

City of Plainwell



Brad Keeler, Mayor
Lori Steele, Mayor Pro Tem
Todd Overhuel, Council Member
Roger Keeney, Council Member
Randy Wisnaski, Council Member

Department of Administration Services
211 N. Main Street
Plainwell, Michigan 49080
Phone: 269-685-6821
Fax: 269-685-7282
Web Page Address: www.plainwell.org

“The Island City”

Agenda

Planning Commission City Hall Conference Room February 21, 2024 6:30 pm

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Minutes: 12/06/2023 Planning Meeting
5. Chairman’s Report
6. Public Comment
7. New Business:
 - a. Site Plan Review – Profielnorm
8. Old Business: None
9. Reports and Communications:
 - a. Council minutes 12//11/23; 12/27/23; 01/08/24; and 01/22/24
10. Public Comments
11. Staff Comments
12. Commissioners/Council Comments
13. Adjournment

The City of Plainwell is an equal opportunity provider and employer

CITY OF PLAINWELL
MINUTES
Planning Commission
Wednesday, December 6, 2023

1. Call to Order at 6:30 pm by Colingsworth
2. Pledge of Allegiance was given by all present.
3. Roll Call:
Present: Rachel Collingsworth, Jay Lawson, Stephen Bennett, Kevin Hammond, Lori Steele
Excused: Jim Higgs, Gary Sausaman
4. Approval of Minutes: 11/1/2023
Motion to approve minutes and place them on file was made by Lawson and seconded by Hammond. All in favor vote. Motion passed.
5. Chairperson's Report: None
6. New Business:
Motion to close the regular meeting was made by Steele and seconded by Lawson. Motion to open the Public Hearing was made by Steele and seconded by Lawson at 6:32 pm.
 - A. Public Hearing: Regarding Ordinance No. 397 Amendment Site Plan Review process for R-2 and CBD District.
 - a. No Public present**Motion to Close the Public hearing and reopen the regular meeting was made by Steel and seconded by Lawson at 6:33 pm**

A motion to accept the changes and updates to Ordinance No. 397 and to move forward to City Council for final approval was made by Hammond and seconded by Steele.
7. Old Business: None
8. Reports and Communications: 10/23/2023 and 11/13/23 were reviewed and placed on file.
9. Public Comments: None
10. Staff Comments: Siegel, Community Development Manager provided an update on the Social District and that it had been approved by LARA.
11. Commissioner Comments:
Bennett and Lawson complimented the DPW Staff on their hard work with the snow plowing and holiday decorations.
12. Adjournment: Colingsworth adjourned the meeting at 6:46 p.m.

Minutes submitted by Denise Siegel, Community Development Manager



"The Island City"

City of Plainwell Zoning Permit Application

Permit #: 24-01

PAID
JAN 3 2 2024
City of Plainwell Treasury Office

Plainwell City Hall
211 N. Main Street
Plainwell, MI 49080
Phone: 269-685-6821
Fax: 269-685-7282
www.plainwell.org

Fees: Application Fee- \$20.00~~X~~ Change of Use- \$20.00 Site Plan Review- \$50.00 plus staff time~~X~~

Homeowner (or Business):	Contractor:
Name: <u>Profielnorm USA</u>	Company: <u>Unknown</u>
Address: <u>830 Miller Rd, Plainwell, MI 49080</u>	Company Address: _____
Parcel #: <u>08-020-056-00</u>	_____
Phone #: <u>269-762-6676</u>	Contact name: _____
Email: <u>henry.dingemans@profielnorm-usa.com</u>	Phone #: _____

Project Information:

Work to be done (please check all that apply):

- | | |
|---|---|
| <input checked="" type="checkbox"/> New Building Construction | <input type="checkbox"/> Moving a Building |
| <input type="checkbox"/> Building Demolition | <input type="checkbox"/> Fence (please submit a drawing of plans) |
| <input type="checkbox"/> Existing Building Addition or Alteration | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Other (please describe): _____ | |

Address of Project: 830 Miller Rd, Plainwell, MI 49080 Zoning district: Industrial

General description of project: New industrial building with divided into manufacturing, warehousing, and office.

Total Cost of Project: Unknown

Will the work in this application **change the USE** of this property? Yes No

After the project is complete, the setbacks established will be (if applicable):

Front: 30 feet Back: 30 feet Side: 20 feet Side: 20 feet

Does this project involve a: Non-conforming use Non-conforming structure N/A

Is this a home occupation? Yes No If so, what kind? _____

Any type of special equipment use? _____ Electrical Plumbing

Will this project result in an increase in off-street parking? Yes No

I understand that before the issuance of a building permit, I must have an approved Zoning Permit Application. Additionally, the UNDERSIGNED affirms that he/she/they is (are) the owner of subject property authorized to represent the interests of all property owners involved in this application and that the answers and statements herein contained and all maps, plans, and other information herewith submitted and attached are in all respects true to the best of his/her/their knowledge and belief. Additionally, the UNDERSIGNED acknowledges they have received or have been made available all applicable Ordinances relevant to said project, and further, will comply with said Ordinances.

Signature of Applicant: Henry Dingemans

Date: 1-18-2024

Administrative Use Only:

Is this project consistent with the Master Plan? Yes No Application: Approved Denied

Signature of Zoning Administrator: Dennis Siegel Date: 1/22/24

Remarks: _____



The City of Plainwell is an equal opportunity provider and employer.

SITE PLAN REVIEW

Date: 1/26/2024

Permit #: 24-01

Project Name: Profielnorm USA

Contact Person: Henry Dingemans

Site Address: 830 Miller Rd, Plainwell, MI 49080

Telephone Number: 269-762-6676

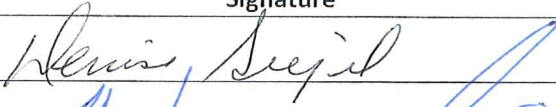
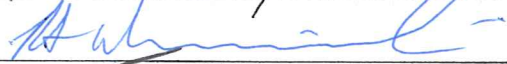

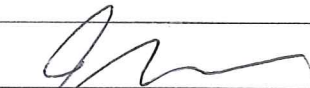
Parcel Number: 08-020-056-00

Email: henry.dingemans@profielnorm-usa.com

Item		SHOWN	NO or N/A
1	Provide name, address and phone number of applicant.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Provide name, address, phone number and sealed with signatures of Michigan licensed architect, engineer, designer, landscape architect or planner who prepared the plan. Plan should be stamped "Preliminary" or titled "Preliminary Site Plan."	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Has the Zoning Permit has been completed?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Include the north arrow, legend, graphic and written scale on all sheets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5	Include the land description.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6	Include the zoning of the site and adjacent parcels.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7	Include the gross land area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8	Include scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9	Include: Structure location(s) Dimensions of lot and property lines Location of all structures on subject and abutting properties Location of each proposed structure, w/use(s), w/number of stories, gross building area Distances between structures and lot lines, setback lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	Include occupancy type and fire exits. <i>POT determines</i> This will be on the Archetitural plans	<input type="checkbox"/>	<input type="checkbox"/>
11	Parking and Paving Proper number of parking spots/handicap? _____ Location of loading docks/zone? _____ Adequate loading space? _____ Asphalt or gravel requirement met? _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12	Landscaping Location and volume meet requirement for zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13	Lighting Exterior lighting kept substantially on property?	<input type="checkbox"/>	<input type="checkbox"/>

325,000 sq ft.

Item		SHOWN	NO or N/A
14	Traffic Flow (vehicular and pedestrian) Driveway permit needed? <u>yes</u> Does traffic circulation provide safe vehicular and pedestrian flow? <u>yes</u> Public safety vehicle access? <u>yes - good</u> Fire lanes needed? <u>good</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15	Storm Water Retention Location of proposed storm collection area shown? Is it an adequate size?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16	Dumpster Location and screening met for zoning district	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17	Water and Sewer Lines (hookups) Will permits be needed? <u>yes</u> Size and location of water connections/meter(s)? <u>2" required</u> Is a backflow preventer required? <u>yes fire protection</u> Size and location of sewer connections? Hydrant location? <u>3 in front 1 by water tower</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18	Noise, Odor, Particulate, Vibration, Combustible or Hazardous Material Concerns	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19	Signage Plan Describe plan and show signage plan.	<input type="checkbox"/>	<input type="checkbox"/>
20	Outside Storage Will outside storage be required? _____ Proper screen age and distances met? _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
21	Is Minimum/Maximum Lot Width Requirement Met?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
22	Is Minimum/Maximum Lot Area Requirement Met?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
23	Is Minimum/Maximum Height Requirement Met?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
24	Are the Setback Requirements met for the zoning district? Front: _____ Back: _____ Side: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
25	Is this a phase Construction? Description of each phase.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
26	Fire Suppression Considerations (if applicable): Is sprinkler needed or recommended? <u>yes</u> Fire Pump needed (3 stories or more)? _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
27	Is this project in a wellhead Protection/Flood Hazard District? _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
28	Include a brief description of the project. <u>New Build / 3 phases</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan Reviewed By:		
Title	Signature	Date
Community Development Manager		7/24/20 1/26/2024
Public Works Superintendent		1/26/2024
Director of Public Safety		01.26.2024
Waste Water Superintendent		
City Manager		01/26/2024

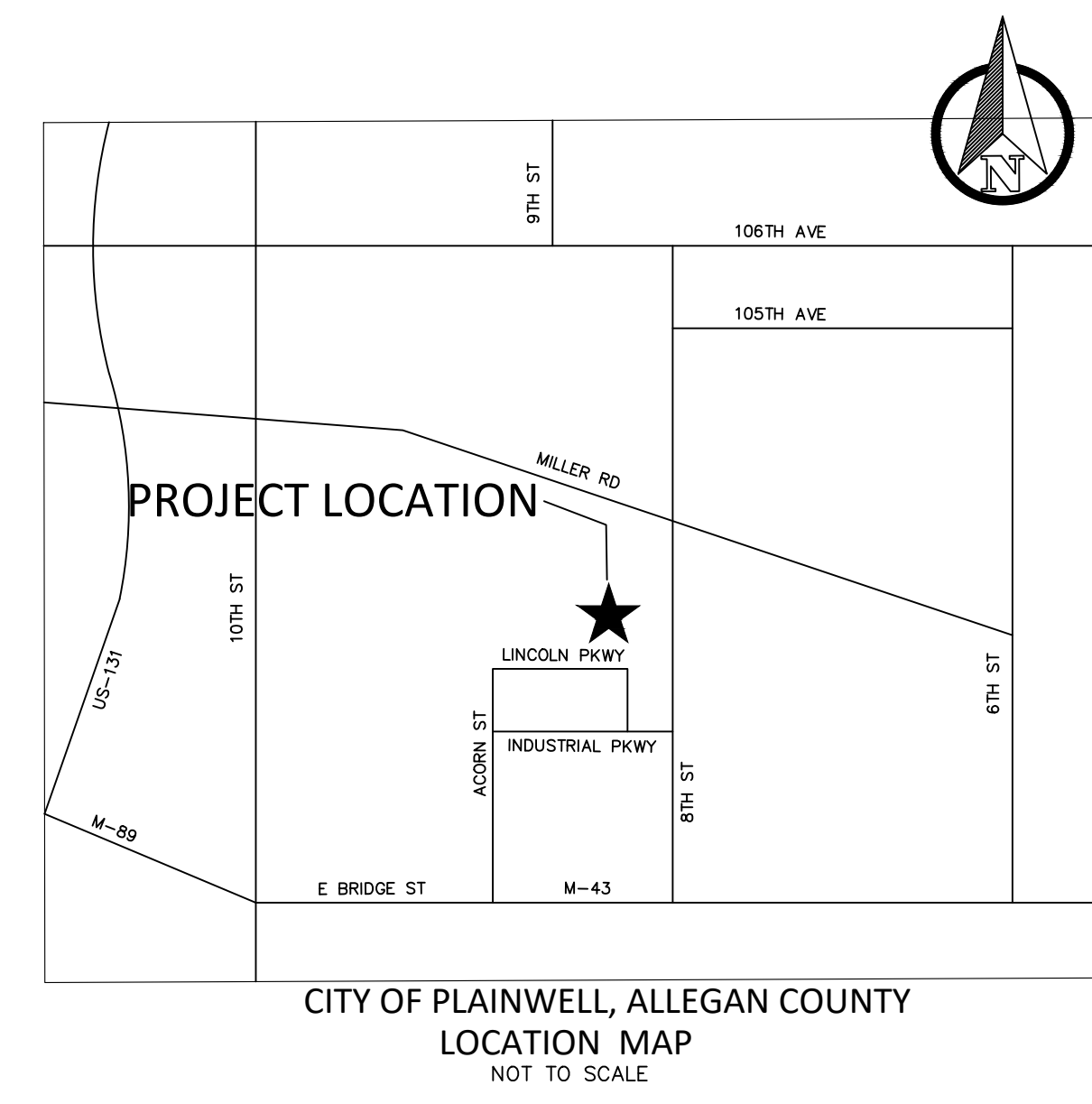
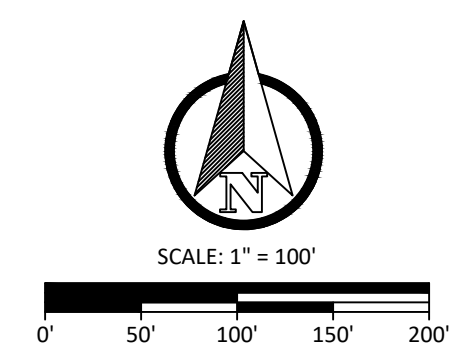
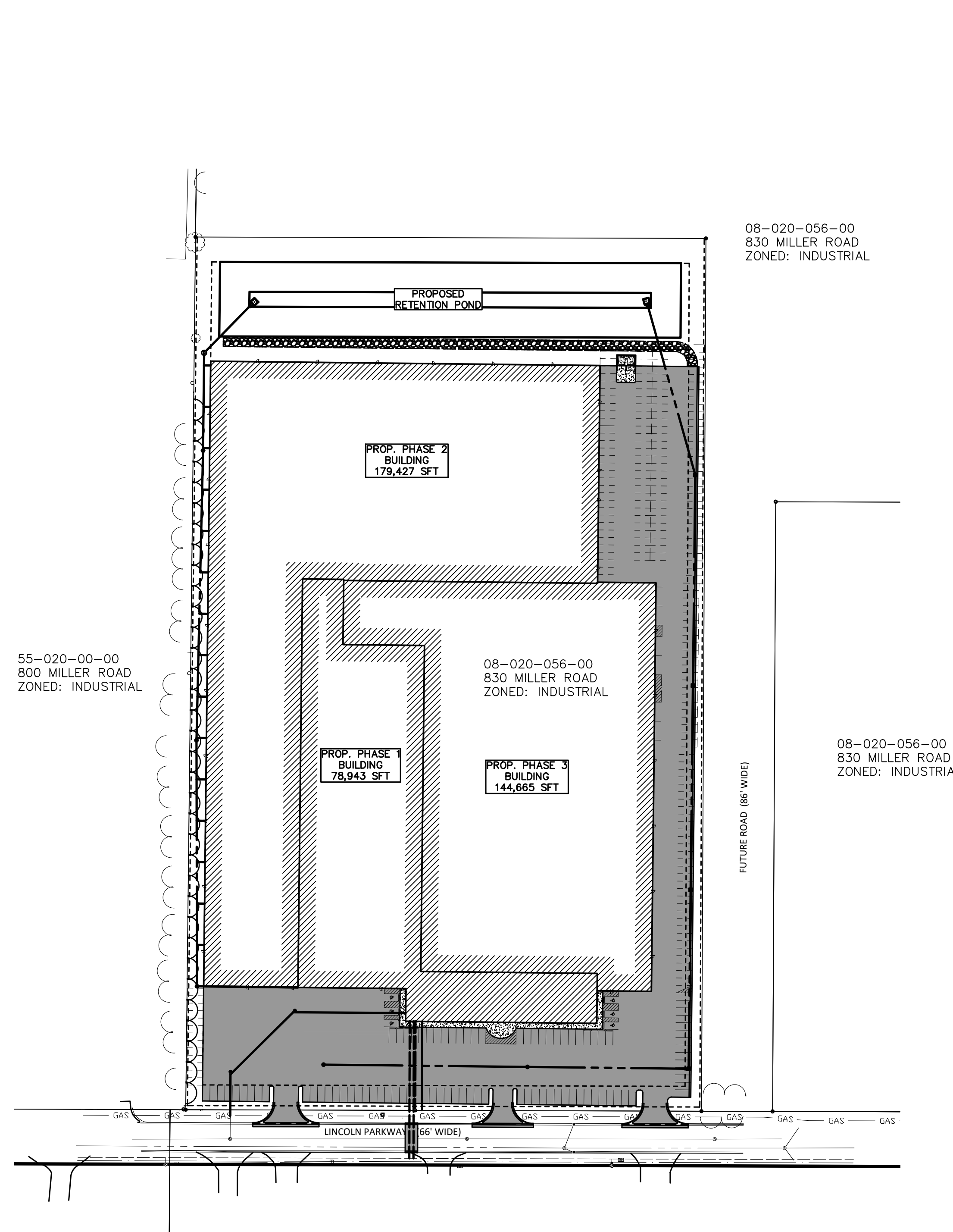
Approval Date: ~~8/2/20~~ 2/21/24 Planning Commission

Approval Date: _____ City Council

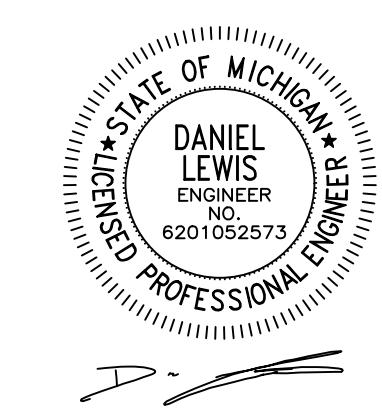
1. Minutes sent to applicant
2. Conditions of approval
 - A. Soil Erosion and Sedimentation Control Permit required from Allegan County Water Resources Commissioner
 - B. Take care of any Fire Department Concerns
 - C. Provide a CAD compatible plan
3. Sign Plan Signed by City and Applicant
4. Sealed Site Plans sent to PCI: Date _____
5. Site Plan complete: Date _____
6. Easements Required
7. Date to City Commission _____

CITY OF PLAINWELL ALLEGAN COUNTY, MICHIGAN

PROFIELNORM USA



PLAN INDEX	
SHEET No.	DESCRIPTION
COVER	TITLE SHEET
C-100	EXISTING CONDITIONS & REMOVALS PLAN
C-300	SITE & UTILITY PLAN
C-301	PHASE 1 SITE & UTILITY PLAN
C-400	GRADING PLAN
C-401	PHASE 1 GRADING PLAN
C-500	PROJECT DETAILS
L-100	LANDSCAPE PLAN
E-100	PHOTOMETRIC PLAN



OWNER
PROFIELNORM USA
HENRY DINGEMANS
269-762-6676
HENRY.DINGEMANS@PROFIELNORM-USA.COM

DESIGN ENGINEER
VK CIVIL
DAN LEWIS, P.E.
269-697-7120
DAN@VKCIVIL.COM



Know what's below.
Call before you dig.

NOTE:
ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE THE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NO.	DATE	REVISION	BY
1	12/14/2023	PRELIMINARY PLAN	NEF
2	12/20/2023	PRELIMINARY PLAN	MDS
3	12/21/2023	PRELIMINARY PLAN	GPW
4	1/16/2024	CLIENT REVIEW SET	CJW
5	1/19/2024	SITE PLAN SUBMITTAL	CJW

CITY OF PLAINWELL
ALLEGAN COUNTY, MICHIGAN
PROFIELNORM USA
TITLE SHEET



Byron Center, MI
(616) 277-2185
Kalamazoo, MI
(269) 697-7120

FILE NO.	1219
CHECKED	DGL
Sheet No.	COVER

TITLE COMMITMENT DESCRIPTION PER SUN TITLE AGENCY OF MICHIGAN, LLC COMMITMENT NO. 224762 (REV. NO. 2), DATED 10/25/2023.

LAND SITUATED IN THE CITY OF PLAINWELL, ALLEGAN COUNTY, MICHIGAN: PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWN 1 NORTH, RANGE 11 WEST, DESCRIBED AS BEGINNING AT A POINT ON THE SOUTH LINE OF SAID SECTION 20, (AS PREVIOUSLY SURVEYED), WHICH IS NORTH 89 DEGREES 49 MINUTES 58 SECONDS WEST 709.13 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 20; THENCE CONTINUING NORTH 89 DEGREES 49 MINUTES 58 SECONDS WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 623.12 FEET TO THE WEST LINE OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION (PREVIOUSLY SURVEYED IN RECORDED WIGHTMAN SURVEY, LIBER 4651, PAGE 793); THENCE NORTH 00 DEGREES 38 MINUTES 38 SECONDS EAST, ALONG SAID WEST LINE, A DISTANCE OF 1054.10 FEET; THENCE SOUTH 89 DEGREES 49 MINUTES 58 SECONDS EAST 616.88 FEET; THENCE SOUTH 00 DEGREES 17 MINUTES 38 SECONDS WEST 1054.07 FEET, MORE OR LESS, TO THE SOUTH LINE OF SAID SECTION AND THE PLACE OF BEGINNING.

03-55-020-056-00 (COVERS MORE LAND)

ALTA CERTIFICATION:
TO: CITY OF PLAINWELL
SUN TITLE AGENCY OF MICHIGAN, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 4, 8, 13, 16, 17, AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON SEPTEMBER 26, 2023.

KEVIN BANFIELD CLEAVER P.S. 4001029242 DATE
KCLEAVER@FVENG.COM

SCHEDULE B EXCEPTIONS:
1-11. DOES NOT EFFECT PARCEL OR IS NOT A SURVEY ITEM

BM #1A EL. 737.24'
NE COR CONC DRIVE TO RECYCLE BINS, S SIDE
LINCOLN, @ WEST ENTRANCE TO HYTELK
(NAV088 VIA VRS & GPS OBSV)

BM #1B EL. 735.16'
SW UPPER FLANGE BOLT UNDER "E" IN EJW, S
SIDE LINCOLN, N OF NE COR BLDG #950
(NAV088 VIA VRS & GPS OBSV)

NOTES:

SURVEY BASED ON SUN TITLE AGENCY OF MICHIGAN, LLC COMMITMENT NO. 224762 (REV. NO. 2), DATED 10/25/2023.

PARCEL CONTAINS 15.00 NET ACRES OF LAND, MORE OR LESS.

PARCEL WAS SURVEYED SEPTEMBER 26, 2023

PARENT PARCEL PROPERTY ADDRESS: 830 MILLER RD., PLAINWELL, MI 49080
PARENT PARCEL NO 03-55-020-056-00

BEARINGS BASED ON EAST LINE OF SECTION 20 BEING 500°35'34"W PER RECORDED WIGHTMAN SURVEY RECORDED IN LIBER 4651, PAGE 794

BEARING OF THE SOUTH LINE OF SECTION 20 WAS DETERMINED BY HOLDING THE MONUMENTATION FOUND ALONG THE NORTH LINE OF THE INDUSTRIAL PARK PLAT NO. 1 & 2 AND ALONG THE SOUTH LINE OF INDUSTRIAL PARK PLAT NO. 3

ELEVATIONS SHOWN AREA BASED ON NAVD88 GEOID18

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO 26005C08099G, EFFECTIVE DATE 6/21/2023, THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X" - AREA OF MINIMAL FLOOD HAZARD"

NO BUILDINGS OBSERVED AT TIME OF SURVEY

ALL UNDERGROUND UTILITIES ARE APPROXIMATE BASED ON UTILITY AND/OR AS-BUILT PLANS OR FIELD OBSERVATIONS.

MISS DUE-DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME OF THE SURVEY. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION

FLEIS AND VANDENBRINK ENGINEERING INC HAS NOT REVIEWED THIS PROJECT FOR ENVIRONMENTAL CONCERNS.

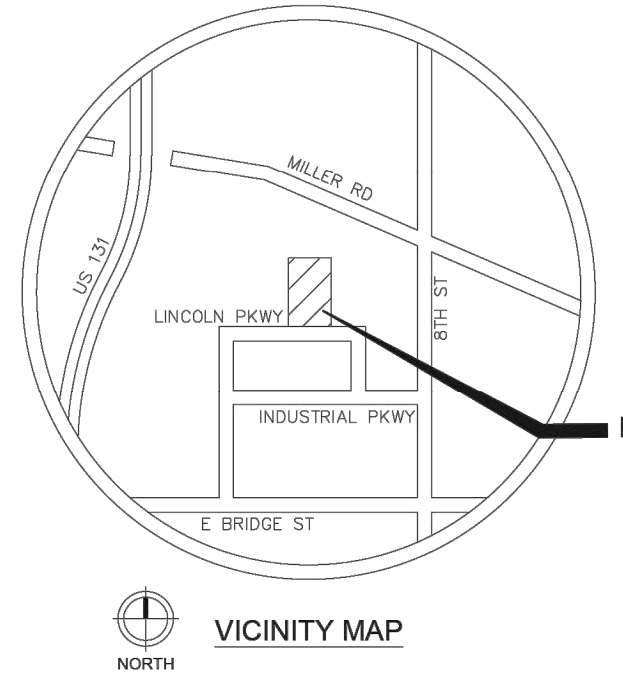
FLEIS AND VANDENBRINK ENGINEERING INC HAS NOT REVIEWED THIS PROJECT FOR WETLAND CONCERNS.

THE SITE HAS DIRECT ACCESS TO LINCOLN PARKWAY(PUBLIC)

THIS DRAWING IS NOT INTENDED TO BE USED AS AN ARCHITECTURAL SURVEY FOR SITE PLAN DEVELOPMENT.

