$12,132.12 for tipping fees related to the previously approved storm drain/bio-bed mulch/street sweeping removal project. On a roll-call vote, all voted in favor. Motion passed.

- C.** City Manager Wilson presented a draft 3-Year Collective Bargaining Agreement with the Service Employees International Union Local 517M (SEIU).
A motion by Overhuel, seconded by Keeney, to approve the three-year labor contract with the SEIU. On a roll-call vote, all voted in favor. Motion passed.
- D.** City Manager Wilson presented a draft 4-Year Collective Bargaining Agreement with the Police Officers Labor Council (POLC). .
A motion by Keeney, seconded by Overhuel, to approve a four-year labor contract with the POLC. On a roll-call vote, all voted in favor. Motion passed.
- E.** Treasurer Kelley presented several budget amendments to account for 2018/2019 projects previously approved but not accounted for in the budget, and for changes to cost distributions.
A motion by Overhuel, seconded by Keeler, to approve the 2018/2019 Budget Amendments as presented. On a roll-call vote, all voted in favor. Motion passed.
- F.** Treasurer Kelley presented a schedule of fines and fees for the upcoming 2019/2020 Budget Year.
A motion by Keeler, seconded by Overhuel, to adopt Resolution 19-15 for the 2019/2020 Fines and Fees. On a voice vote, all voted in favor. Motion passed.
- G.** City Manager Wilson presented, for the second time, a draft Capital Improvement Program for 2019-2024. The Planning Commission has also reviewed this document and recommended approval at its June 19, 2019 meeting.
A motion by Keeney, seconded by Keeler, to adopt the 2019-2024 City of Plainwell Capital Improvement Program. On a roll-call vote, all voted in favor. Motion passed.
- H.** **A motion by Overhuel, seconded by Keeler, to open a Public Hearing at 7:27pm for the 2019/2020 Plainwell City Budget. On a voice vote, all in favor. Motion passed.**

City Manager Wilson presented the 2019/2020 Plainwell City Budget showing the revenues and expenditures for all funds city-wide. The major project, affecting several funds, is the Sherwood Avenue Project, which will leave the Major Streets and Water funds with little leftover resources in the short-term. The Water Fund will issue additional bonds to restore its resources and the city will strive to restore the Major Streets Fund using state funding and different methodologies to repair street sections.

No public comment.

A motion by Keeler, seconded by Keeney, to close the Public Hearing at 7:39pm. On a voice vote, all in favor. Motion passed.

A motion by Keeler, seconded by Overhuel, to adopt Resolution 19-16 for the General Fund Appropriations and Resolution 19-17 for the Special and Operating Funds Appropriations for the 2019/2020 Plainwell City Budget. On a roll-call vote, all voted in favor. Motion passed.

- I. City Manager Wilson reported as part of the application process for a Mill Demolition Grant, the local unit must designate a Certifying Officer as it relates to the environmental review requirements and all other submissions.

A motion by Keeler, seconded by Keeney, to designate the City Manager as the Certifying Officer for the Mill Demolition Grant. On a voice vote, all voted in favor. Motion passed.

12. Communications:

- A. **A motion by Overhuel, seconded by Keeler, to accept and place on file the May 2019 Public Safety Report, the May 2019 Water Renewal Report and the Draft June 19, 2019 Planning Commission Minutes. On a voice vote, all in favor. Motion passed.**

13. Accounts Payable:

A motion by Keeler, seconded by Keeney, that the bills be allowed and orders drawn in the amount of \$101,571.91 for payment of same. On a roll call vote, all in favor. Motion passed.

14. Public Comments: None

15. Staff Comments

Community Development Manager Siegel updated the Council on community events and the Sherwood Park Restroom.

Superintendent Nieuwenhuis reported on the water main break at Hill & Brigham.

Superintendent Pond reported near capacity flow due to the high river level after the recent rains and that he's added a tank to the process to help slow the flow.

Director Bomar reported a change in the city's attorney from Robert Champion to David Kiel at Orton Tooman PC in Allegan.

Clerk/Treasurer Kelley reports 2019 Summer Property Tax Statements will be mailed on Friday June 28 and will be due on Thursday August 15, 2019, and that he is preparing for year-end.

16. Council Comments:

None.

17. Adjournment:

A motion by Keeler, seconded by Overhuel, to adjourn the meeting at 8:47 PM. On voice vote, all voted in favor. Motion passed.

Minutes respectfully
Submitted by,
Brian Kelley
City Clerk/Treasurer