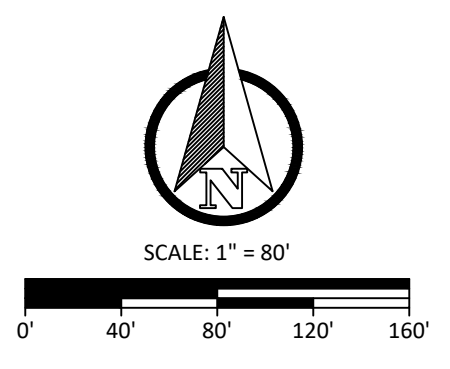
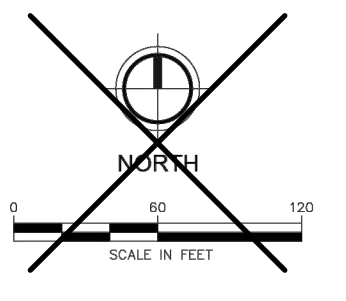
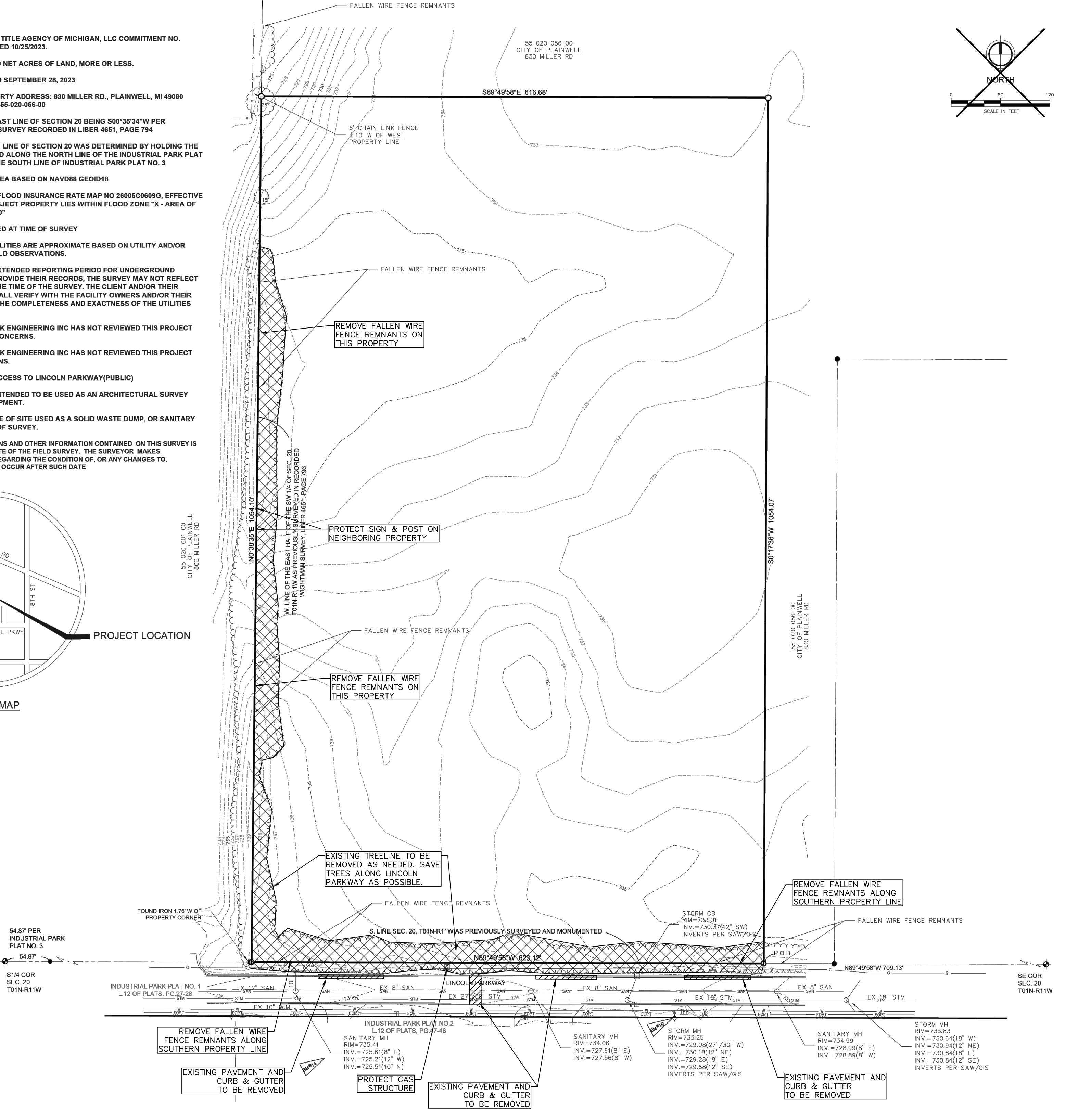
NO OBSERVED EVIDENCE OF SITE USED AS A SOLID WASTE DUMP, OR SANITARY LANDFILL AT THE TIME OF SURVEY.

DRAWINGS, CERTIFICATIONS AND OTHER INFORMATION CONTAINED ON THIS SURVEY IS ACCURATE AS OF THE DATE OF THE FIELD SURVEY. THE SURVEYOR MAKES NO REPRESENTATIONS REGARDING THE CONDITION OF, OR ANY CHANGES TO, THE PROPERTY THAT MAY OCCUR AFTER SUCH DATE.



EXISTING FEATURES LEGEND					
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	TREE (DECIDUOUS)		CABLE BOX		SURVEY CONTROL POINT
	BUSH		TELEPHONE RISER		BENCHMARK
	TREE (CONIFEROUS)		TELEPHONE MANHOLE		SECTION CORNER
	DEAD TREE		TELEPHONE HANDHOLE		BOUNDARY LINE
	STUMP		ELECTRICAL RISER		PROPERTY LINE
	MANHOLE		ELECTRICAL MANHOLE		WATERMAIN
	SANITARY CLEANOUT		ELECTRICAL HANDHOLE		SANITARY SEWER
	RD. CATCH BASIN		POWER POLE		STORM SEWER
	SQ. CATCH BASIN		CULVERT (21" AND UNDER)		CULVERT (24" AND UP)
	CULVERT END		CABLE TV		TELEPHONE
	FIRE HYDRANT		GUY ANCHOR		ELECTRIC
	WATER VALVE		PED CROSSING SIGNAL		GAS
	CURB STOP & BOX		YARD LIGHT		OVERHEAD LINES
	WELL		SIGN		GUARDRAIL
	WATER MANHOLE		MAILBOX		FENCE
	WATER METER		POST		WOODLINE
	SOIL BORING		FOUND CONC. MONUMENT		FOUND IRON ROD
	MONITORING WELL		FOUND IRON ROD		SET IRON ROD
	GAS VALVE				
	GAS RISER				

NOTE: ALL ITEMS LISTED ON THE LEGEND MAY NOT BE PRESENT ON DRAWING.



FLEIS & VANDENBRINK
SURVEYING & ENGINEERING
DESIGN, BUILD, OPERATE

2960 Lucerne Drive SE
Grand Rapids, MI 49546
P: 616.877.1000
F: 616.877.1005

REVISION:
CITY OF PLAINWELL
SECTION 20, TOWN 01 NORTH, RANGE 11 WEST
CITY OF PLAINWELL, ALLEGAN COUNTY
ALTA/NSPS LAND TITLE SURVEY

DESIGN TEAM:
B.J.N. SAN, REC
CHECK BY:
DRAWING INFORMATION:
863130, ALTA
DESIGNMENT

NOVEMBER 2023
REV PROJECT NO.
863130

1

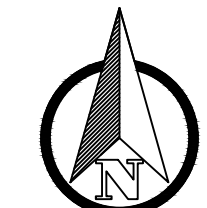
NOTE: BOUNDARY AND TOPOGRAPHIC SURVEY DONE BY OTHERS.

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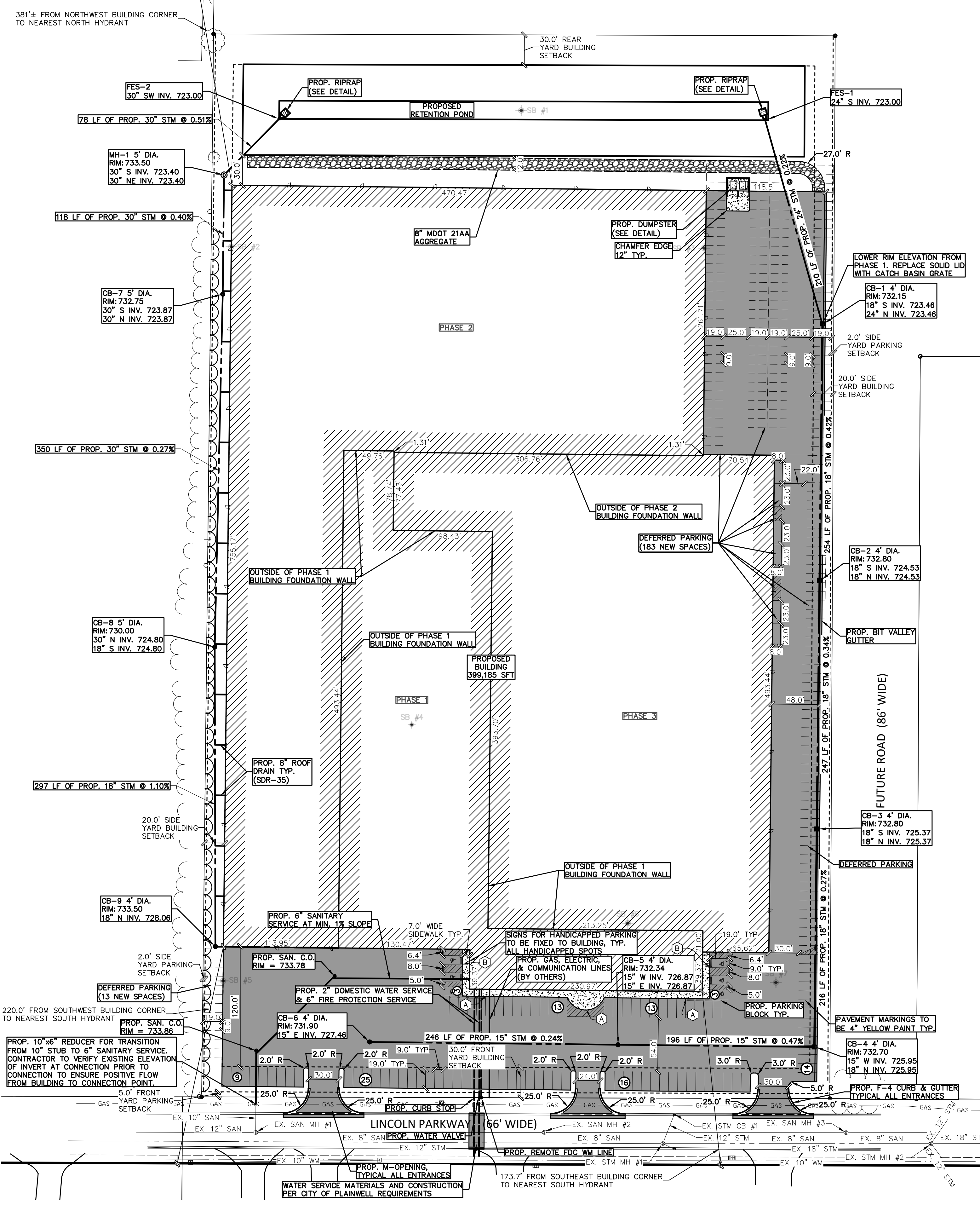
CITY OF PLAINWELL
ALLEGAN COUNTY, MICHIGAN
PROFIENORM USA
EXISTING CONDITIONS & REMOVALS PLAN

VK CIVIL Vriesman & Korhorn
Byron Center, MI (616) 277-2185
Kalamazoo, MI (269) 697-7120
www.VKcivil.com

FILE NO.	1219
CHECKED	DGL
Sheet No.	C100



SCALE: 1" = 60'



SYMBOL LEGEND

- EXISTING TREE
- TREE STUMP
- BOLLARD
- LIGHT POLE
- POWER POLE
- CLEANOUT
- SANITARY SEWER MANHOLE
- STORM CATCH BASIN
- STORM MANHOLE
- STORM FLARED END SECTION
- STORM CULVERT
- SIGN
- HYDRANT
- VALVE
- MAILBOX
- FLOW DIRECTION ARROW
- COMMUNICATION STRUCTURE
- ELECTRICAL
- SECTION CORNER
- PROPERTY CORNER - SET
- PROPERTY CORNER - FOUND
- BENCHMARK/CONTROL POINT
- SOIL BORING
- WELL

LINE AND HATCH LEGEND

- LANDSCAPING
- EXISTING OVERHEAD ELECTRIC
- PROPOSED OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING GAS
- PROPOSED GAS
- EXISTING COMMUNICATIONS
- PROPOSED COMMUNICATIONS
- EXISTING FENCE
- PROPOSED FENCE
- RIGHT OF WAY
- EASEMENT
- SETBACK
- EXISTING GRAVEL
- PROPOSED GRAVEL
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING FORCEMAIN
- PROPOSED FORCEMAIN
- EXISTING WATERMAIN
- PROPOSED WATERMAIN
- EXISTING HOT MIXED ASPHALT
- PROPOSED HOT MIXED ASPHALT
- EXISTING GRAVEL
- PROPOSED GRAVEL
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING DRAIN
- PROPOSED DRAIN

EXISTING STRUCTURE TABLE

STRUCTURE NAME:	DETAILS:
EX. SAN MH #1	RIM = 735.41 8' E INV. 725.61 12' W INV. 725.21 10' N INV. 725.51
EX. SAN MH #2	RIM = 734.06 8' E INV. 727.61 8' W INV. 727.56
EX. SAN MH #3	RIM = 734.99 8' E INV. 728.99 8' W INV. 728.99
EX. STM CB #1	RIM = 733.01 12' SW INV. 730.37
EX. STM MH #1	RIM = 733.25 27/30' W INV. 729.08 12' NE INV. 730.18 18' E INV. 729.28 12' W INV. 729.68
EX. STM MH #2	RIM = 735.83 18' W INV. 730.64 12' NE INV. 730.94 18' E INV. 730.84 12' SE INV. 730.84

- SB #1 (12/14/2023)**
ELEVATION = 733
0-1': TOPSOIL
1'-4': SAND, VERY LOOSE TO MEDIUM DENSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
4'-20': SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
GROUNDWATER ENCOUNTERED AT 18.5'
- SB #2 (12/14/2023)**
ELEVATION = 735
0-10': TOPSOIL
10'-14': SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
14'-18.5': SAND & GRAVEL, VERY LOOSE, BROWN, FINE TO COARSE GRAINED, MOIST
18.5'-20': SAND, MEDIUM DENSE, BROWN, FINE GRAINED, WET
GROUNDWATER ENCOUNTERED AT 18.5'
- SB #3 (12/14/2023)**
ELEVATION = 734
0-9": TOPSOIL
9"-6": SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, TRACE GRAVEL, MOIST
6"-20": SAND & GRAVEL, MEDIUM DENSE TO DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
GROUNDWATER ENCOUNTERED AT 18.5'
- SB #4 (12/14/2023)**
ELEVATION = 733
0-7": TOPSOIL
7"-5": SAND, VERY LOOSE TO LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
5"-1": CLAYEY SAND, MEDIUM DENSE, BROWN, FINE TO MEDIUM GRAINED, A LITTLE GRAVEL, MOIST
1"-20": SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
GROUNDWATER ENCOUNTERED AT 19.5'
- SB #5 (12/14/2023)**
ELEVATION = 737
0-7": TOPSOIL
7"-5": SAND, VERY LOOSE TO LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
5"-20": SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
GROUNDWATER ENCOUNTERED AT 18.5'
- SB #6 (12/14/2023)**
ELEVATION = 735
0-7": TOPSOIL
7"-3.5": SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
3.5"-20": SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
GROUNDWATER ENCOUNTERED AT 18.5'
- SB #7 (12/14/2023)**
ELEVATION = 737
0-7": TOPSOIL
7"-2": CLAYEY SAND, LOOSE, BROWN, FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST
2"-20": SAND & GRAVEL, VERY LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
NO GROUNDWATER ENCOUNTERED

- SITE LAYOUT NOTES:**
- ALL WORK SHALL BE DONE TO ALL FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS.
 - ALL WORK WITHIN ROW SHALL BE DONE IN ACCORDANCE WITH LOCAL ROADWAY JURISDICTION REQUIREMENTS.
 - CONTRACTOR SHALL RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE, AND OTHER INFRASTRUCTURE DISTURBED OR DAMAGED DUE TO CONSTRUCTION ACTIVITIES TO MATCH EXISTING CONDITIONS.
 - ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY OWNER.
 - THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST.
 - CONTRACTOR SHALL CONTACT MISS DIG THREE WORKING DAYS BEFORE YOU DIG. CALL MISS DIG AT 1-800-482-7171 OR 811.
 - ALL WORK SHALL BE DONE TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
 - ADA PARKING SPACES SHALL BE MARKED WITH APPROVED PAVEMENT SYMBOL. MARK ADA SPACES WITH 4" BLUE PAINT AND SIGNS PER MMUTCD.
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 - THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS.
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 - THE CONTRACTOR IS RESPONSIBLE FOR ALL SIGNS, BARRICADES, AND SAFETY FENCES TO DETER PEOPLE FROM ENTERING THE WORK AREA AND FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROLS SHALL BE COORDINATED WITH THE LOCAL POLICE DEPARTMENT AND MUNICIPALITY.
 - PRIOR TO CONSTRUCTION OR GRADING A PROTECTIVE BARRIER, FENCE, POST, AND SIGNS CLEARLY INDICATING LIMITS OF DISTURBANCE SHALL BE INSTALLED INDICATING NO TREE REMOVAL OR DISTURBANCES OUTSIDE LIMITS.
 - NO PARKING OF CONTRACTOR OR SUBCONTRACTORS SHALL BE ALLOWED ON PUBLIC STREETS WITHOUT PRIOR APPROVAL.
 - NO BUILDING MATERIAL, EQUIPMENT, VEHICLES, OR CHEMICALS SHALL BE STORED OR PLACED OUTSIDE OF THE LIMITS OF DISTURBANCE.
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 - ALL VERTICAL FACE OF CURBS SHALL BE PAINTED YELLOW WHEN BETWEEN 0 AND 6 INCHES TALL.

- PROJECT SITE INFORMATION:**
- PARCEL ADDRESS 830 MILLER RD
 - PARCEL NUMBER PART OF 08-020-056-00
 - TOTAL ACREAGE 15.0 ACRES
 - ZONING INDUSTRIAL
 - FLOODPLAIN - THIS PROJECT NOT IN THE 100 YEAR FLOOD PLAIN, BASED ON THE FEMA NATIONAL FLOOD MAPS.
 - ADJACENT ZONING - NORTH INDUSTRIAL, EAST INDUSTRIAL, SOUTH INDUSTRIAL, WEST INDUSTRIAL
 - BUILDING SETBACKS - FRONT 30 FEET, SIDES 20 FEET, REAR 30 FEET
 - PARKING SETBACKS - FRONT 5 FEET, SIDES 2 FEET, REAR 0 FEET
 - BUILDING HEIGHT MAXIMUM 50 FEET, BUILDING HEIGHT PROPOSED 35 FEET
 - MAXIMUM LOT COVERAGE 65%. LOT COVERAGE PROPOSED 61.1%
 - MINIMUM LANDSCAPING COVERAGE REQUIRED 15%. LANDSCAPING COVERAGE PROVIDED 18.9%
 - SIGNAGE, LIGHTING, AND LANDSCAPING SHALL MEET MUNICIPAL REQUIREMENTS.
 - PARKING CALCULATION
 - 13(A) OFFICE: 1 SPACE PER 350 SF = 39 SPACES
 - 13(B) MANUFACTURING: 1 SPACE PER 650 SF = 89 SPACES
 - 13(C) WAREHOUSING: 1 SPACE PER 2,000 SF = 164 SPACES
 - 13(D) TOTAL REQUIRED = 292 SPACES
 - 13(E) PROPOSED PROVIDED = 96 SPACES - 90 EMPLOYEES AND 6 CUSTOMER
 - 13(F) DEFERRED SPACES = 196 SPACES
 - 13(G) TOTAL PROVIDED = 292 SPACES

- UTILITY PLAN NOTES:**
- CONTRACTOR SHALL CONTACT PRIVATE AND PUBLIC UTILITY COMPANIES IF ANY COORDINATION IS NEEDED BETWEEN PROPOSED WORK AND EXISTING UTILITIES.
 - UTILITIES SHOWN (IF ANY) ARE APPROXIMATE LOCATIONS DERIVED FROM MEASUREMENTS OR AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITY INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION, AND CONDITION.
 - ALL WATERMAIN TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL WATER UTILITY STANDARDS AND EGLE STANDARDS.
 - ALL SANITARY SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL SANITARY SEWER UTILITY STANDARDS AND EGLE STANDARDS.
 - ALL 8" UNDERDRAIN TO BE CORRUGATED PLASTIC PIPE WITH SOCK, ADS N-12 OR APPROVED EQUAL.
 - ALL STORM SEWER SHALL BE SMOOTH LINED CORRUGATED PLASTIC PIPE, ADS N-12 OR EQUAL, UNLESS OTHERWISE LABELED ON THE PLANS.
 - ALL EXISTING CASTINGS FOR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REPLACED.
 - ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
 - CATCH BASINS WITHIN CONCRETE HEAD CURB SHALL HAVE EJ 7045 CASTINGS.
 - CATCH BASINS WITHIN BIT VALLEY CURB SHALL HAVE EJ 7065 CASTINGS WITH M1 GRATE.
 - CATCH BASINS WITHIN PAVED AREAS SHALL HAVE EJ 1020M1 RADIAL FLATE GRATE CASTINGS.
 - STORM SEWER MANHOLES SHALL HAVE EJ 1020 CASTINGS WITH SOLID COVERS.
 - STORM SEWER YARD DRAINS SHALL HAVE EJ 6508 CASTINGS.
 - ROOF DRAINS SHALL BE PVC SOAK-40.
 - CONTRACTOR IS TO UNCOVER AND VERIFY ALL TAP LOCATIONS AND INVERTS. LOCATION AND INVERT DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION FOR RESOLUTION PRIOR TO CONTINUING WORK.
 - SANITARY AND STORM STRUCTURES SHALL BE PRECAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT.
 - THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.

PLAN NOTES:

- A. 6" THICKENED EDGE SIDEWALK (SEE DETAIL C500)
- B. BARRIER FREE RAMP FLUSH WITH PAVEMENT

NO.	DATE	REVISION	BY
1	12/14/2023	PRELIMINARY PLAN	NEF
2	12/20/2023	PRELIMINARY PLAN	MDS
3	12/21/2023	PRELIMINARY PLAN	GPW
4	1/16/2024	CLIENT REVIEW SET	CJW
5	1/19/2024	SITE PLAN SUBMITTAL	CJW

CITY OF PLAINWELL
ALLEGAN COUNTY, MICHIGAN

PROFIENORM USA
SITE AND UTILITY PLAN



Byron Center, MI
(616) 277-2185

Kalamazoo, MI
(269) 697-7120

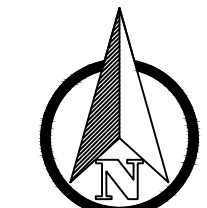
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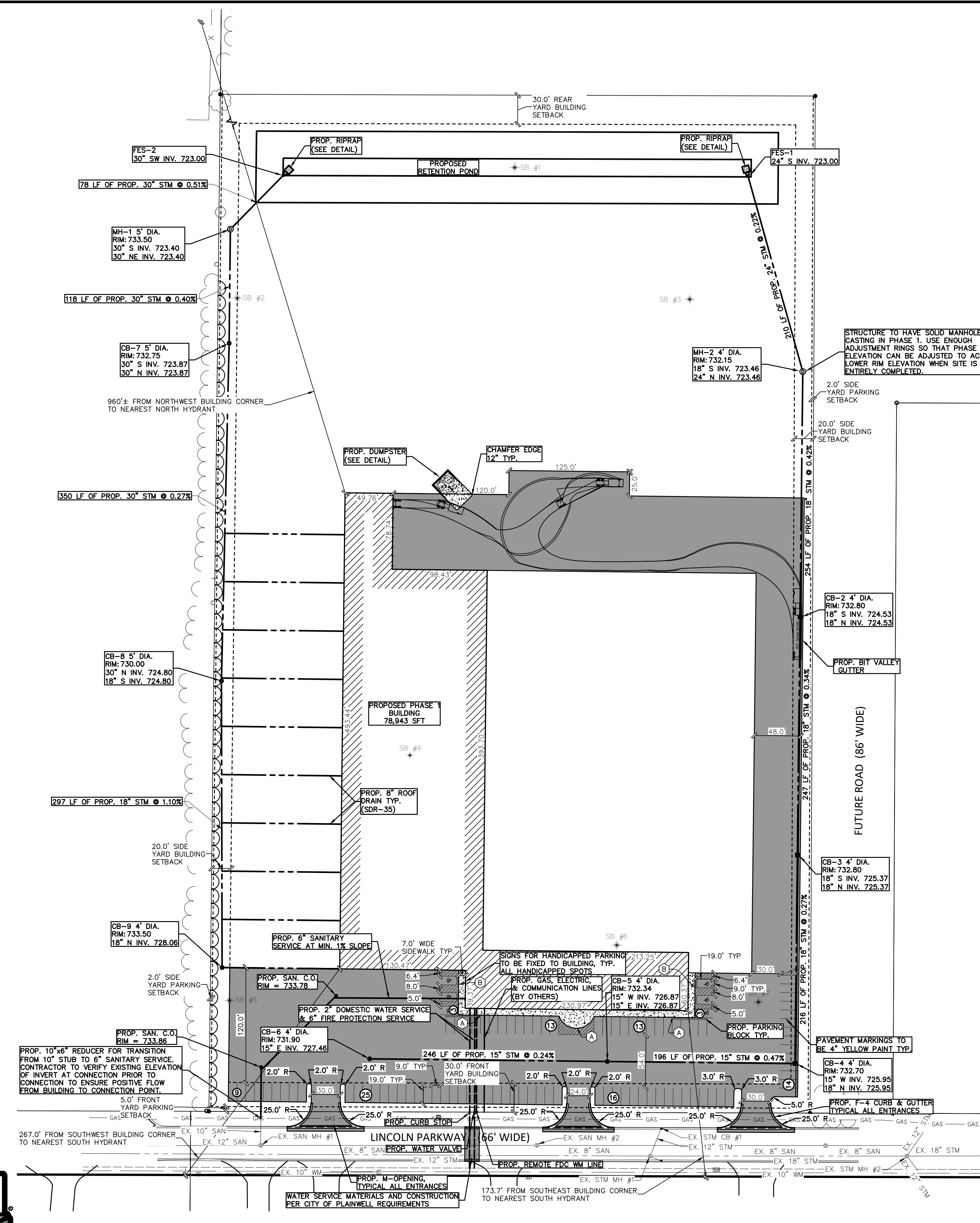


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SCALE: 1" = 60'



SB #1 (12/14/2023)
ELEVATION = 733
0-1': TOPSOIL
1'-4': SAND, VERY LOOSE TO MEDIUM DENSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
4'-18.5': SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
GROUNDWATER ENCOUNTERED AT 18.5'

SB #2 (12/14/2023)
ELEVATION = 735
0-10': TOPSOIL
10'-14': SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
14'-18.5': SAND & GRAVEL, VERY LOOSE, BROWN, FINE TO COARSE GRAINED, MOIST
18.5'-20': SAND, MEDIUM DENSE, BROWN, FINE GRAINED, WET
GROUNDWATER ENCOUNTERED AT 18.5'

SB #3 (12/14/2023)
ELEVATION = 734
0-9": TOPSOIL
9'-6": SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, TRACE GRAVEL, MOIST
6'-20": SAND & GRAVEL, MEDIUM DENSE TO DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
GROUNDWATER ENCOUNTERED AT 18.5'

SB #4 (12/14/2023)
ELEVATION = 733
0-8": TOPSOIL
8'-3": SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, TRACE GRAVEL, MOIST
3'-20": SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
GROUNDWATER ENCOUNTERED AT 14'

SB #5 (12/14/2023)
ELEVATION = 737
0-7": TOPSOIL
7'-5": SAND, VERY LOOSE TO LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
5'-8": CLAYEY SAND, MEDIUM DENSE, BROWN, FINE TO MEDIUM GRAINED, A LITTLE GRAVEL, MOIST
8'-20": SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
GROUNDWATER ENCOUNTERED AT 19.5'

SB #6 (12/14/2023)
ELEVATION = 735
0-7": TOPSOIL
7'-3.5": SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
3.5'-20": SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
GROUNDWATER ENCOUNTERED AT 18.5'

SB #7 (12/14/2023)
ELEVATION = 737
0-7": TOPSOIL
7'-2": CLAYEY SAND, LOOSE, BROWN, FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST
2'-20": SAND & GRAVEL, VERY LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
NO GROUNDWATER ENCOUNTERED

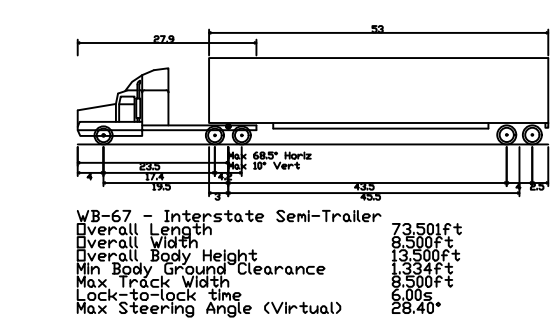
STRUCTURE NAME:	DETAILS:
EX. SAN MH #1	RIM = 735.41 8" E INV. 725.61 12" W INV. 725.21 10" N INV. 725.51
EX. SAN MH #2	RIM = 734.06 8" E INV. 727.61 8" W INV. 727.56
EX. SAN MH #3	RIM = 734.99 8" E INV. 728.99 8" W INV. 728.99
EX. STM CB #1	RIM = 733.01 12" SW INV. 730.37
EX. STM MH #1	RIM = 733.25 27/30" W INV. 729.08 12" NE INV. 730.18 18" E INV. 729.28 12" W INV. 729.68
EX. STM MH #2	RIM = 735.83 18" W INV. 730.64 12" NE INV. 730.94 18" E INV. 730.84 12" SE INV. 730.84

SYMBOL LEGEND

- EXISTING TREE
- TREE STUMP
- BOLLARD
- LIGHT POLE
- POWER POLE
- CLEANOUT
- SANITARY SEWER MANHOLE
- STORM CATCH BASIN
- STORM MANHOLE
- STORM FLARED END SECTION
- STORM CULVERT
- SIGN
- HYDRANT
- VALVE
- MAILBOX
- FLOW DIRECTION ARROW
- COMMUNICATION STRUCTURE
- ELECTRICAL
- SECTION CORNER
- PROPERTY CORNER - SET
- PROPERTY CORNER - FOUND
- BENCHMARK/CONTROL POINT
- SOIL BORING
- WELL

LINE AND HATCH LEGEND

- LANDSCAPING
- EXISTING OVERHEAD ELECTRIC
- PROPOSED OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING GAS
- PROPOSED GAS
- EXISTING COMMUNICATIONS
- PROPOSED COMMUNICATIONS
- EXISTING FENCE
- PROPOSED FENCE
- RIGHT OF WAY
- EASEMENT
- SETBACK
- EXISTING GRAVEL
- PROPOSED GRAVEL
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING FORCEMAIN
- PROPOSED FORCEMAIN
- EXISTING WATERMAIN
- PROPOSED WATERMAIN
- EXISTING HOT MIXED ASPHALT
- PROPOSED HOT MIXED ASPHALT
- EXISTING GRAVEL
- PROPOSED GRAVEL
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING DRAIN



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 - ALL 6" UNDERDRAIN TO BE CORRUGATED PLASTIC PIPE WITH SOCK, ADS N-12 OR APPROVED EQUAL.
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A. 6" THICKENED EDGE SIDEWALK (SEE DETAIL C500)
B. BARRIER FREE RAMP FLUSH WITH PAVEMENT

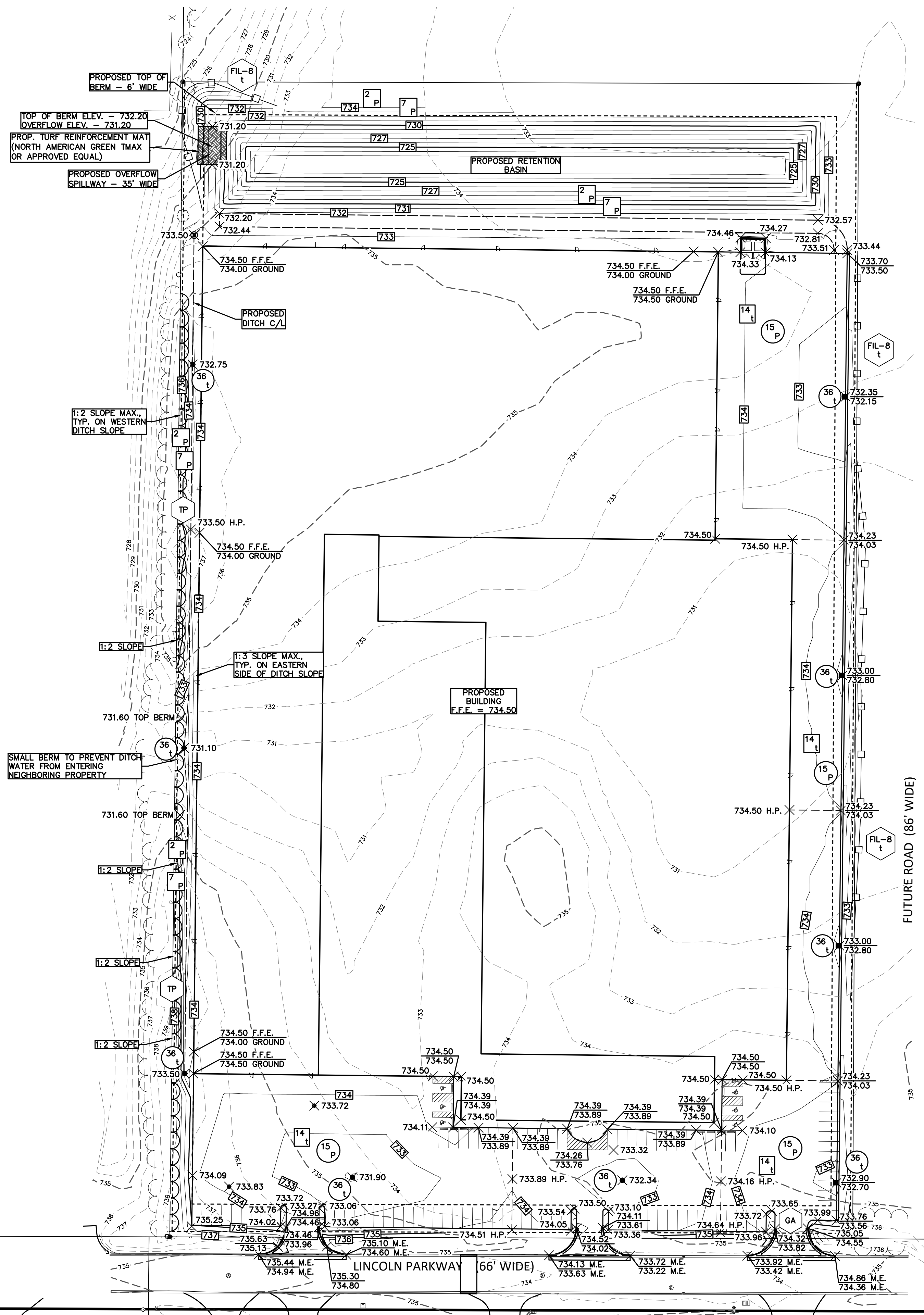
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4	1/16/2024	CLIENT REVIEW SET	CJW
5	1/19/2024	SITE PLAN SUBMITTAL	CJW

CITY OF PLAINWELL
ALLEGAN COUNTY, MICHIGAN
PROFILNORM USA
PHASE 1 SITE AND UTILITY PLAN



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Sheet No.	C301



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 - REMOVE ALL SUBGRADE MATERIAL THAT MAY BE SOFTENED BY RAINS, FREEZING, OR CONSTRUCTION TRAFFIC, ETC. AND REPLACE WITH COMPACTED GRANULAR FILL.
 - ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH MDOOT-EGLE. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE COUNTY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM EGLE IF APPLICABLE, PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE COUNTY "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUESTED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTORS RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
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 - BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SILT FENCING, SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
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CONTROL MEASURE KEY

	SELECTIVE GRADING & SHAPING, PERMANENT
	AGGREGATE COVER, TEMPORARY. TYPICAL ON ALL STREETS DISTURBED BY CONSTRUCTION ACTIVITIES
	PAVING, PERMANENT, TYPICAL ON ALL STREETS DISTURBED BY CONSTRUCTION ACTIVITIES.
	SEDIMENT BASIN BMP EXHIBIT 2, SEDIMENT BASIN, TEMPORARY REQUIRED FOR DE-WATERING ACTIVITIES, SEVERE SLOPES, AND LARGE DISTURBED AREAS.
	SILTSACK, TEMPORARY, TYPICAL AT ALL CATCH BASINS WITHIN OR DISTURBED BY CONSTRUCTION ACTIVITIES
	CULVERT SEDIMENT TRAP, TEMPORARY. TYPICAL AT ALL STORM OUTLETS AND STREAMS DISTURBED BY CONSTRUCTION ACTIVITIES
	FILTER BMP EXHIBIT 8A, SILT FENCE, TEMPORARY. TYPICAL IN ALL AREAS, ESPECIALLY ADJACENT TO STREAMS, PONDS, ETC. AND ALONG PROJECT UNITS.
	TREE PROTECTION, INCLUDES TUNNELING UNDER TREES, TYPICAL FOR ALL TREES ENCOUNTERED UNLESS TREE REMOVAL IS DIRECTED BY THE ENGINEER.
	DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MIN. OF 12' WIDE, 6" DEEP, AND CONSIST OF 2"-4" AGGREGATE.

GENERAL SOIL EROSION MEASURES (APPLICABLE TO ENTIRE SITE)		LEGEND	
			MICHIGAN UNIFIED KEYING SYSTEM (MUKS)
			BEST MANAGEMENT PRACTICE (BMP)
			t TEMPORARY CONTROL MEASURE (DURING CONSTRUCTION AND UNTIL PERMANENT MEASURES ARE ESTABLISHED)
			P PERMANENT CONTROL MEASURE

NOTE:
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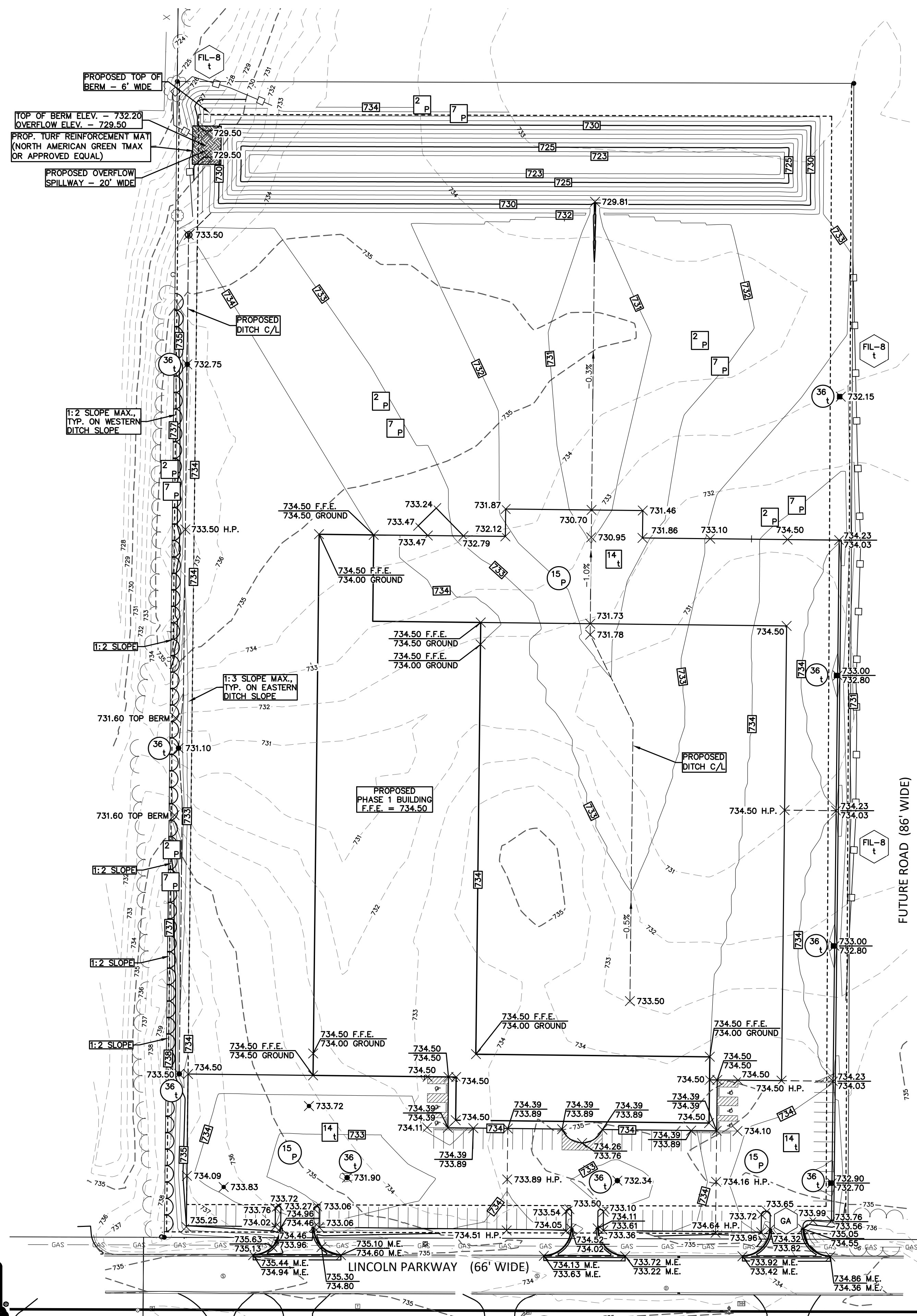
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CITY OF PLAINWELL
ALLEGAN COUNTY, MICHIGAN
PROFIENORM USA
GRADING PLAN

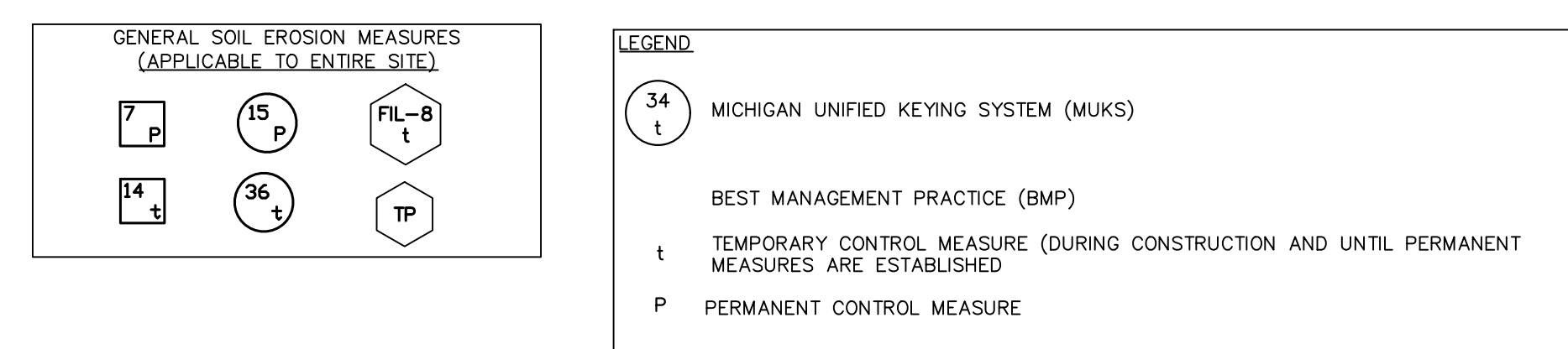
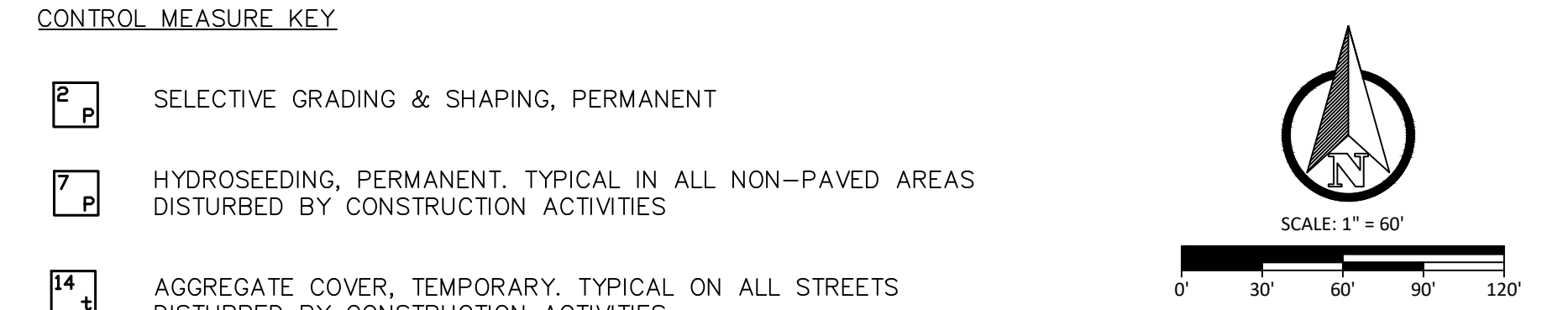


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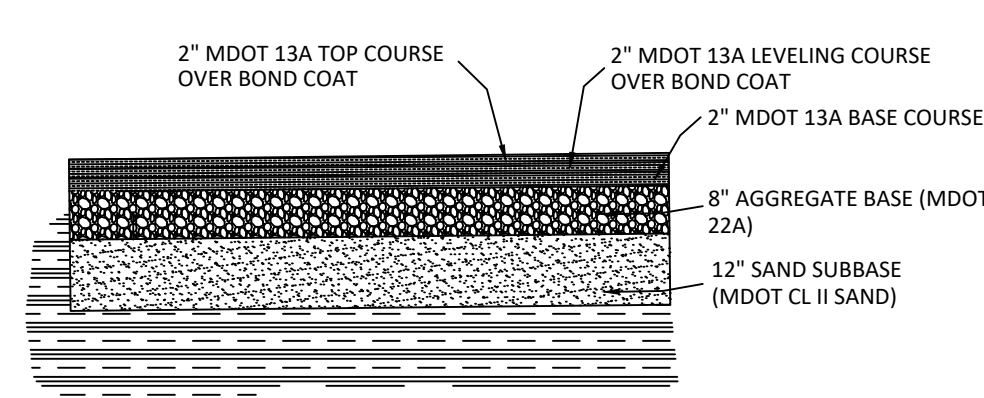
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CITY OF PLAINWELL
ALLEGAN COUNTY, MICHIGAN
PROFIENORM USA
PHASE 1 GRADING PLAN



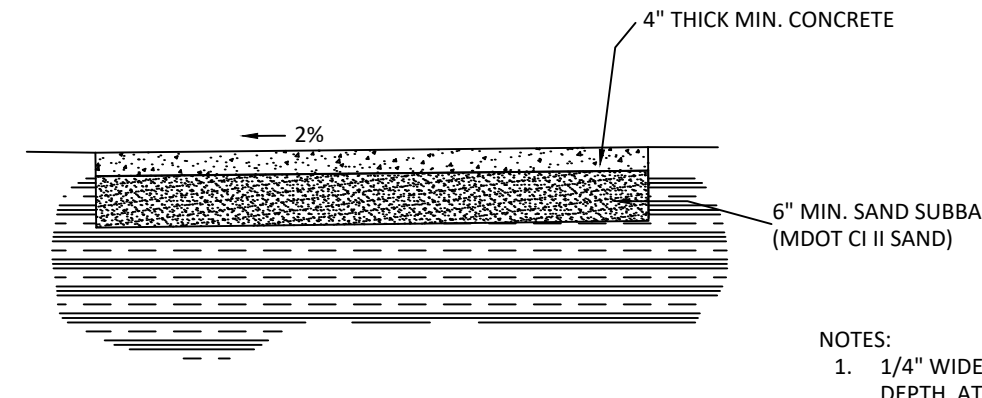
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PARKING LOT PAVING DETAIL

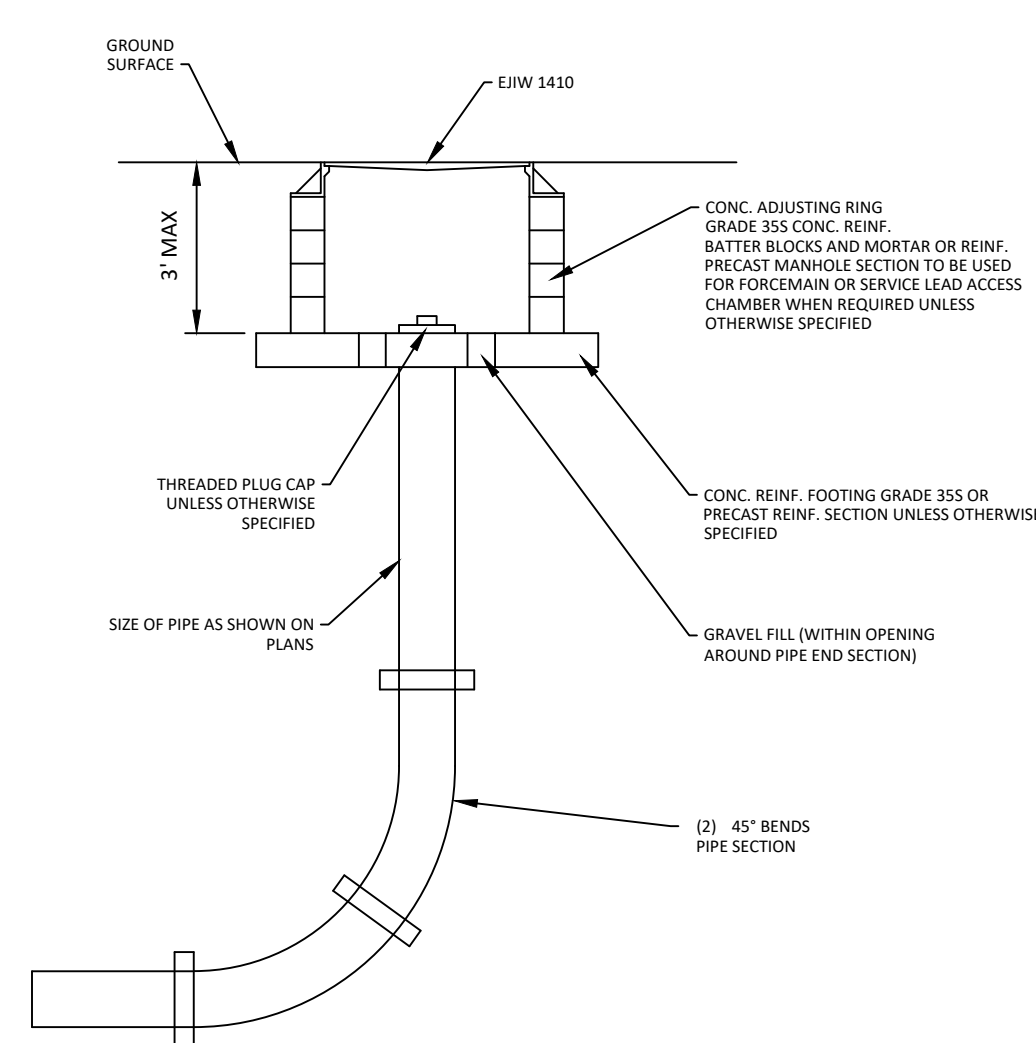
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CONCRETE SIDEWALK DETAIL

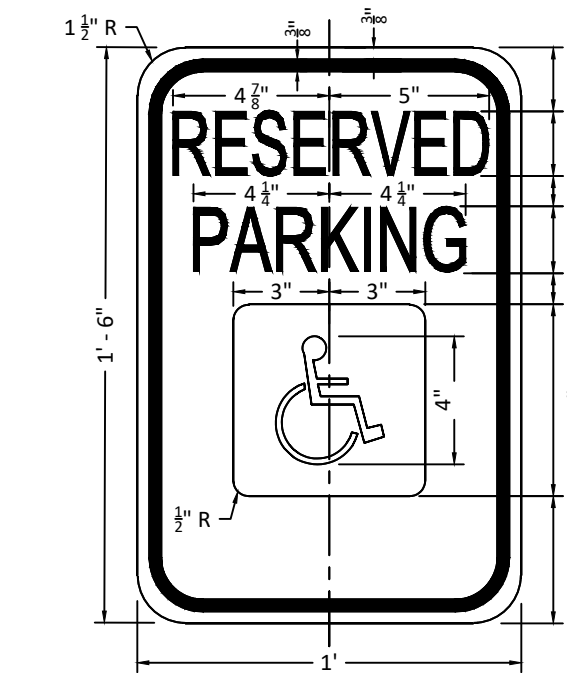
NOT TO SCALE

- NOTES:
- 1/4" WIDE TOOLED CONTRACTION JOINTS TO 1" DEPTH AT 5 FOOT INTERVALS.
 - WHERE SIDEWALK IS PLACED ADJACENT TO CURB AND GUTTER, CONTRACTION JOINTS SHALL LINE UP WITH CURB AND GUTTER JOINTS.
 - ISOLATION JOINTS WHERE PAVEMENT ABUTS PROPOSED STRUCTURES OR OTHER PAVEMENTS.



CLEANOUT DETAIL

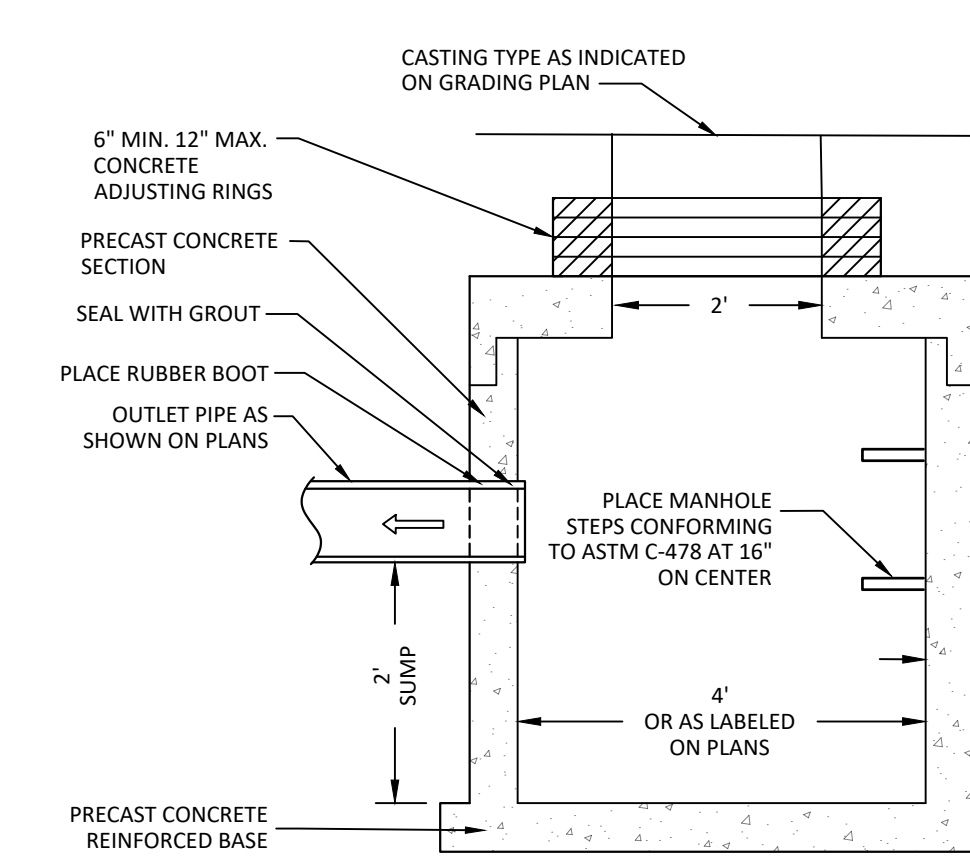
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NOTE (R7 SIGN): THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE SIGN MUST BE SUPPLEMENTED WITH AMOUNT OF THE FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE. CONFIRM WITH LOCAL REGULATORS.

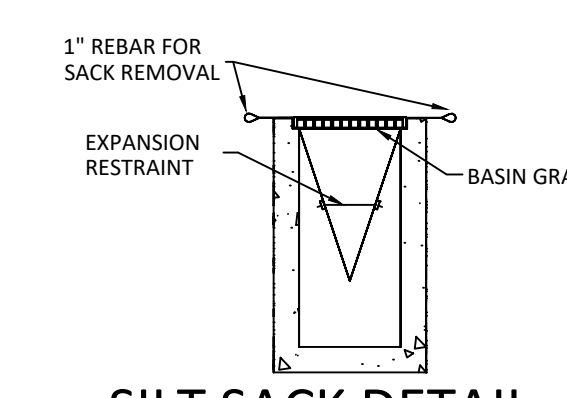
ACCESSIBILITY SIGNAGE

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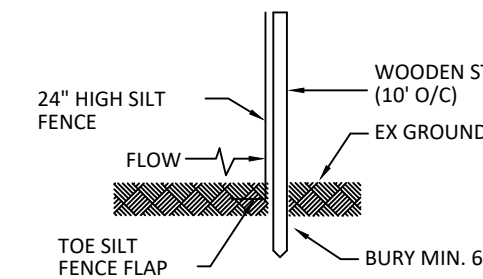
CATCH BASIN DETAIL

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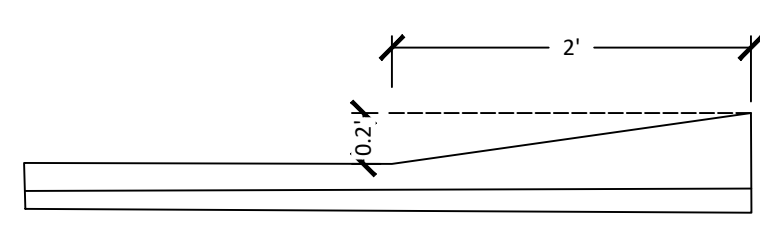
SILT SACK DETAIL

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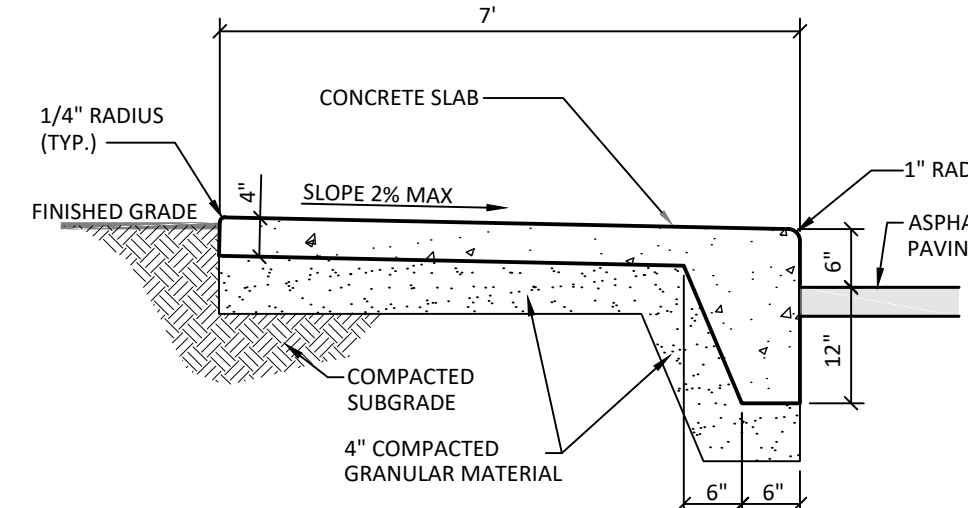
SILT FENCE DETAIL

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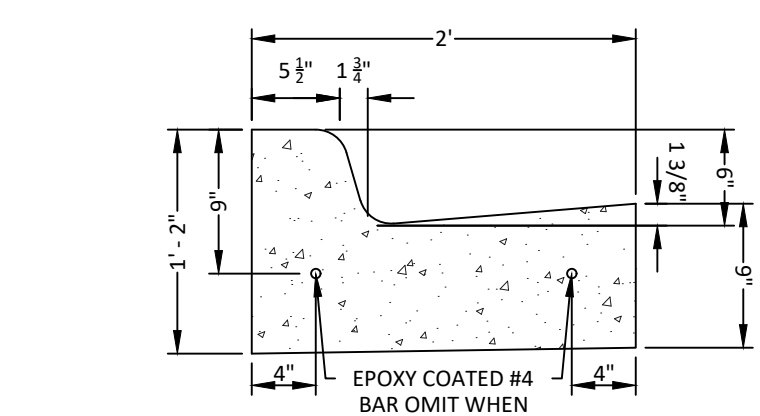
HMA VALLEY GUTTER

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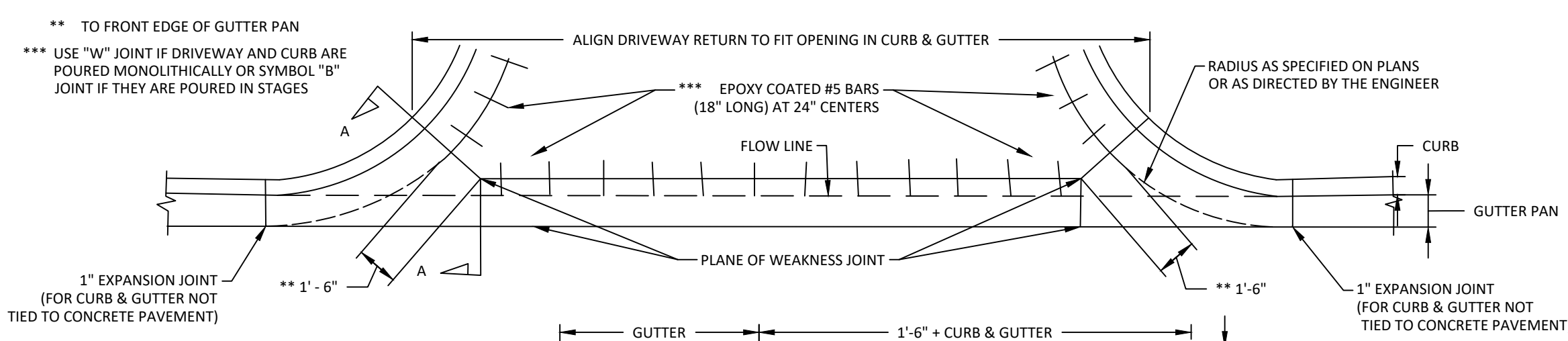
THICKENED EDGE SIDEWALK

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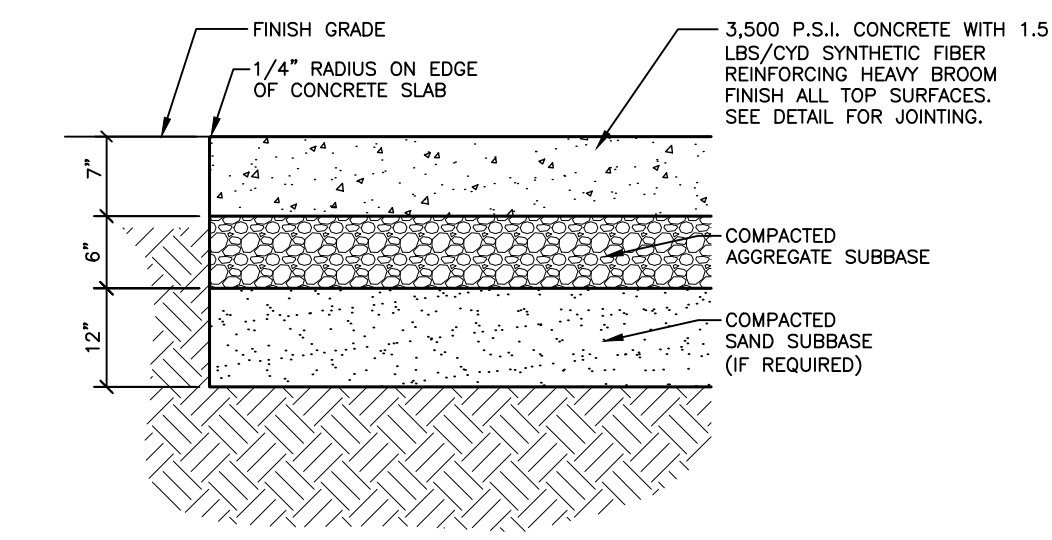
F4 CURB DETAIL

NOT TO SCALE



SECTION A-A CONCRETE DRIVEWAY OPENING, DETAIL M

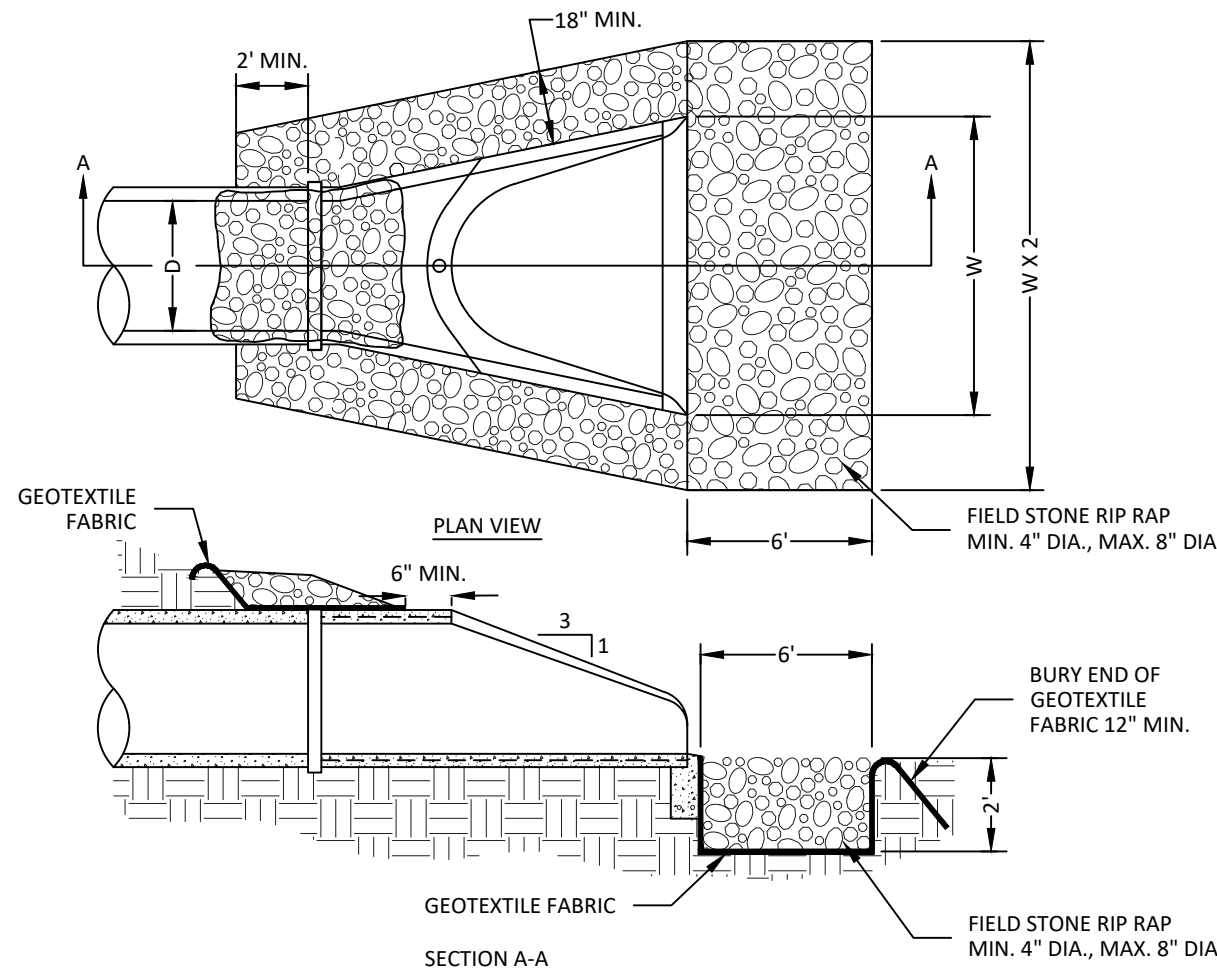
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DUMPSTER PAD

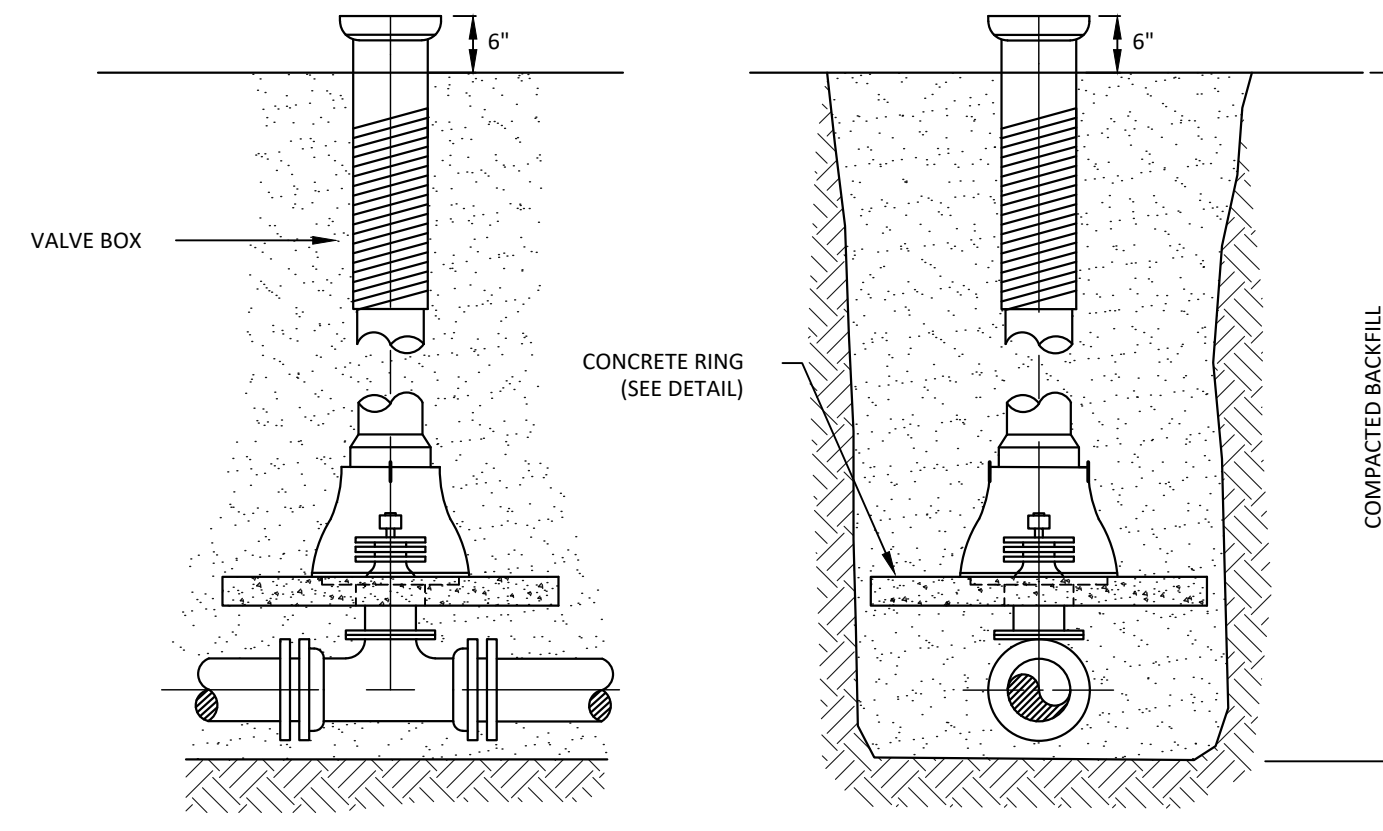
CONCRETE PAVEMENT DETAIL

NOT TO SCALE



RIP - RAP APRON

NOT TO SCALE



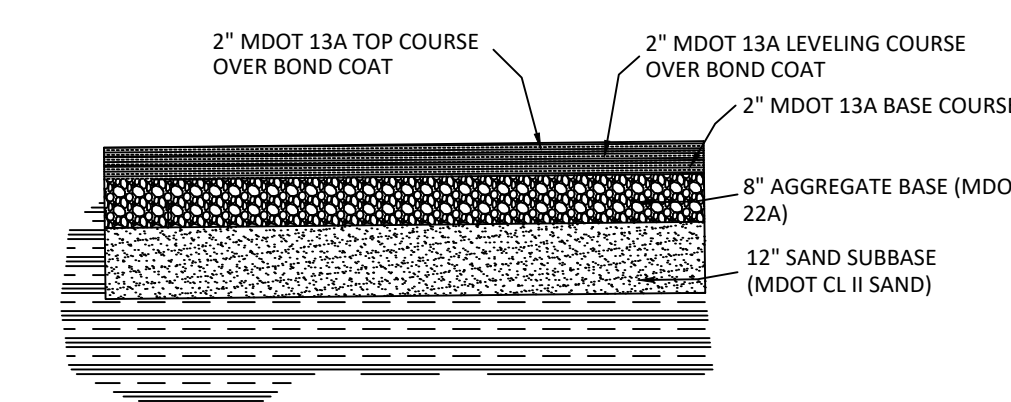
SIDE VIEW

FRONT VIEW

CONCRETE VALVE BOX BASE

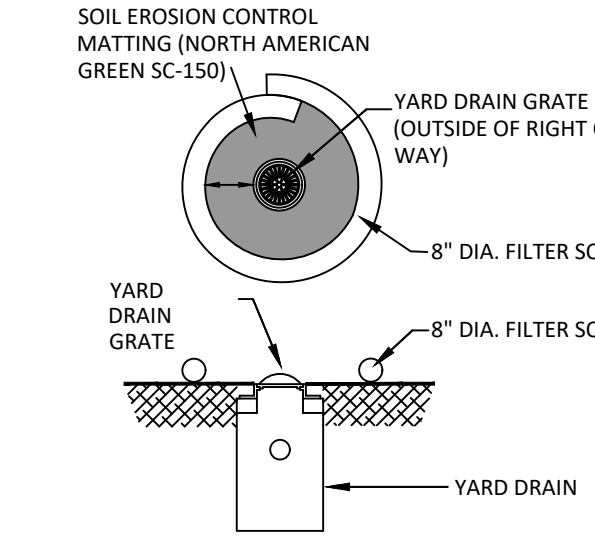
VALVE & BOX FOUNDATION

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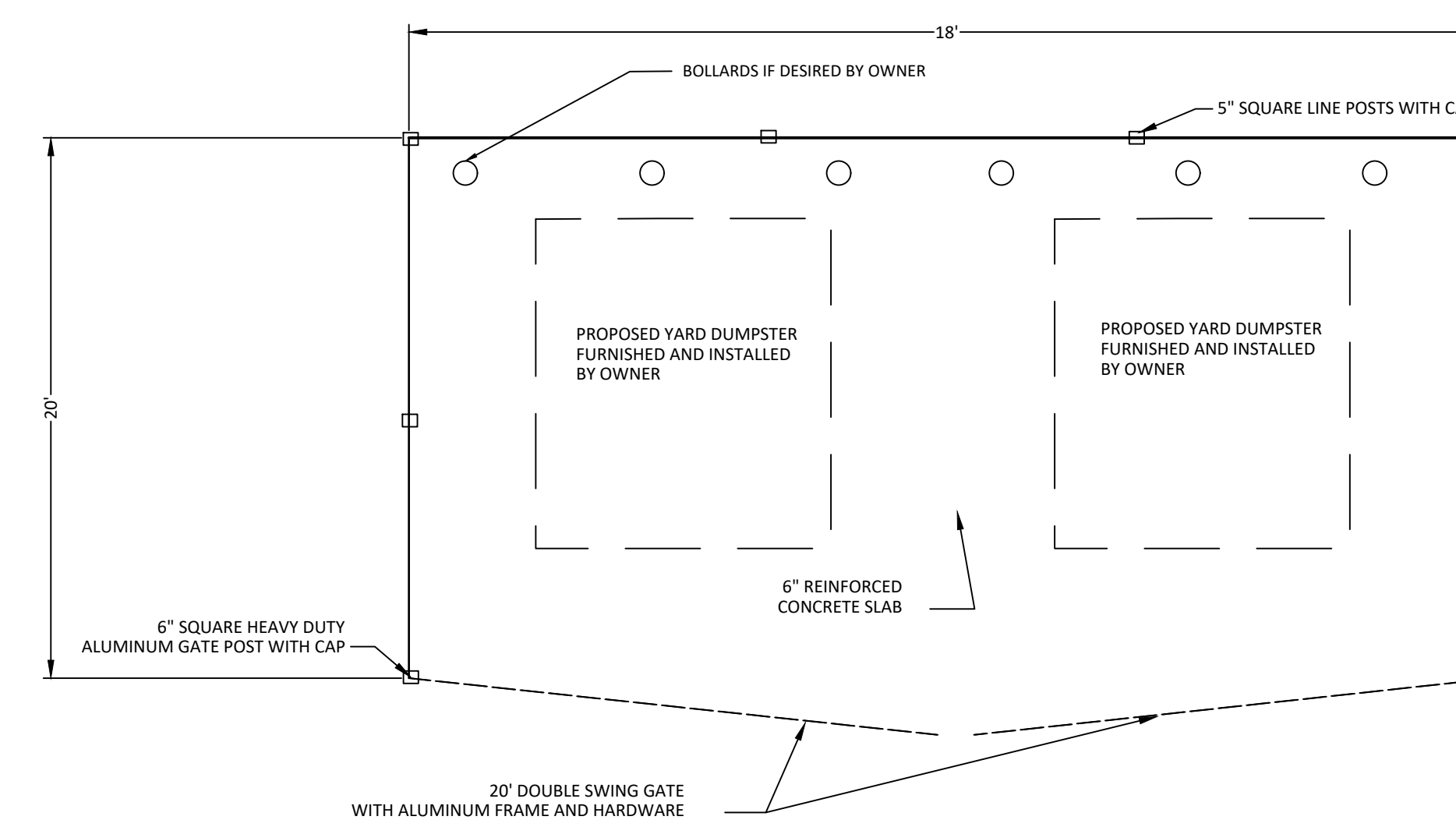
PATCHING PAVING DETAIL

NOT TO SCALE



INLET PROTECTION DETAIL

NOT TO SCALE



FRONT ELEVATION

SIDE ELEVATION

DUMPSTER ENCLOSURE DETAIL

NOT TO SCALE

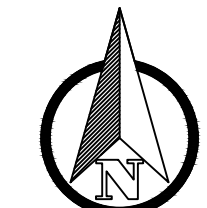
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CITY OF PLAINWELL
ALLEGAN COUNTY, MICHIGAN
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PROJECT DETAILS

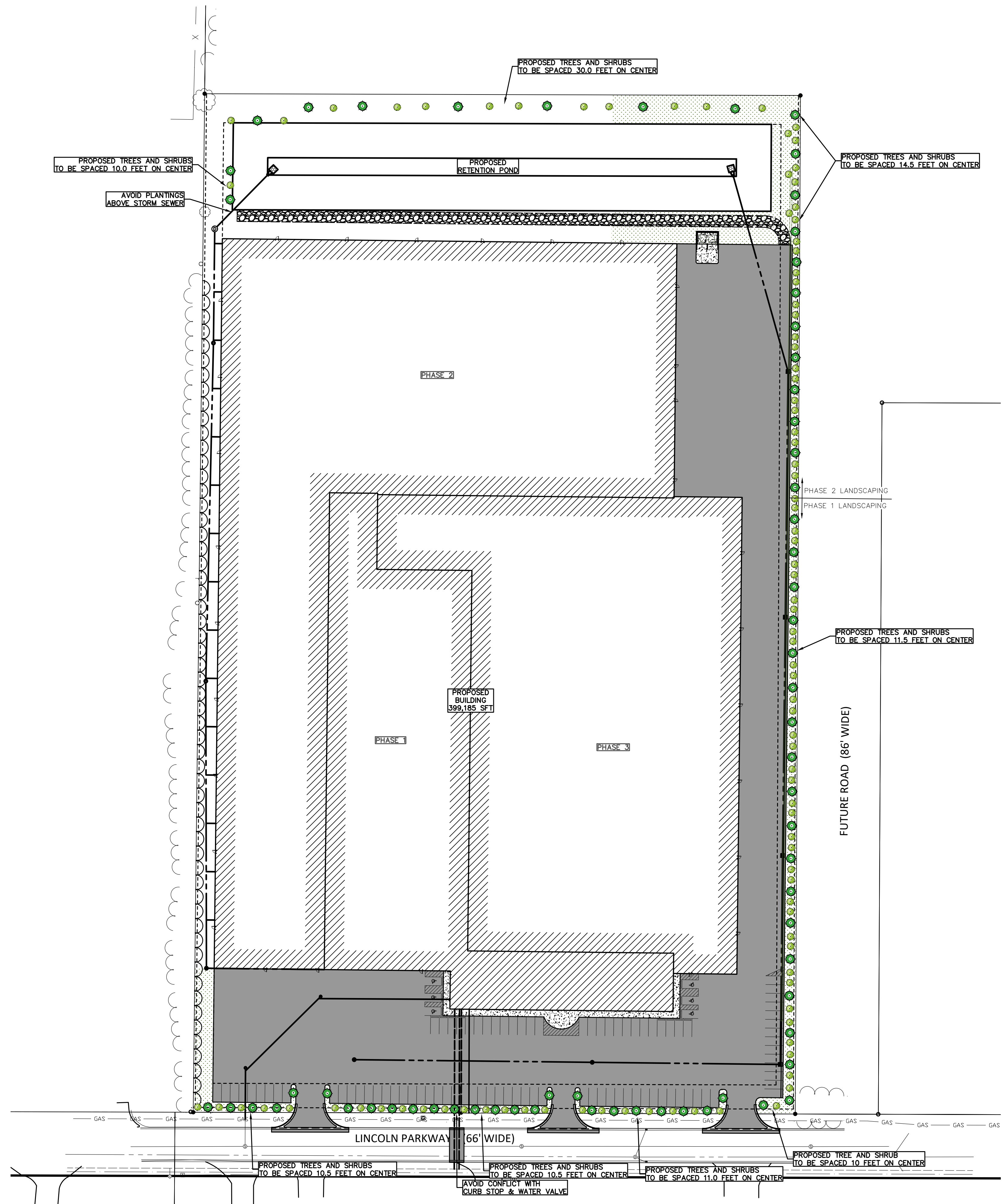


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SCALE: 1" = 60'
0' 30' 60' 90' 120'



LANDSCAPE LEGEND

- CONIFER/EVERGREEN
- SHRUB
- 33% LANDSCAPE AREA BETWEEN BUILDING AND ROAD

PROJECT SITE INFORMATION:

TOTAL SITE = 15.0 ACRES = 653,414 SF
 REQUIRED 15% LANDSCAPE = 98,012 SF
 PROVIDED LANDSCAPE AREA = 115,511 SF
 33% FRONTAGE LANDSCAPE OF THE 15% = 32,300 SF REQUIRED
 PROVIDED FRONTAGE LANDSCAPE = 32,375 SF

ONE TREE OR SHRUB FOR EVERY 1,000 SQUARE FEET OR PORTION THEREOF: 98,012/1,000 = 98 TREES OR SHRUBS

ONE TREE FOR EVERY 1,500 SQUARE FEET OR PORTION THEREOF: 98,012/1,500 = 65 TREES

PROVIDED: 65 TREES AND 98 SHRUBS

MINIMUM PLANTING SIZES FOR REQUIRED LANDSCAPING

- LARGE DECIDUOUS TREES (OVER 30-FOOT MATURE HEIGHT): 2 INCH CALIPER MEASURED 6 FEET ABOVE GROUND.
- SMALL DECIDUOUS TREES (UNDER 30-FOOT MATURE HEIGHT, GENERALLY ORNAMENTAL AND FLOWERING TREES): ONE AND ONE-HALF INCH CALIPER MEASURED SIX FEET ABOVE GROUND.
- EVERGREEN TREES: FOUR FEET IN HEIGHT
- SHRUBS: THREE-GALLON CONTAINER. GENERALLY, DECIDUOUS SHRUBS WILL BE 18 INCHES HIGH. SPREADING SHRUBS WILL HAVE 15 INCHES AND 18 INCHES SPREAD.
- GROUND COVERS (EXCEPT VINES): TWO AND ONE-FOURTH INCHES TO FOUR INCHES.
- VINES: UP TO ONE-GALLON CONTAINER; AND
- PLANT MATERIAL IN ADDITION TO REQUIRED QUANTITIES IS NOT SUBJECT TO SIZE REQUIREMENTS.

CHOOSE TREE OR SHRUB SPECIES SO MATURE SPREAD DOES NOT INFRINGE ON NEIGHBORING TREE OR SHRUB.



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NO.	DATE	REVISION	BY
1	12/14/2023	PRELIMINARY PLAN	NEF
2	12/20/2023	PRELIMINARY PLAN	MDS
3	12/21/2023	PRELIMINARY PLAN	GPW
4	1/16/2024	CLIENT REVIEW SET	CJW
5	1/19/2024	SITE PLAN SUBMITTAL	CJW

CITY OF PLAINWELL
ALLEGAN COUNTY, MICHIGAN
PROFIELNORM USA
LANDSCAPING PLAN



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FILE NO. 1219
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Sheet No. L100

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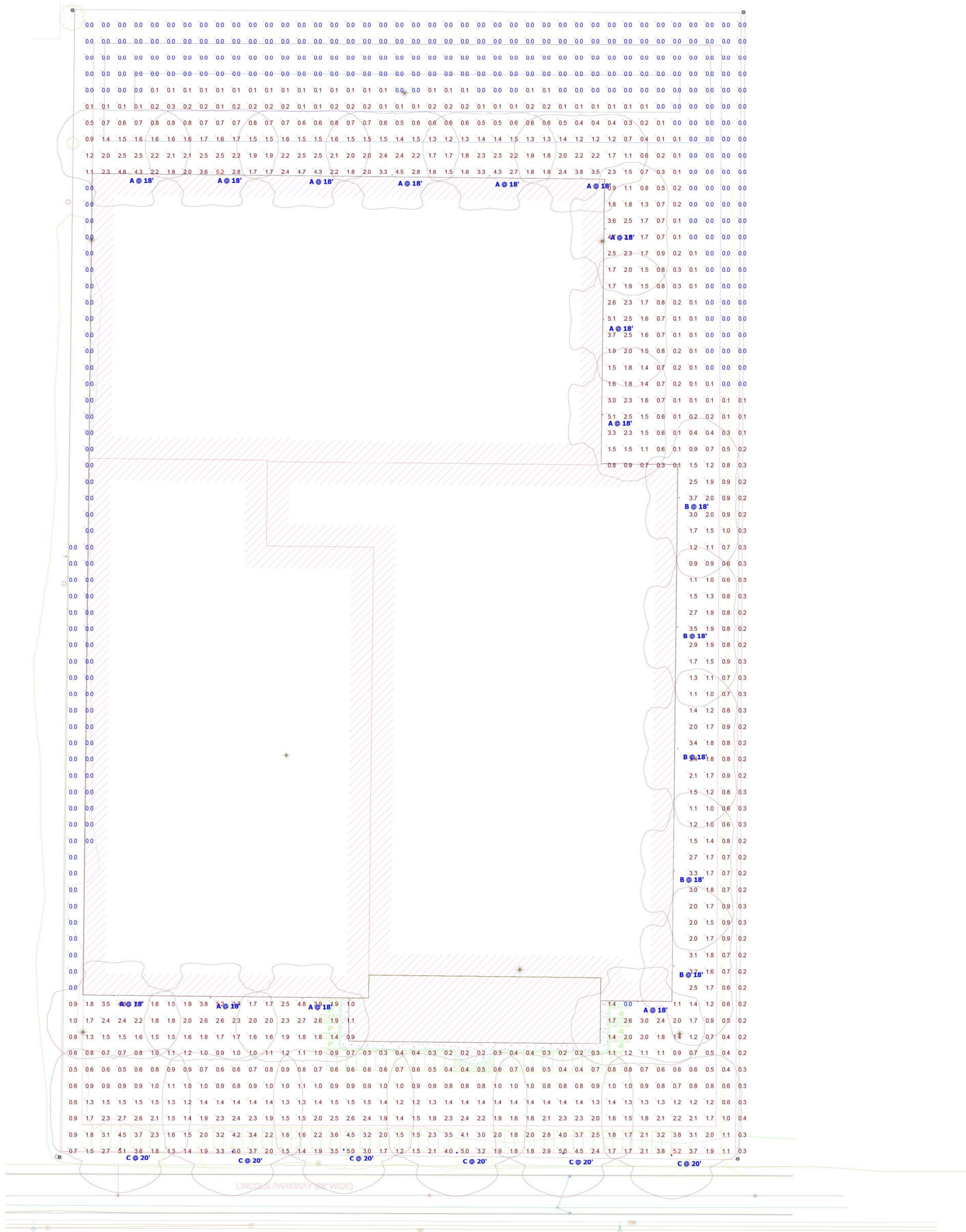


Profielnorm - Plainwell, MI

Designer
CJR
Date
01/19/2024
Scale
Not to Scale
Drawing No.
Summary
1 of 1

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.0 fc	5.2 fc	0.0 fc	N/A	N/A

Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
+	A		13	Lithonia Lighting	DSXW2 LED 30C 1000 40K T4M MVOLT	DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED's, 1000mA DRIVER, 4000K LED, TYPE 4 MEDIUM OPTIC	1	11129	1	109	 Max: 7796cd
+	B		5	Lithonia Lighting	DSXW2 LED 30C 1000 40K T3M MVOLT	DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED's, 1000mA DRIVER, 4000K LED, TYPE 3 MEDIUM OPTIC	1	11279	1	109	 Max: 7380cd
□	C		6	Lithonia Lighting	DSX1 LED P6 40K 80CRI TFTM	D-Series Size 1 Area Luminaire P6 Performance Package 4000K CCT 80 CRI Forward Throw	1	19259	1	165.25	 Max: 17351cd



Plan View
Scale = 1" = 60'

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CITY OF PLAINWELL
ALLEGAN COUNTY, MICHIGAN
PROFIELNORM USA
PHOTOMETRIC PLAN

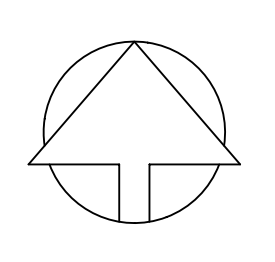
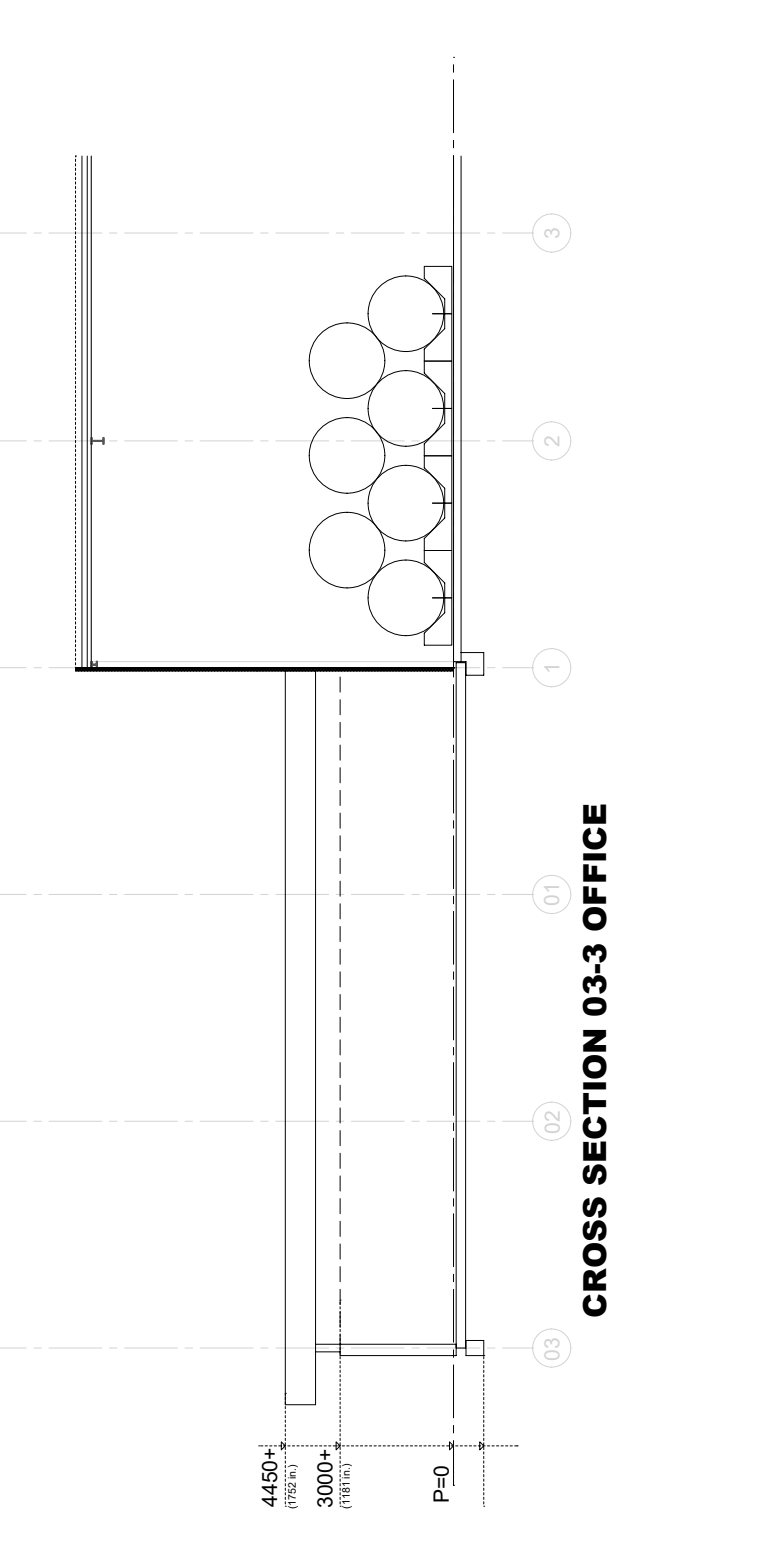
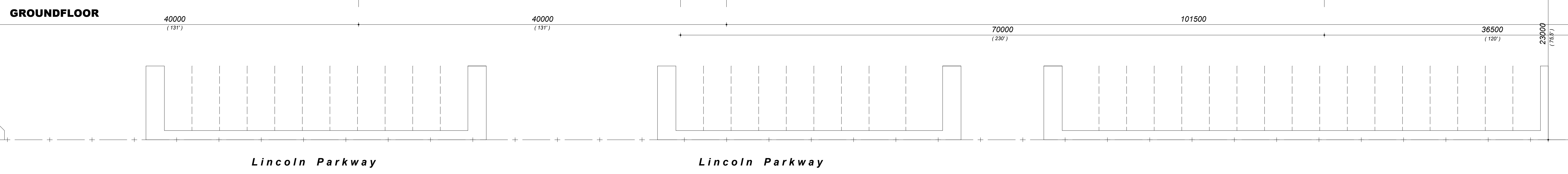
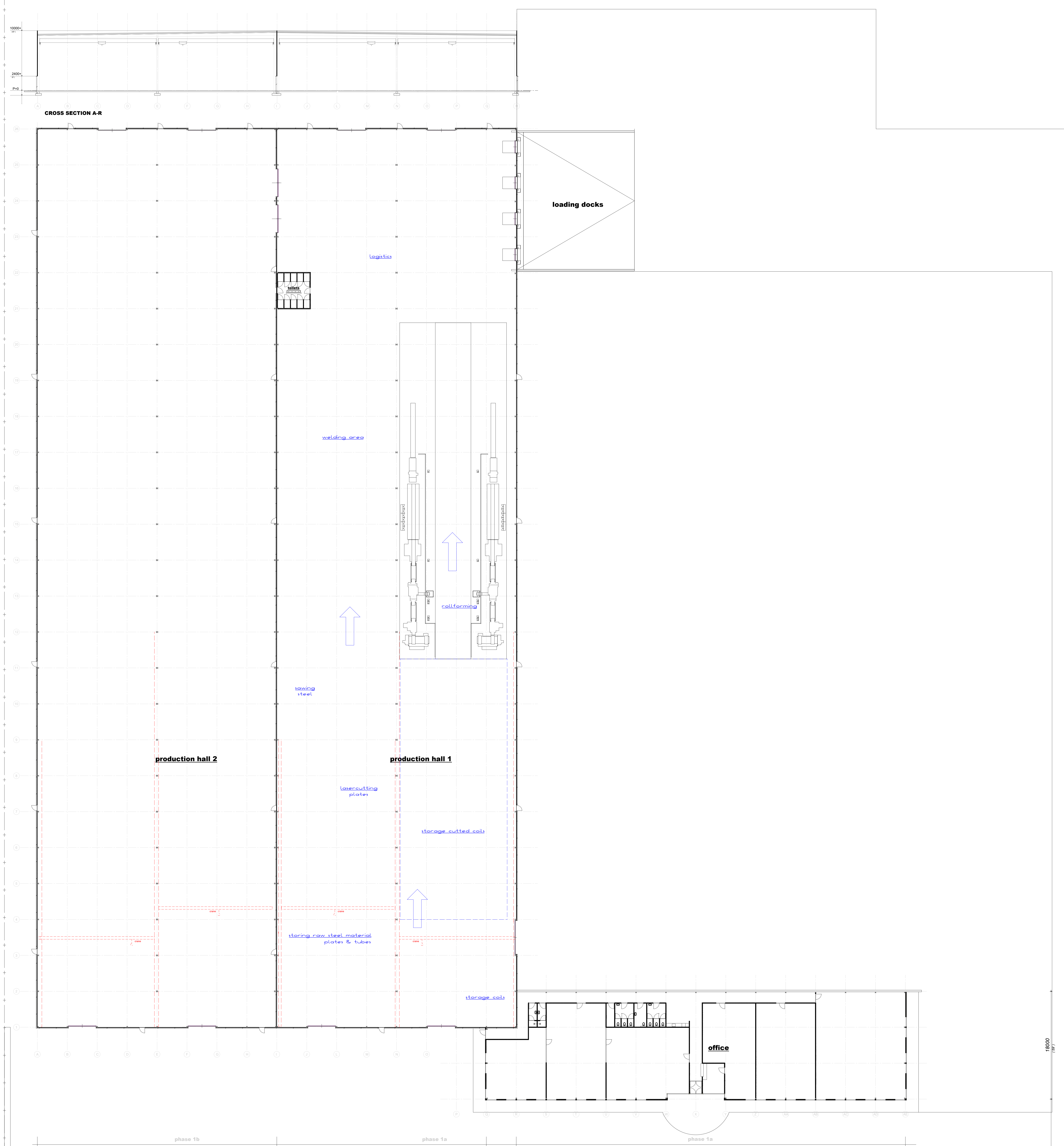
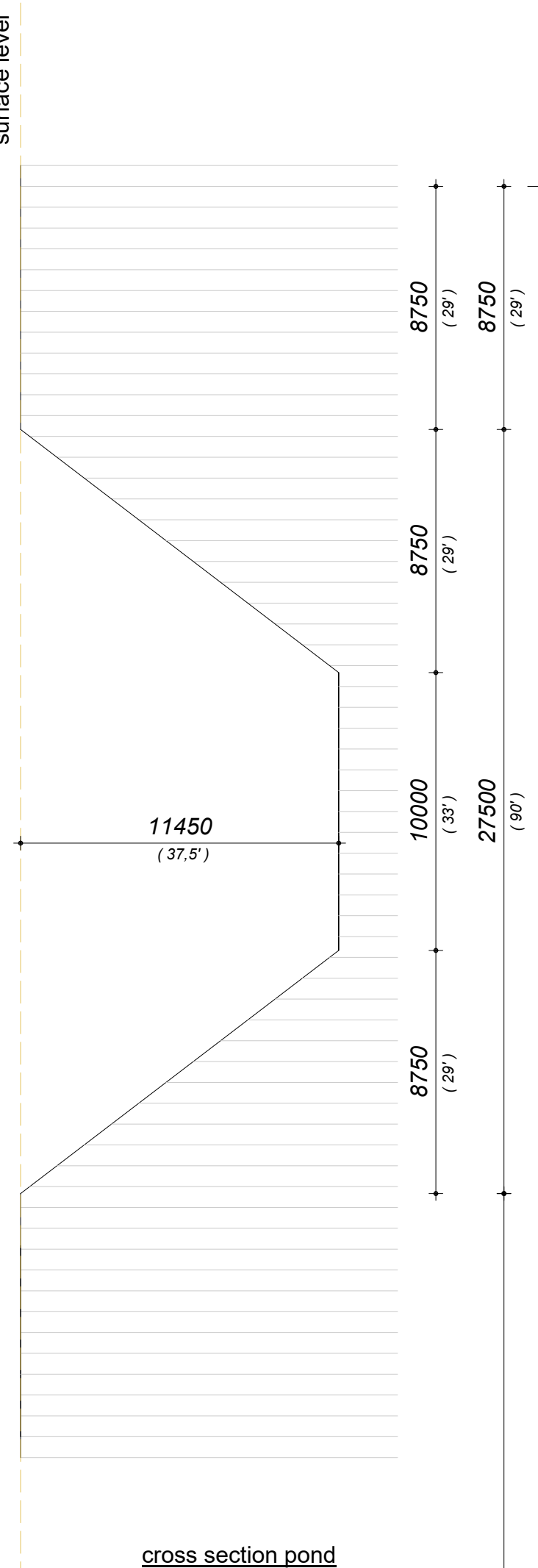


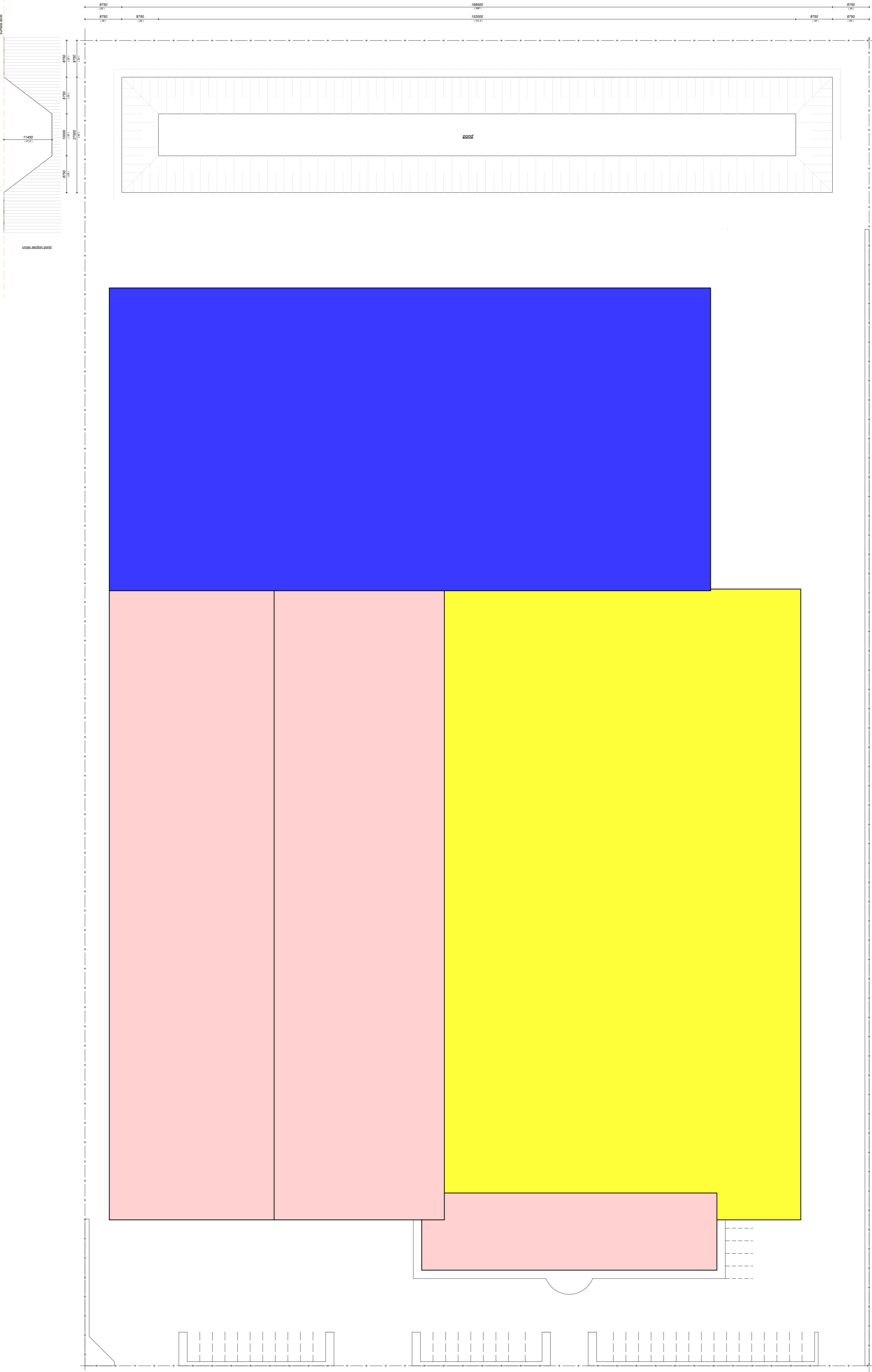
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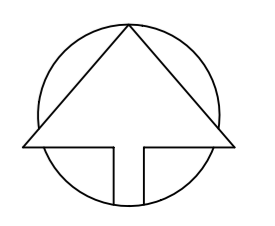
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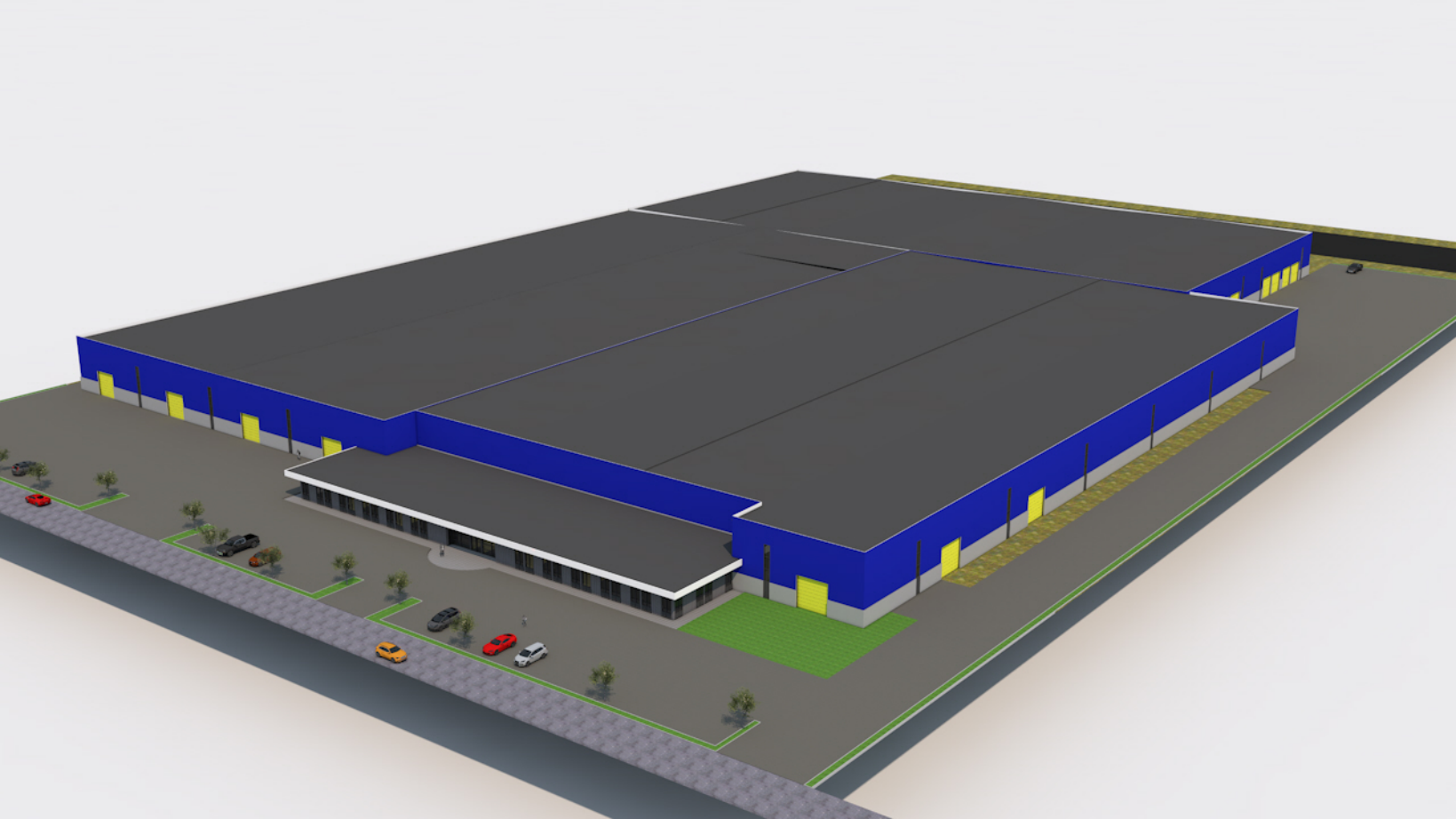
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- Phase 1
- Phase 2
- Phase 3





RAINFALL INTENSITIES & DEPTHS

City of Plainwell Data

Job Information

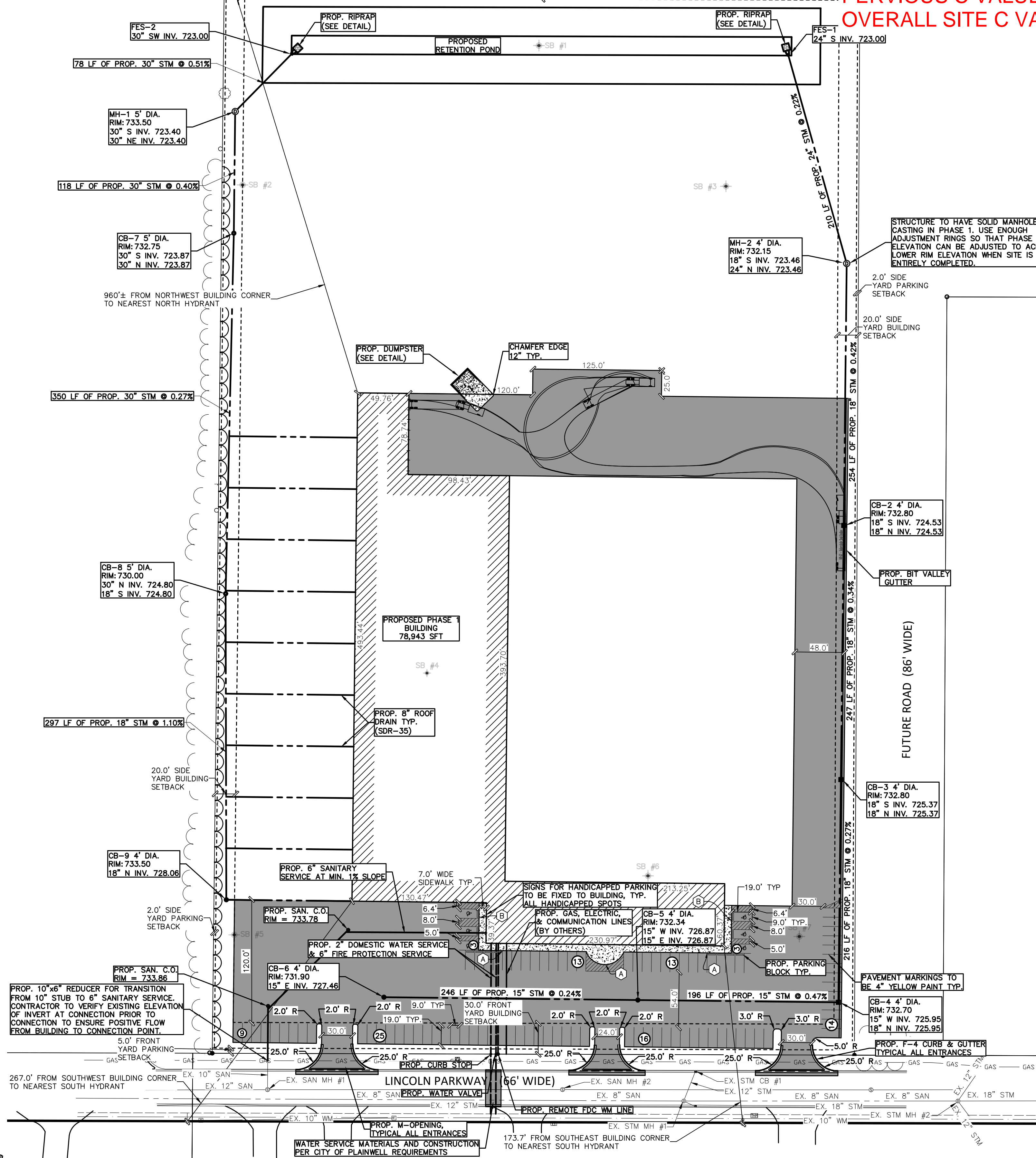
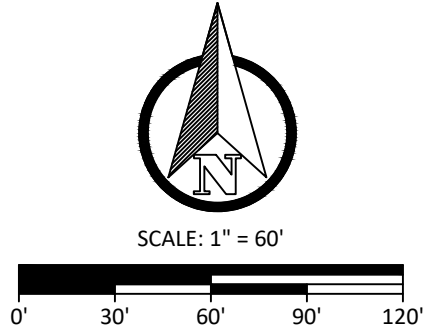
Description: Profielnorm
Reviewing Entity: City of Plainwell
Job #: 1219
Date: 01/19/24

Rainfall Intensity From NOAA Atlas 14 (in/hr) https://hdsc.nws.noaa.gov/hdsc/pfds/pfds_map_c

Duration (min)	Duration (hr)	Frequency				
		2-Year	10-Year	25-Year	50-Year	100-Year
5	0.083	4.55	6.64	8.06	9.20	10.40
10	0.167	3.32	4.86	5.90	6.74	7.62
30	0.5	1.92	2.82	3.43	3.93	4.45
60	1	1.23	1.86	2.31	2.67	3.05
120	2	0.75	1.16	1.45	1.69	1.94
180	3	0.55	0.86	1.09	1.27	1.47
360	6	0.32	0.50	0.63	0.74	0.86
720	12	0.19	0.27	0.34	0.40	0.46
1440	24	0.11	0.15	0.19	0.22	0.25

Rainfall Depth (in)						
Duration (min)	Duration (hr)	Frequency				
		2-Year	10-Year	25-Year	50-Year	100-Year
5	0.083	0.38	0.55	0.67	0.77	0.87
10	0.167	0.55	0.81	0.98	1.12	1.27
30	0.5	0.96	1.41	1.72	1.97	2.23
60	1	1.23	1.86	2.31	2.67	3.05
120	2	1.50	2.32	2.90	3.38	3.88
180	3	1.65	2.59	3.27	3.81	4.41
360	6	1.93	2.99	3.77	4.44	5.17
720	12	2.22	3.25	4.07	4.78	5.56
1440	24	2.54	3.65	4.51	5.23	6.05

OVERALL LOT AREA = 15.00 ACRES
 PHASE 1 IMPERVIOUS AREA = 4.79 ACRES
 PHASE 1 PERVIOUS AREA = 10.21 ACRES
 IMPERVIOUS C VALUE = 0.98 (PER ALLEGAN CO DRAIN COMMISSION)
 PERVIOUS C VALUE = 0.20 (PER ALLEGAN CO DRAIN COMMISSION)
 OVERALL SITE C VALUE = 0.45



SB #2 (12/14/2023)
 ELEVATION = 735
 0-10": TOPSOIL
 10"-14": SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
 14"-18.5": SAND & GRAVEL, VERY LOOSE, BROWN, FINE TO COARSE GRAINED, MOIST
 18.5"-20": SAND, MEDIUM DENSE, BROWN, FINE GRAINED, WET GROUNDWATER ENCOUNTERED AT 18.5'

SB #3 (12/14/2023)
 ELEVATION = 734
 0-9": TOPSOIL
 9"-6": SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, TRACE GRAVEL, MOIST
 6"-20": SAND & GRAVEL, MEDIUM DENSE TO DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET GROUNDWATER ENCOUNTERED AT 18.5'

SB #4 (12/14/2023)
 ELEVATION = 733
 0-8": TOPSOIL
 8"-3": SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, TRACE GRAVEL, MOIST
 3"-20": SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET GROUNDWATER ENCOUNTERED AT 14'

SB #5 (12/14/2023)
 ELEVATION = 737
 0-7": TOPSOIL
 7"-5": SAND, VERY LOOSE TO LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
 5"-8": CLAYEY SAND, MEDIUM DENSE, BROWN, FINE TO MEDIUM GRAINED, A LITTLE GRAVEL, MOIST
 8"-20": SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET GROUNDWATER ENCOUNTERED AT 19.5'

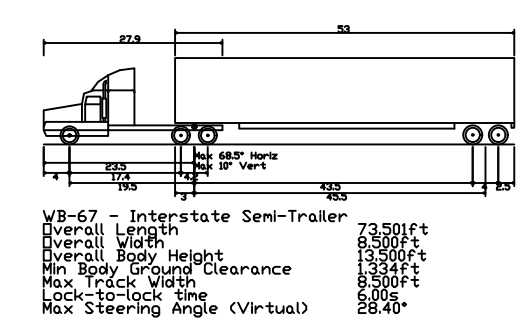
SB #6 (12/14/2023)
 ELEVATION = 735
 0-7": TOPSOIL
 7"-3.5": SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
 3.5"-20": SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET GROUNDWATER ENCOUNTERED AT 18.5'

SB #7 (12/14/2023)
 ELEVATION = 737
 0-7": TOPSOIL
 7"-2": CLAYEY SAND, LOOSE, BROWN, FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST
 2"-20": SAND & GRAVEL, VERY LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET GROUNDWATER ENCOUNTERED AT 18.5'

STRUCTURE NAME:	DETAILS:
EX. SAN MH #1	RIM = 735.41 8" E INV. 725.61 12" W INV. 725.21 10" N INV. 725.51
EX. SAN MH #2	RIM = 734.06 8" E INV. 727.61 8" W INV. 727.56
EX. SAN MH #3	RIM = 734.99 8" E INV. 728.99 8" W INV. 728.99
EX. STM CB #1	RIM = 733.01 12" SW INV. 730.37
EX. STM MH #1	RIM = 733.25 27/30" W INV. 729.08 12" NE INV. 730.18 18" E INV. 729.28 12" W INV. 729.68
EX. STM MH #2	RIM = 735.83 18" W INV. 730.64 12" NE INV. 730.94 18" E INV. 730.84 12" SE INV. 730.84

- SYMBOL LEGEND**
- EXISTING TREE
 - TREE STUMP
 - BOLLARD
 - LIGHT POLE
 - POWER POLE
 - CLEANOUT
 - SANITARY SEWER MANHOLE
 - STORM CATCH BASIN
 - STORM MANHOLE
 - STORM FLARED END SECTION
 - STORM CULVERT
 - SIGN
 - HYDRANT
 - VALVE
 - MAILBOX
 - FLOW DIRECTION ARROW
 - COMMUNICATION STRUCTURE
 - ELECTRICAL
 - SECTION CORNER
 - PROPERTY CORNER - SET
 - PROPERTY CORNER - FOUND
 - BENCHMARK/CONTROL POINT
 - SOIL BORING
 - WELL

- LINE AND HATCH LEGEND**
- LANDSCAPING
 - EXISTING OVERHEAD ELECTRIC
 - PROPOSED OVERHEAD ELECTRIC
 - EXISTING UNDERGROUND ELECTRIC
 - PROPOSED UNDERGROUND ELECTRIC
 - EXISTING GAS
 - PROPOSED GAS
 - EXISTING COMMUNICATIONS
 - PROPOSED COMMUNICATIONS
 - EXISTING FENCE
 - PROPOSED FENCE
 - RIGHT OF WAY
 - EASEMENT
 - SETBACK
 - EXISTING GRAVEL
 - PROPOSED GRAVEL
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING SANITARY SEWER
 - PROPOSED SANITARY SEWER
 - EXISTING FORCEMAIN
 - PROPOSED FORCEMAIN
 - EXISTING WATERMAIN
 - PROPOSED WATERMAIN



- SITE LAYOUT NOTES:**
- ALL WORK SHALL BE DONE TO ALL FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS.
 - ALL WORK WITHIN ROW SHALL BE DONE IN ACCORDANCE WITH LOCAL ROADWAY JURISDICTION REQUIREMENTS.
 - CONTRACTOR SHALL RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE, AND OTHER INFRASTRUCTURE DISTURBED OR DAMAGED DUE TO CONSTRUCTION ACTIVITIES TO MATCH EXISTING CONDITIONS.
 - ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY OWNER.
 - THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST.
 - CONTRACTOR SHALL CONTACT MISS DIG THREE WORKING DAYS BEFORE YOU DIG. CALL MISS DIG AT 1-800-482-7171 OR 811.
 - ALL WORK SHALL BE DONE TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
 - ADA PARKING SPACES SHALL BE MARKED WITH APPROVED PAVEMENT SYMBOL. MARK ADA SPACES WITH 4" BLUE PAINT PER MMUTCD.
 - CONTRACTOR SHALL ENSURE ALL ADA RAMPS AND ACCESS MEET CURRENT ADA STANDARDS. IF IT IS DISCOVERED THAT ANY ITEMS WILL NOT MEET ADA STANDARDS IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
 - ALL SIGNAGE SHALL BE PER MDOT AND MMUTCD STANDARDS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, DEMOLITION PERMITS, TAP FEES, ASSESSMENTS, UTILITY PERMITS, ROW PERMITS, BONDS, INSURANCE, OR OTHER FEES ASSOCIATED WITH CONSTRUCTION.
 - SITE CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF A MINIMUM 4000 PSI AND SHALL HAVE LIMESTONE AGGREGATE AND SHALL HAVE A 5.5%-8% AIR ENTRAINMENT WITH A BROOM FINISH.
 - INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE CONCRETE ABUTS HMA PAVEMENT.
 - CONTRACTOR SHALL REVIEW THE GEOTECHNICAL AND ENVIRONMENTAL REPORTS FOR THE SITE AND INCORPORATE INTO THEIR CONSTRUCTION MEANS AND METHODS.
 - THESE PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC FIELD SURVEY LAYOUT. DIMENSIONS SHOWN ARE FOR GRAPHIC PRESENTATION ONLY AND SHOULD NOT BE USED FOR LAYOUT. CONTACT THE ENGINEER IF ANY DISCREPANCIES BETWEEN THE PLAN AND ELECTRONIC DATA ARE DISCOVERED.
 - THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS.
 - THE CONTRACTOR SHALL PROTECT LOCATION OF ALL PROPERTY MARKERS AND BENCHMARKS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL SIGNS, BARRICADES, AND SAFETY FENCES TO DETERMINE PEOPLE FROM ENTERING THE WORK AREA AND FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROLS SHALL BE COORDINATED WITH THE LOCAL POLICE DEPARTMENT AND MUNICIPALITY.
 - PRIOR TO CONSTRUCTION OR GRADING A PROTECTIVE BARRIER, FENCE, POST, AND SIGNS CLEARLY INDICATING LIMITS OF DISTURBANCE SHALL BE INSTALLED INDICATING NO TREE REMOVAL OR DISTURBANCES OUTSIDE LIMITS.
 - NO PARKING OF CONTRACTOR OR SUBCONTRACTORS SHALL BE ALLOWED ON PUBLIC STREETS WITHOUT PRIOR APPROVAL.
 - NO BUILDING MATERIAL, EQUIPMENT, VEHICLES, OR CHEMICALS SHALL BE STORED OR PLACED OUTSIDE OF THE LIMITS OF DISTURBANCE.
 - CONSTRUCTION NOISE SHALL BE KEPT TO A MINIMUM DURING NIGHTTIME HOURS AND MUST COMPLY WITH LOCAL MUNICIPAL ORDINANCES.
 - ALL VERTICAL FACE OF CURBS SHALL BE PAINTED YELLOW WHEN BETWEEN 0 AND 6 INCHES TALL.

- PROJECT SITE INFORMATION:**
- PARCEL ADDRESS 830 MILLER RD
 - PARCEL NUMBER PART OF 08-020-056-00
 - TOTAL ACREAGE 15.0 ACRES
 - ZONING INDUSTRIAL
 - FLOODPLAIN - THIS PROJECT NOT IN THE 100 YEAR FLOOD PLAIN, BASED ON THE FEMA NATIONAL FLOOD MAPS.
 - ADJACENT ZONING - NORTH INDUSTRIAL, EAST INDUSTRIAL, SOUTH INDUSTRIAL, WEST INDUSTRIAL BUILDING SETBACKS - FRONT 30 FEET, SIDES 20 FEET, REAR 30 FEET
 - PARKING SETBACKS - FRONT 5 FEET, SIDES 2 FEET, REAR 0 FEET
 - BUILDING HEIGHT MAXIMUM 50 FEET; BUILDING HEIGHT PROPOSED 35 FEET
 - MAXIMUM LOT COVERAGE 65%; PHASE 1 LOT COVERAGE PROPOSED 20.7%
 - SIGNAGE, LIGHTING, AND LANDSCAPING SHALL MEET MUNICIPAL REQUIREMENTS.
 - PARKING CALCULATION PHASE 1
 - OFFICE: 1 SPACE PER 350 SF = 39 SPACES
 - MANUFACTURING: 1 SPACE PER 650 SF = 15 SPACES
 - WAREHOUSING 1 SPACE PER 2,000 SF = 28 SPACES
 - PHASE 1 REQUIRED = 43 SPACES
 - PHASE 1 PROVIDED = 96 SPACES - 90 EMPLOYEES AND 6 CUSTOMER

- UTILITY PLAN NOTES:**
- CONTRACTOR SHALL CONTACT PRIVATE AND PUBLIC UTILITY COMPANIES IF ANY COORDINATION IS NEEDED BETWEEN PROPOSED WORK AND EXISTING UTILITIES.
 - UTILITIES SHOWN IF ANY ARE APPROXIMATE LOCATIONS DERIVED FROM MEASUREMENTS OR AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITY INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION, AND CONDITION.
 - ALL WATERMAIN TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL WATER UTILITY STANDARDS AND EOLE STANDARDS.
 - ALL SANITARY SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL SANITARY SEWER UTILITY STANDARDS AND EOLE STANDARDS.
 - ALL 6" UNDERDRAIN TO BE CORRUGATED PLASTIC PIPE WITH SOCK, ADS N-12 OR APPROVED EQUAL.
 - ALL STORM SEWER SHALL BE SMOOTH LINED CORRUGATED PLASTIC PIPE, ADS N-12 OR EQUAL, UNLESS OTHERWISE LABELED ON THE PLANS.
 - ALL EXISTING CASTINGS FOR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REPLACED.
 - ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
 - CATCH BASINS WITHIN CATCHMENT HEAD CURB SHALL HAVE EJ 7045 CASTINGS.
 - CATCH BASINS WITHIN BIT VALLEY CURB SHALL HAVE EJ 7065 CASTINGS WITH M1 GRATE.
 - CATCH BASINS WITHIN PAVED AREAS SHALL HAVE EJ 1020M1 RADIAL FLATE GRATE CASTINGS.
 - STORM SEWER MANHOLES SHALL HAVE EJ 1020 CASTINGS WITH SOLID COVERS.
 - STORM SEWER YARD DRAINS SHALL HAVE EJ 6508 CASTINGS.
 - ROOF DRAINS SHALL BE PVC SCH-40.
 - CONTRACTOR IS TO UNCOVER AND VERIFY ALL TAP LOCATIONS AND INVERTS. LOCATION AND INVERT DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR RESOLUTION PRIOR TO CONTINUING WORK.
 - SANITARY AND STORM STRUCTURES SHALL BE PRECAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT.
 - THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.

811 Know what's below. Call before you dig.

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- PLAN NOTES:**
- A. 6" THICKENED EDGE SIDEWALK (SEE DETAIL C500)
 - B. BARRIER FREE RAMP FLUSH WITH PAVEMENT

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CITY OF PLAINWELL
 ALLEGAN COUNTY, MICHIGAN
PROFIELNORM USA
 PHASE 1 SITE AND UTILITY PLAN



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FILE NO.	1219
CHECKED	DGL
Sheet No.	C301

PHASE 1 STORAGE

STORM STORAGE VOLUME RATIONAL METHOD

Job Information

Description: Profielnorm
Reviewing Entity: City of Plainwell
Job #: 1219
Date: 1/19/2024

Design Parameter:	Retention
Design Storm:	100-yr
Proposed Inflow Runoff Coefficient:	0.45
Inflow Drainage Area (ac):	15.00
Allowable Release Rate (cfs):	1.410

Infiltration		
Bottom Area	20300	sft
Infiltration Rate	3	in/hr
Release Rate	1.410	cfs

Detention Volume Required: 105,535 cft

Storm Duration		Intensity (in./hr)	Inflow Rate (cfs)	Outflow Rate (cfs)	Required Storage (cft)
(min)	(hr)				
5	0.08	10.40	70.20	1.410	20809.1
10	0.17	7.62	51.44	1.410	30265.3
15	0.25	6.83	46.09	1.410	40543.4
20	0.33	6.04	40.74	1.410	47585.1
25	0.42	5.24	35.39	1.410	51390.4
30	0.50	4.45	30.04	1.410	51959.4
35	0.58	4.22	28.46	1.410	57284.3
40	0.67	3.98	26.89	1.410	61656.2
45	0.75	3.75	25.31	1.410	65075.3
50	0.83	3.52	23.74	1.410	67541.5
55	0.92	3.28	22.16	1.410	69054.9
60	1.00	3.05	20.59	1.410	69615.3
65	1.08	2.96	19.96	1.410	72961.3
70	1.17	2.87	19.34	1.410	75929.4
75	1.25	2.77	18.71	1.410	78519.9
80	1.33	2.68	18.09	1.410	80732.5
85	1.42	2.59	17.47	1.410	82567.5
90	1.50	2.50	16.84	1.410	84024.7
95	1.58	2.40	16.22	1.410	85104.1
100	1.67	2.31	15.59	1.410	85805.8
105	1.75	2.22	14.97	1.410	86129.8
110	1.83	2.13	14.34	1.410	86076.0
115	1.92	2.03	13.72	1.410	85644.4
120	2.00	1.94	13.10	1.410	84835.1
125	2.08	1.90	12.83	1.410	86370.6
130	2.17	1.86	12.57	1.410	87746.1
135	2.25	1.82	12.30	1.410	88961.7
140	2.33	1.78	12.04	1.410	90017.3
145	2.42	1.74	11.77	1.410	90913.0
150	2.50	1.71	11.51	1.410	91648.7
155	2.58	1.67	11.24	1.410	92224.5
160	2.67	1.63	10.98	1.410	92640.3
165	2.75	1.59	10.72	1.410	92896.2
170	2.83	1.55	10.45	1.410	92992.1
175	2.92	1.51	10.19	1.410	92928.1
180	3.00	1.47	9.92	1.410	92704.2
185	3.08	1.45	9.81	1.410	94001.2
190	3.17	1.44	9.69	1.410	95229.2
195	3.25	1.42	9.58	1.410	96388.1
200	3.33	1.40	9.47	1.410	97477.9
205	3.42	1.39	9.35	1.410	98498.7
210	3.50	1.37	9.24	1.410	99450.3
215	3.58	1.35	9.12	1.410	100332.9
220	3.67	1.33	9.01	1.410	101146.4
225	3.75	1.32	8.89	1.410	101890.8
230	3.83	1.30	8.78	1.410	102566.1

235	3.92	1.28	8.67	1.410	103172.3
240	4.00	1.27	8.55	1.410	103709.5
245	4.08	1.25	8.44	1.410	104177.6
250	4.17	1.23	8.32	1.410	104576.6
255	4.25	1.22	8.21	1.410	104906.5
260	4.33	1.20	8.10	1.410	105167.3
265	4.42	1.18	7.98	1.410	105359.0
270	4.50	1.17	7.87	1.410	105481.7
275	4.58	1.15	7.75	1.410	105535.2
280	4.67	1.13	7.64	1.410	105519.7
285	4.75	1.11	7.52	1.410	105435.1
290	4.83	1.10	7.41	1.410	105281.5
295	4.92	1.08	7.30	1.410	105058.7
300	5.00	1.06	7.18	1.410	104766.8
305	5.08	1.05	7.07	1.410	104405.9
310	5.17	1.03	6.95	1.410	103975.9
315	5.25	1.01	6.84	1.410	103476.8
320	5.33	1.00	6.73	1.410	102908.6
325	5.42	0.98	6.61	1.410	102271.4
330	5.50	0.96	6.50	1.410	101565.0
335	5.58	0.95	6.38	1.410	100789.6
340	5.67	0.93	6.27	1.410	99945.1
345	5.75	0.91	6.15	1.410	99031.5
350	5.83	0.89	6.04	1.410	98048.8
355	5.92	0.88	5.93	1.410	96997.0
360	6.00	0.86	5.81	1.410	95876.2
720	12.00	0.46	3.13	1.410	74728.4
1440	24.00	0.25	1.70	1.410	25376.1

PHASE 1 STORAGE

PROPOSED STORMWATER SYSTEM DETENTION POND VOLUME

Description: Profielnorm
Reviewing Entity: City of Plainwell
Job #: 1219
Date: 1/19/2024

Elevation	Area	Incremental Volume	Total Volume
(ft)	(sf)	(cf)	(cf)
723	7780	0.0	0.0
724	11798	9789.0	9789.0
725	15998	13898.0	23687.0
726	20331	18164.5	41851.5
727	24797	22564.0	64415.5
728	29394	27095.5	91511.0
729	34122	31758.0	123269.0
729.5	36452	17643.5	140912.5

> 105,535 (cf) Required

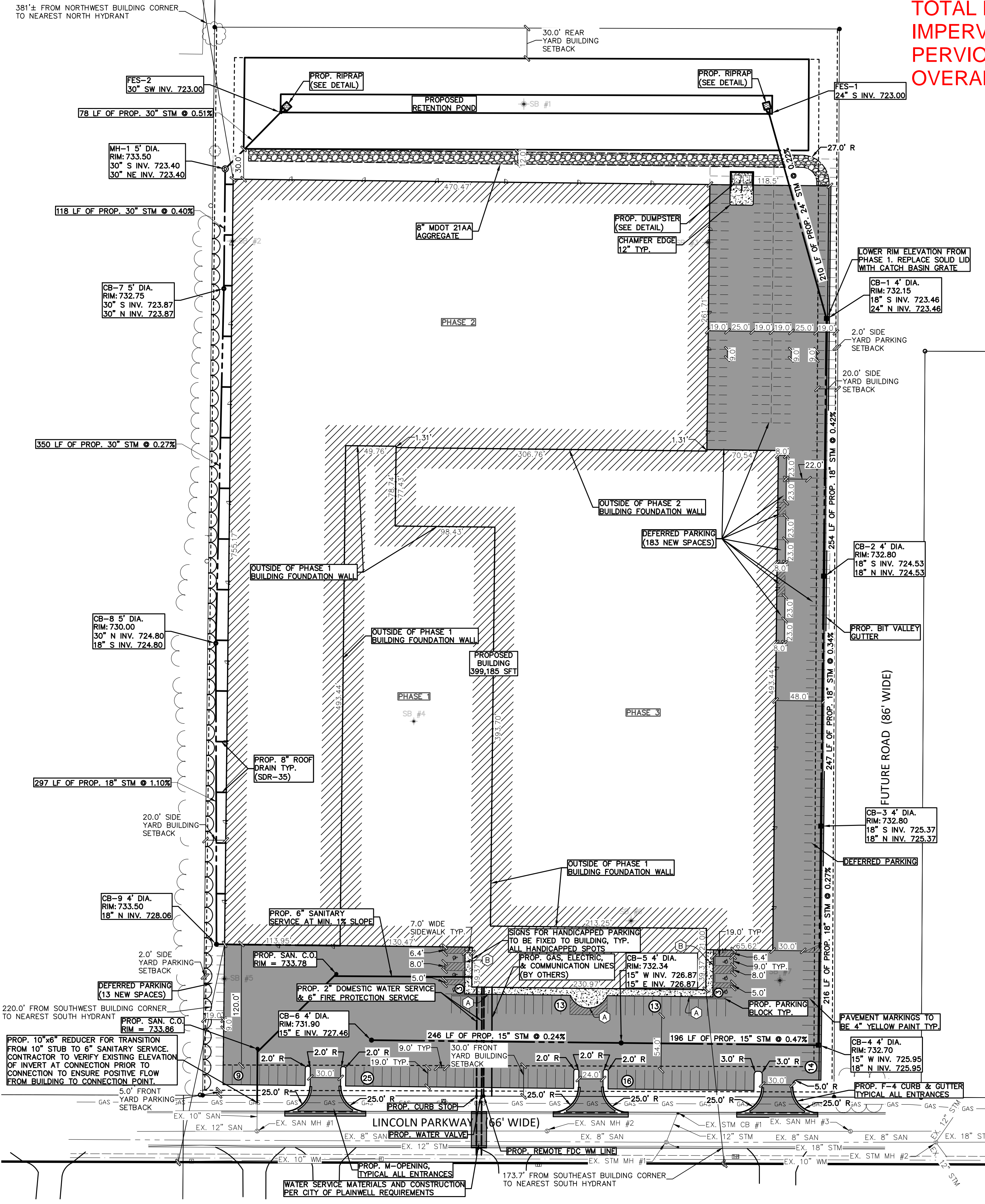
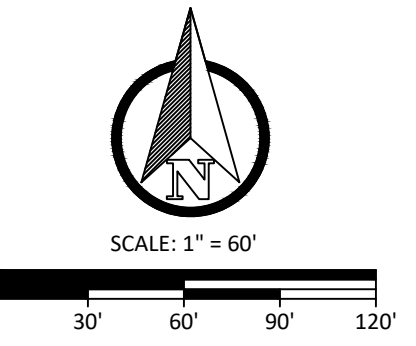
PHASE 1 STORAGE

Overflow = 729.5

Required Storage = 105,535 CF

Provided Storage = 140,912 CF

OVERALL LOT AREA = 15.00 ACRES
TOTAL IMPERVIOUS AREA = 12.10 ACRES
TOTAL PERVIOUS AREA = 2.90 ACRES
IMPERVIOUS C VALUE = 0.98 (PER ALLEGAN CO DRAIN COMMISSION)
PERVIOUS C VALUE = 0.20 (PER ALLEGAN CO DRAIN COMMISSION)
OVERALL SITE C VALUE = 0.83



SOIL (12/14/2023)
 ELEVATION = 733
 0-1": TOPSOIL
 1'-4": SAND, VERY LOOSE TO MEDIUM DENSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
 4'-20": SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
 GROUNDWATER ENCOUNTERED AT 18.5'

SB #2 (12/14/2023)
 ELEVATION = 735
 0-10": TOPSOIL
 10'-14": SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
 14'-18.5": SAND & GRAVEL, VERY LOOSE, BROWN, FINE TO COARSE GRAINED, MOIST
 18.5'-20": SAND, MEDIUM DENSE, BROWN, FINE GRAINED, WET
 GROUNDWATER ENCOUNTERED AT 18.5'

SB #3 (12/14/2023)
 ELEVATION = 734
 0-9": TOPSOIL
 9'-6": SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, TRACE GRAVEL, MOIST
 6'-20": SAND & GRAVEL, MEDIUM DENSE TO DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
 GROUNDWATER ENCOUNTERED AT 18.5'

SB #4 (12/14/2023)
 ELEVATION = 733
 0-7": TOPSOIL
 7'-5": SAND, VERY LOOSE TO LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
 5'-20": SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
 GROUNDWATER ENCOUNTERED AT 14'

SB #5 (12/14/2023)
 ELEVATION = 737
 0-7": TOPSOIL
 7'-5": SAND, VERY LOOSE TO LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
 5'-20": SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
 GROUNDWATER ENCOUNTERED AT 18.5'

SB #6 (12/14/2023)
 ELEVATION = 735
 0-7": TOPSOIL
 7'-3.5": SAND, VERY LOOSE, BROWN, FINE GRAINED, TRACE SILT, MOIST
 3.5'-20": SAND & GRAVEL, LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
 GROUNDWATER ENCOUNTERED AT 18.5'

SB #7 (12/14/2023)
 ELEVATION = 737
 0-7": TOPSOIL
 7'-2": CLAYEY SAND, LOOSE, BROWN, FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST
 2'-20": SAND & GRAVEL, VERY LOOSE TO MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, MOIST TO WET
 NO GROUNDWATER ENCOUNTERED

STRUCTURE NAME:	DETAILS:
EX. SAN MH #1	RIM = 735.41 8" E INV. 725.61 12" W INV. 725.21 10" N INV. 725.51
EX. SAN MH #2	RIM = 734.06 8" E INV. 727.61 8" W INV. 727.56
EX. SAN MH #3	RIM = 734.99 8" E INV. 728.99 8" W INV. 728.99
EX. STM CB #1	RIM = 733.01 12" SW INV. 730.37
EX. STM MH #1	RIM = 733.25 27/30" W INV. 729.08 12" NE INV. 730.18 18" E INV. 729.28 12" W INV. 729.68
EX. STM MH #2	RIM = 735.83 18" W INV. 730.64 12" NE INV. 730.94 18" E INV. 730.84 12" SE INV. 730.84

SYMBOL LEGEND

- EXISTING TREE
- TREE STUMP
- BOLLARD
- LIGHT POLE
- POWER POLE
- CLEANOUT
- SANITARY SEWER MANHOLE
- STORM CATCH BASIN
- STORM MANHOLE
- STORM FLARED END SECTION
- STORM CULVERT
- SIGN
- HYDRANT
- VALVE
- MAILBOX
- FLOW DIRECTION ARROW
- COMMUNICATION STRUCTURE
- ELECTRICAL
- SECTION CORNER
- PROPERTY CORNER - SET
- PROPERTY CORNER - FOUND
- BENCHMARK/CONTROL POINT
- SOIL BORING
- WELL

LINE AND HATCH LEGEND

- LANDSCAPING
- EXISTING OVERHEAD ELECTRIC
- PROPOSED OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING GAS
- PROPOSED GAS
- EXISTING COMMUNICATIONS
- PROPOSED COMMUNICATIONS
- EXISTING FENCE
- PROPOSED FENCE
- RIGHT OF WAY
- EASEMENT
- SETBACK
- EXISTING GRAVEL
- PROPOSED GRAVEL
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING FORCEMAIN
- PROPOSED FORCEMAIN
- EXISTING WATERMAIN
- PROPOSED WATERMAIN
- EXISTING HOT MIXED ASPHALT
- PROPOSED HOT MIXED ASPHALT
- EXISTING GRAVEL
- PROPOSED GRAVEL
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING DRAIN

- SITE LAYOUT NOTES:**
- ALL WORK SHALL BE DONE TO ALL FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS.
 - ALL WORK WITHIN ROW SHALL BE DONE IN ACCORDANCE WITH LOCAL ROADWAY JURISDICTION REQUIREMENTS.
 - CONTRACTOR SHALL RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE, AND OTHER INFRASTRUCTURE DISTURBED OR DAMAGED DUE TO CONSTRUCTION ACTIVITIES TO MATCH EXISTING CONDITIONS.
 - ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY OWNER.
 - THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST.
 - CONTRACTOR SHALL CONTACT MISS DIG THREE WORKING DAYS BEFORE YOU DIG. CALL MISS DIG AT 1-800-482-7171 OR 811.
 - ALL WORK SHALL BE DONE TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
 - ADA PARKING SPACES SHALL BE MARKED WITH APPROVED PAVEMENT SYMBOL. MARK ADA SPACES WITH 4" BLUE PAINT AND SIGNS PER MMUTCD.
 - CONTRACTOR SHALL ENSURE ALL ADA RAMPS AND ACCESS MEET CURRENT ADA STANDARDS. IF IT IS DISCOVERED THAT ANY ITEMS WILL NOT MEET ADA STANDARDS IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
 - ALL SIGNAGE SHALL BE PER MDT AND MMUTCD STANDARDS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, DEMOLITION PERMITS, TAP FEES, ASSESSMENTS, UTILITY PERMITS, ROW PERMITS, BONDS, INSURANCE, OR OTHER FEES ASSOCIATED WITH CONSTRUCTION.
 - SITE CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF A MINIMUM 4000 PSI AND SHALL HAVE LIMESTONE AGGREGATE AND SHALL HAVE A 5.5%-8% AIR ENTRAINMENT WITH A BROOM FINISH.
 - INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE CONCRETE ABUTS HMA PAVEMENT.
 - CONTRACTOR SHALL REVIEW THE GEOTECHNICAL AND ENVIRONMENTAL REPORTS FOR THE SITE AND INCORPORATE INTO THEIR CONSTRUCTION MEANS AND METHODS.
 - THESE PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC FIELD SURVEY LAYOUT. DIMENSIONS SHOWN ARE FOR GRAPHIC PRESENTATION ONLY AND SHOULD NOT BE USED FOR LAYOUT. CONTACT THE ENGINEER IF ANY DISCREPANCIES BETWEEN THE PLAN AND ELECTRONIC DATA ARE DISCOVERED.
 - THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS.
 - THE CONTRACTOR SHALL PROTECT LOCATION OF ALL PROPERTY MARKERS AND BENCHMARKS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL SIGNS, BARRICADES, AND SAFETY FENCES TO DETER PEOPLE FROM ENTERING THE WORK AREA AND FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROL SHALL BE COORDINATED WITH THE LOCAL POLICE DEPARTMENT AND MUNICIPALITY.
 - PRIOR TO CONSTRUCTION OR GRADING A PROTECTIVE BARRIER, FENCE, POST, AND SIGNS CLEARLY INDICATING LIMITS OF DISTURBANCE SHALL BE INSTALLED INDICATING NO TREE REMOVAL OR DISTURBANCES OUTSIDE LIMITS.
 - NO PARKING OF CONTRACTOR OR SUBCONTRACTORS SHALL BE ALLOWED ON PUBLIC STREETS WITHOUT PRIOR APPROVAL.
 - NO BUILDING MATERIAL, EQUIPMENT, VEHICLES, OR CHEMICALS SHALL BE STORED OR PLACED OUTSIDE OF THE LIMITS OF DISTURBANCE.
 - CONSTRUCTION NOISE SHALL BE KEPT TO A MINIMUM DURING NIGHTTIME HOURS AND MUST COMPLY WITH LOCAL MUNICIPAL ORDINANCES.
 - ALL VERTICAL FACE OF CURBS SHALL BE PAINTED YELLOW WHEN BETWEEN 0 AND 6 INCHES TALL.

- PROJECT SITE INFORMATION:**
- PARCEL ADDRESS 830 MILLER RD
 - PARCEL NUMBER PART OF 08-020-056-00
 - TOTAL ACREAGE 15.00 ACRES
 - ZONING INDUSTRIAL
 - FLOODPLAIN - THIS PROJECT NOT IN THE 100 YEAR FLOOD PLAIN, BASED ON THE FEMA NATIONAL FLOOD MAPS.
 - ADJACENT ZONING - NORTH INDUSTRIAL, EAST INDUSTRIAL, SOUTH INDUSTRIAL, WEST INDUSTRIAL
 - BUILDING SETBACKS - FRONT 30 FEET, SIDES 20 FEET, REAR 30 FEET
 - PARKING SETBACKS - FRONT 5 FEET, SIDES 2 FEET, REAR 0 FEET
 - BUILDING HEIGHT MAXIMUM 50 FEET, BUILDING HEIGHT PROPOSED 35 FEET
 - MAXIMUM LOT COVERAGE 65%. LOT COVERAGE PROPOSED 61.1%
 - MINIMUM LANDSCAPING COVERAGE REQUIRED 15%. LANDSCAPING COVERAGE PROVIDED 18.9%
 - SIGNAGE, LIGHTING, AND LANDSCAPING SHALL MEET MUNICIPAL REQUIREMENTS.
 - PARKING CALCULATION
 - OFFICE: 1 SPACE PER 350 SF = 39 SPACES
 - MANUFACTURING: 1 SPACE PER 650 SF = 89 SPACES
 - WAREHOUSING: 1 SPACE PER 2,000 SF = 164 SPACES
 - TOTAL REQUIRED = 292 SPACES
 - PROPOSED PROVIDED = 96 SPACES - 90 EMPLOYEES AND 6 CUSTOMER
 - DEFERRED SPACES = 196 SPACES
 - TOTAL PROVIDED = 292 SPACES

- UTILITY PLAN NOTES:**
- CONTRACTOR SHALL CONTACT PRIVATE AND PUBLIC UTILITY COMPANIES IF ANY COORDINATION IS NEEDED BETWEEN PROPOSED WORK AND EXISTING UTILITIES.
 - UTILITIES SHOWN (IF ANY) ARE APPROXIMATE LOCATIONS DERIVED FROM MEASUREMENTS OR AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITY INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION, AND CONDITION.
 - ALL WATERMAIN TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL WATER UTILITY STANDARDS AND EGE STANDARDS.
 - ALL SANITARY SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL SANITARY SEWER UTILITY STANDARDS AND EGE STANDARDS.
 - ALL 8" UNDERDRAIN TO BE CORRUGATED PLASTIC PIPE WITH SOCK, ADS N-12 OR APPROVED EQUAL.
 - ALL STORM SEWER SHALL BE SMOOTH LINED CORRUGATED PLASTIC PIPE, ADS N-12 OR EQUAL, UNLESS OTHERWISE LABELED ON THE PLANS.
 - ALL 8" UNDERDRAIN TO BE CORRUGATED PLASTIC PIPE WITH SOCK, ADS N-12 OR APPROVED EQUAL. ALL EXISTING CASTINGS FOR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REPLACED.
 - ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
 - CATCH BASINS WITHIN CONCRETE HEAD CURB SHALL HAVE EJ 7045 CASTINGS.
 - CATCH BASINS WITHIN BIT VALLEY CURB SHALL HAVE EJ 7065 CASTINGS WITH M1 GRATE.
 - CATCH BASINS WITHIN PAVED AREAS SHALL HAVE EJ 1020M1 RADIAL FLATE GRATE CASTINGS.
 - STORM SEWER MANHOLES SHALL HAVE EJ 1020 CASTINGS WITH SOLID COVERS.
 - STORM SEWER YARD DRAINS SHALL HAVE EJ 6508 CASTINGS.
 - ROOF DRAINS SHALL BE PVC SOAK-40.
 - CONTRACTOR IS TO UNCOVER AND VERIFY ALL TAP LOCATIONS AND INVERTS. LOCATION AND INVERT DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION FOR RESOLUTION PRIOR TO CONTINUING WORK.
 - SANITARY AND STORM STRUCTURES SHALL BE PRECAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT.
 - THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.

PLAN NOTES:

- A. 6" THICKENED EDGE SIDEWALK (SEE DETAIL C500)
- B. BARRIER FREE RAMP FLUSH WITH PAVEMENT

NO.	DATE	REVISION	BY
1	12/14/2023	PRELIMINARY PLAN	NEF
2	12/20/2023	PRELIMINARY PLAN	MDS
3	12/21/2023	PRELIMINARY PLAN	GPW
4	1/16/2024	CLIENT REVIEW SET	CJW
5	1/19/2024	SITE PLAN SUBMITTAL	CIW

CITY OF PLAINWELL
 ALLEGAN COUNTY, MICHIGAN
PROFIENORM USA
 SITE AND UTILITY PLAN



Byron Center, MI
 (616) 277-2185
 Kalamazoo, MI
 (269) 697-7120
 www.VKcivil.com

FILE NO.	1219
CHECKED	DGL
Sheet No.	C300



NOTE:
 ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE THE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

OVERALL SITE STORAGE

STORM STORAGE VOLUME RATIONAL METHOD

Job Information

Description: Profielnorm
Reviewing Entity: City of Plainwell
Job #: 1219
Date: 1/19/2024

Design Parameter:	Retention
Design Storm:	100-yr
Proposed Inflow Runoff Coefficient:	0.83
Inflow Drainage Area (ac):	15.00
Allowable Release Rate (cfs):	1.722

Infiltration	
Bottom Area	24800 sft
Infiltration Rate	3 in/hr
Release Rate	1.722 cfs

Detention Volume Required: 209,607 cft

Storm Duration		Intensity (in./hr)	Inflow Rate (cfs)	Outflow Rate (cfs)	Required Storage (cft)
(min)	(hr)				
5	0.08	10.40	129.48	1.722	38646.7
10	0.17	7.62	94.87	1.722	56353.8
15	0.25	6.83	85.00	1.722	75576.7
20	0.33	6.04	75.14	1.722	88830.4
25	0.42	5.24	65.27	1.722	96114.7
30	0.50	4.45	55.40	1.722	97429.7
35	0.58	4.22	52.50	1.722	107516.7
40	0.67	3.98	49.59	1.722	115846.1
45	0.75	3.75	46.69	1.722	122418.0
50	0.83	3.52	43.78	1.722	127232.3
55	0.92	3.28	40.88	1.722	130289.2
60	1.00	3.05	37.97	1.722	131588.5
65	1.08	2.96	36.82	1.722	138025.5
70	1.17	2.87	35.67	1.722	143765.7
75	1.25	2.77	34.52	1.722	148809.1
80	1.33	2.68	33.37	1.722	153155.9
85	1.42	2.59	32.21	1.722	156805.9
90	1.50	2.50	31.06	1.722	159759.2
95	1.58	2.40	29.91	1.722	162015.7
100	1.67	2.31	28.76	1.722	163575.5
105	1.75	2.22	27.61	1.722	164438.6
110	1.83	2.13	26.46	1.722	164605.0
115	1.92	2.03	25.30	1.722	164074.6
120	2.00	1.94	24.15	1.722	162847.4
125	2.08	1.90	23.67	1.722	165945.1
130	2.17	1.86	23.18	1.722	168747.7
135	2.25	1.82	22.69	1.722	171255.3
140	2.33	1.78	22.20	1.722	173468.0
145	2.42	1.74	21.71	1.722	175385.5
150	2.50	1.71	21.23	1.722	177008.1
155	2.58	1.67	20.74	1.722	178335.7
160	2.67	1.63	20.25	1.722	179368.2
165	2.75	1.59	19.76	1.722	180105.8
170	2.83	1.55	19.28	1.722	180548.3
175	2.92	1.51	18.79	1.722	180695.8
180	3.00	1.47	18.30	1.722	180548.3
185	3.08	1.45	18.09	1.722	183206.3
190	3.17	1.44	17.88	1.722	185736.8
195	3.25	1.42	17.67	1.722	188139.9
200	3.33	1.40	17.46	1.722	190415.6
205	3.42	1.39	17.25	1.722	192563.9
210	3.50	1.37	17.04	1.722	194584.7
215	3.58	1.35	16.83	1.722	196478.2
220	3.67	1.33	16.62	1.722	198244.2
225	3.75	1.32	16.41	1.722	199882.8
230	3.83	1.30	16.20	1.722	201393.9

235	3.92	1.28	15.98	1.722	202777.7
240	4.00	1.27	15.77	1.722	204034.0
245	4.08	1.25	15.56	1.722	205162.9
250	4.17	1.23	15.35	1.722	206164.4
255	4.25	1.22	15.14	1.722	207038.4
260	4.33	1.20	14.93	1.722	207785.1
265	4.42	1.18	14.72	1.722	208404.3
270	4.50	1.17	14.51	1.722	208896.1
275	4.58	1.15	14.30	1.722	209260.5
280	4.67	1.13	14.09	1.722	209497.5
285	4.75	1.11	13.88	1.722	209607.0
290	4.83	1.10	13.67	1.722	209589.1
295	4.92	1.08	13.46	1.722	209443.8
300	5.00	1.06	13.25	1.722	209171.1
305	5.08	1.05	13.04	1.722	208770.9
310	5.17	1.03	12.83	1.722	208243.4
315	5.25	1.01	12.61	1.722	207588.4
320	5.33	1.00	12.40	1.722	206806.0
325	5.42	0.98	12.19	1.722	205896.2
330	5.50	0.96	11.98	1.722	204858.9
335	5.58	0.95	11.77	1.722	203694.3
340	5.67	0.93	11.56	1.722	202402.2
345	5.75	0.91	11.35	1.722	200982.7
350	5.83	0.89	11.14	1.722	199435.7
355	5.92	0.88	10.93	1.722	197761.4
360	6.00	0.86	10.72	1.722	195959.6
720	12.00	0.46	5.76	1.722	176075.1
1440	24.00	0.25	3.14	1.722	123290.3

OVERALL SITE STORAGE

PROPOSED STORMWATER SYSTEM DETENTION POND VOLUME

Job Information

Description: Profielnorm
Reviewing Entity: City of Plainwell
Job #: 1219
Date: 1/19/2024

Elevation	Area	Incremental Volume	Total Volume
(ft)	(sf)	(cf)	(cf)
723	7780	0.0	0.0
724	11798	9789.0	9789.0
725	15998	13898.0	23687.0
726	20331	18164.5	41851.5
727	24797	22564.0	64415.5
728	29394	27095.5	91511.0
729	34122	31758.0	123269.0
730	38982	36552.0	159821.0
731	43973	41477.5	201298.5
731.2	44981	8895.4	210193.9

> 209,607 (cf) Required

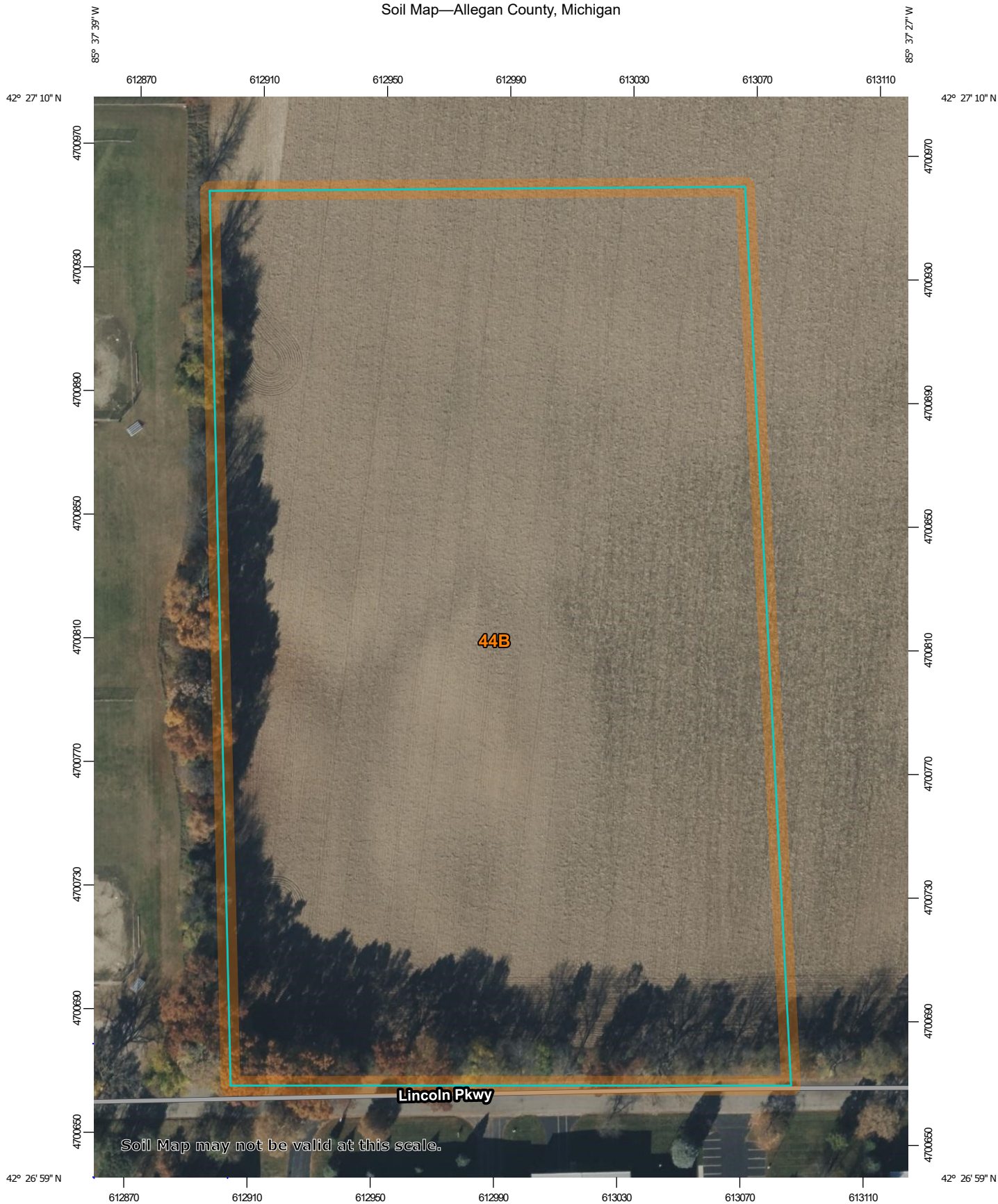
OVERALL SITE STORAGE

Overflow = 731.2

Required Storage = 209,607 CF

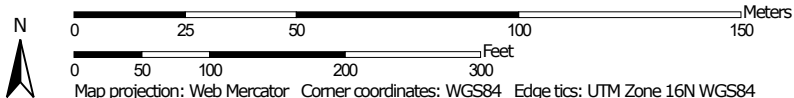
Provided Storage = 210,194 CF

Soil Map—Allegan County, Michigan



Soil Map may not be valid at this scale.

Map Scale: 1:1,700 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 16N WGS84




MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Allegan County, Michigan

Survey Area Data: Version 21, Aug 24, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 4, 2022—Nov 7, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
44B	Chelsea loamy fine sand, 0 to 6 percent slopes	12.8	100.0%
Totals for Area of Interest		12.8	100.0%

Allegan County, Michigan

44B—Chelsea loamy fine sand, 0 to 6 percent slopes

Map Unit Setting

National map unit symbol: 2zc58

Elevation: 590 to 900 feet

Mean annual precipitation: 30 to 41 inches

Mean annual air temperature: 43 to 52 degrees F

Frost-free period: 140 to 230 days

Farmland classification: Not prime farmland

Map Unit Composition

Chelsea and similar soils: 87 percent

Minor components: 13 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Chelsea

Setting

Landform: Moraines, outwash plains

Landform position (two-dimensional): Summit, shoulder, backslope

Landform position (three-dimensional): Interfluve, head slope, nose slope, side slope

Down-slope shape: Convex, linear

Across-slope shape: Linear

Parent material: Sandy drift

Typical profile

Ap - 0 to 9 inches: loamy fine sand

E - 9 to 29 inches: fine sand

E and Bt - 29 to 80 inches: fine sand

Properties and qualities

Slope: 0 to 6 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Excessively drained

Runoff class: Very low

Capacity of the most limiting layer to transmit water

(Ksat): Moderately high to high (1.42 to 14.17 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)

Sodium adsorption ratio, maximum: 1.5

Available water supply, 0 to 60 inches: Moderate (about 6.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 4s

Hydrologic Soil Group: A

Ecological site: F097XA004MI - Dry Sandy Lake Plain

Hydric soil rating: No

Minor Components

Metea

Percent of map unit: 8 percent

Landform: Moraines

Landform position (two-dimensional): Summit, shoulder, backslope

Landform position (three-dimensional): Interfluve, head slope, nose slope, side slope

Down-slope shape: Convex, linear

Across-slope shape: Linear

Ecological site: F097XA004MI - Dry Sandy Lake Plain

Hydric soil rating: No

Thetford

Percent of map unit: 3 percent

Landform: Moraines, outwash plains

Landform position (two-dimensional): Footslope, toeslope

Landform position (three-dimensional): Base slope

Down-slope shape: Concave, linear

Across-slope shape: Linear

Ecological site: F097XA012MI - Moist Sandy Depression

Hydric soil rating: No

Oshtemo

Percent of map unit: 2 percent

Landform: Outwash plains, moraines

Landform position (two-dimensional): Summit, shoulder, backslope

Landform position (three-dimensional): Interfluve, head slope, nose slope, side slope

Down-slope shape: Convex, linear

Across-slope shape: Linear

Ecological site: F097XA018MI - Dry Loamy Drift Plains

Hydric soil rating: No

Data Source Information

Soil Survey Area: Allegan County, Michigan

Survey Area Data: Version 21, Aug 24, 2023

PROPOSED STORM SEWER SYSTEM
STORM SEWER DESIGN TABLE - RATIONAL METHOD

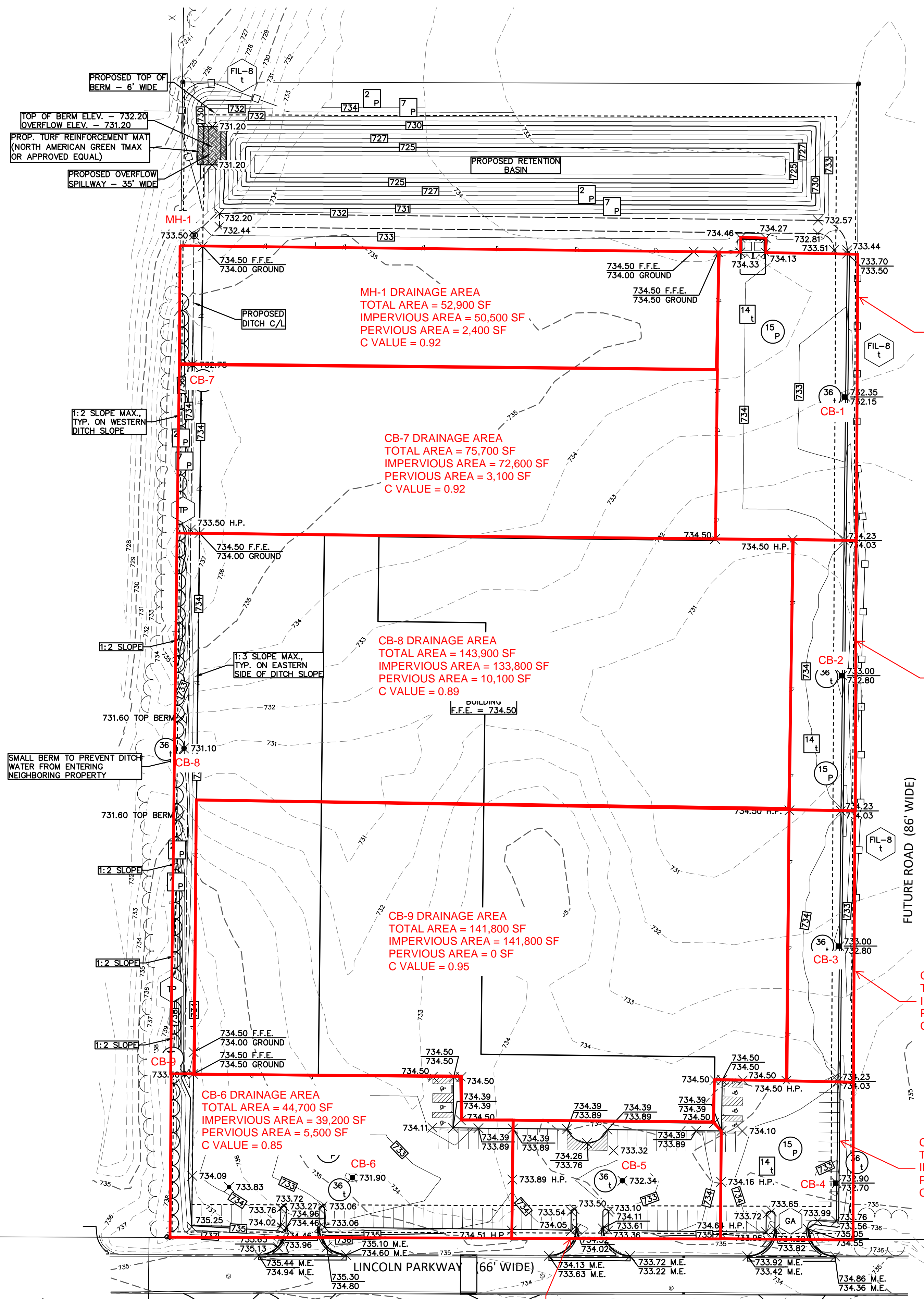
Job Information

Description: Profielnorm
 Reviewing Entity: City of Plainwell
 Job #: 1219
 Date: 01/19/24

Design Parameters	
Design Storm:	10-yr

STR.	TO STR.	LENGTH (ft)	PIPE MATERIAL	FLOW			cA INLET	INLET CUM. cA	CASTING Tc (min)	TO INLET Tcum (min)	I INLET (in/hr)	REQUIRED PIPE CAPACITY (CFS)	PIPE DIAMETE R (Inches)	PIPE SLOPE (%)	MANNING'S N	PROVIDED PIPE CAPACITY (cfs)
				c	AREA (sft)	AREA (acres)										
CB-6	CB-5	246	HDPE	0.85	44,700	1.03	0.87	0.87	20	20.00	3.84	3.36	15	0.24	0.012	3.43
CB-5	CB-4	195	HDPE	0.90	20,300	0.47	0.42	1.29	20	21.47	3.69	4.77	15	0.47	0.012	4.80
CB-4	CB-3	216	HDPE	0.81	17,700	0.41	0.33	1.62	20	22.30	3.61	5.85	18	0.27	0.012	5.91
CB-3	CB-2	247	HDPE	0.78	15,000	0.34	0.27	1.89	20	23.37	3.50	6.62	18	0.34	0.012	6.64
CB-2	CB-1	254	HDPE	0.80	14,600	0.34	0.27	2.16	20	24.47	3.38	7.32	18	0.42	0.012	7.37
CB-1	OUT	210	HDPE	0.89	33,700	0.77	0.69	2.85	20	25.49	3.28	9.36	24	0.22	0.012	11.50
CB-9	CB-8	297	HDPE	0.95	141,800	3.26	3.09	3.09	20	20.00	3.84	11.88	18	1.10	0.012	11.94
CB-8	CB-7	350	HDPE	0.89	143,900	3.30	2.95	6.05	20	20.73	3.77	22.77	30	0.27	0.012	22.87
CB-7	MH-1	118	HDPE	0.92	75,700	1.74	1.59	7.64	20	21.98	3.64	27.80	30	0.40	0.012	28.10
MH-1	OUT	78	HDPE	0.92	52,900	1.21	1.11	8.75	20	22.33	3.60	31.53	30	0.51	0.012	31.73

Cumulative 0.90 560300 12.86



- GRADING PLAN NOTES:**
- SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN AND FREEZING. SURFACE RUN-OFF WATER SHOULD BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO POND. IF POSSIBLE, ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHOULD BE ADEQUATELY PROTECTED.
 - REMOVE ALL SUBGRADE MATERIAL THAT MAY BE SOFTENED BY RAINS, FREEZING, OR CONSTRUCTION TRAFFIC, ETC. AND REPLACE WITH COMPACTED GRANULAR FILL.
 - ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH MDOOT-EGLE. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE COUNTY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM EGLE IF APPLICABLE, PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE COUNTY "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUESTED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTORS RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
 - AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE COVER AREAS ACT AS SEDIMENT FILTERS.
 - ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.
 - GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSE WHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SOODING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.
 - CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF THIS OCCURS.
 - ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 20 DAYS OR LONGER MUST BE SEED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
 - ALL SOIL EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO THE START OF ANY GRADING.
 - ALL NON PAVED AREAS TO BE TOPSOILED (6" MIN.) & SEED.
 - VARIATION IN EXISTING SOIL CONDITIONS MAY IMPACT THE EARTHWORK QUANTITIES IF UNSABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION.
 - DUST CONTROL: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, AND EQUIPMENT (FLORIDE, WATER OR A MOTORIZED DUST-FREE STREET LL ROADWAYS BEING USED FOR ACCESS TO THE ADHERE TO ALL ORDINANCES OF THE TOWNSHIP, COUNTY, NT AGENCY IS DEPOSITED ON ADJACENT STREETS, ROADS OR OTHER ALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE REQUIRED DURING THE WORK DAY.
 - 14) STORMWATER POLLUTION PREVENTION ITEMS SHALL BE IN PLACE PRIOR TO COMMENCING CLEARING OPERATIONS, EARTHWORK GRADING, OR ANY OTHER TYPE OF CONSTRUCTION ACTIVITY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE SOIL EROSIONS AND SEDIMENT CONTROL PERMIT.
 - PLACE TEMPORARY EROSION CONTROL MEASURES PRIOR TO EARTH MOVING ACTIVITIES.
 - MULCH BLANKETS SHALL BE PLACED, STAPLED, AND OVERLAPPED ON ALL SLOPES THAT ARE 1 ON 3 OR GREATER AFTER.
 - CONTRACTOR TO INSTALL SILT SACK IN ALL CATCH BASINS ONCE THEY ARE CONSTRUCTED.
 - ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY A CERTIFIED STORM WATER OPERATOR AND MAINTAINED BY CONTRACTOR EVERY 7 DAYS AND AFTER EVERY SIGNIFICANT RAIN EVENT IN ACCORDANCE WITH NPDES PERMIT BY RULE REQUIREMENTS IF APPLICABLE.
 - EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED.
 - BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SILT FENCING, SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
 - ANY POND AREA LABELED AS "INFILTRATION" OR "RETENTION" SHALL BE CONSTRUCTED IN A MANNER AS TO MINIMIZE COMPACTION OF EXISTING SUBGRADE. CONTRACTOR SHALL PROTECT AREA FROM COMPACTION PRIOR TO INSTALLATION AND THROUGHOUT CONSTRUCTION. IF NECESSARY, EXCAVATE BASIN BOTTOM TO AN UNCOMPACTED SUBGRADE FREE OF ROCKS AND DEBRIS AND ENSURE A SANDY BOTTOM. DO NOT COMPACT SUBGRADE. SEED AND STABILIZE THE BASIN WITH AN MDOOT TDS SEED MIXTURE OR MEADOW MIX AS APPROVED BY THE ENGINEER.

- CONTROL MEASURE KEY**
- 7 P** SELECTIVE GRADING & SHAPING, PERMANENT
 - 14 t** HYDROSEEDING, PERMANENT. TYPICAL IN ALL NON-PAVED AREAS DISTURBED BY CONSTRUCTION ACTIVITIES
 - 15 P** AGGREGATE COVER, TEMPORARY. TYPICAL ON ALL STREETS DISTURBED BY CONSTRUCTION ACTIVITIES
 - 15 P** PAVING, PERMANENT, TYPICAL ON ALL STREETS DISTURBED BY CONSTRUCTION ACTIVITIES.
 - FIL-2 t** SEDIMENT BASIN BMP EXHIBIT 2, SEDIMENT BASIN, TEMPORARY REQUIRED FOR DE-WATERING ACTIVITIES, SEVERE SLOPES, AND LARGE DISTURBED AREAS.
 - 36 t** SILTSACK, TEMPORARY, TYPICAL AT ALL CATCH BASINS WITHIN OR DISTURBED BY CONSTRUCTION ACTIVITIES
 - 43 t** CULVERT SEDIMENT TRAP, TEMPORARY. TYPICAL AT ALL STORM OUTLETS AND STREAMS DISTURBED BY CONSTRUCTION ACTIVITIES
 - FIL-8 t** FILTER BMP EXHIBIT 8A, SILT FENCE, TEMPORARY. TYPICAL IN ALL AREAS, ESPECIALLY ADJACENT TO STREAMS, PONDS, ETC. AND ALONG PROJECT UNITS.
 - TP** TREE PROTECTION, INCLUDES TUNNELING UNDER TREES, TYPICAL FOR ALL TREES ENCOUNTERED UNLESS TREE REMOVAL IS DIRECTED BY THE ENGINEER.
 - GA** DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MIN. OF 12' WIDE, 6" DEEP, AND CONSIST OF 2"-4" AGGREGATE.

GENERAL SOIL EROSION MEASURES (APPLICABLE TO ENTIRE SITE)

LEGEND

34 t MICHIGAN UNIFIED KEYING SYSTEM (MUKS)

BEST MANAGEMENT PRACTICE (BMP)

t TEMPORARY CONTROL MEASURE (DURING CONSTRUCTION AND UNTIL PERMANENT MEASURES ARE ESTABLISHED)

P PERMANENT CONTROL MEASURE

NOTE:
SOIL EROSION AND SEDIMENTATION CONTROL MEASURES INDICATED ARE KNOWN OR ANTICIPATED CONTROL MEASURES NEEDED DURING TYPICAL CONSTRUCTION ACTIVITIES. ADDITIONAL CONTROL MEASURES MAY BE REQUIRED DUE TO CONSTRUCTION ACTIVITY, LOCATION, SOIL TYPE, WEATHER EVENT, ETC. ALL ADDITIONAL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INCIDENTAL TO THE CONSTRUCTION CONTRACT.

NOTE: C-VALUE OF 0.95 WAS USED FOR IMPERVIOUS AREAS, AND C-VALUE OF 0.15 WAS USED FOR PERVIOUS AREAS, PER THE ALLEGAN COUNTY DRAIN COMMISSION.



Know what's below.
Call before you dig.

NOTE:
ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE THE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NO.	DATE	REVISION	BY
1	12/14/2023	PRELIMINARY PLAN	NEF
2	12/20/2023	PRELIMINARY PLAN	MDS
3	12/21/2023	PRELIMINARY PLAN	GPW
4	1/16/2024	CLIENT REVIEW SET	CJW
5	1/19/2024	SITE PLAN SUBMITTAL	CJW

CITY OF PLAINWELL
ALLEGAN COUNTY, MICHIGAN
PROFILNORM USA
GRADING PLAN



Byron Center, MI (616) 277-2185
Kalamazoo, MI (269) 697-7120
www.VKcivil.com

FILE NO. 1219
CHECKED DGL
Sheet No. C400

MINUTES
Plainwell City Council
December 11, 2023

1. Mayor Keeler called the regular meeting to order at 7:00 PM in City Hall Council Chambers.
2. The invocation was given by Steve Smail of Lighthouse Baptist Church.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Keeler, Mayor Pro Tem Steele, Councilmember Overhuel and Councilmember Wisnaski.
Absent: Councilmember Keeney.
A motion by Wisnaski, seconded by Steele, to excuse Councilmember Keeney from the proceedings. On a voice vote, all voted in favor. Motion passed.
5. Approval of Minutes:
A motion by Steele, seconded by Overhuel, to accept and place on file the Council Minutes of the 11/27/2023 regular meeting. On a voice vote, all voted in favor. Motion passed.
6. Public Comment: None.
7. County Commissioner Report: None.
8. Agenda Amendments: None.
A motion by Steele, seconded by Overhuel, to approve the Agenda for the December 11, 2023 meeting as presented. On a voice vote, all voted in favor. Motion passed.
9. Mayor's Report: Mayor Keeler discussed restoration of the fountain, and thanked Superintendent Nieuwenhuis for his assistance.
10. Recommendations and Reports:
 - A. Community Development Manager Siegel discussed Ordinance 397, which has approval from the Planning Commission and updates text referring to site plan requirements.
A motion by Wisnaski, seconded by Overhuel, to adopt Ordinance 397 as presented by the Planning Commission. On a roll call vote, all voted in favor. Motion passed.
 - B. Superintendent Nieuwenhuis discussed the yearly flower program purchase.
A motion by Overhuel, seconded by Wisnaski, to approve the purchase of flowers from Zeinstra's Greenhouse for \$12,500.00. On a roll call vote, all voted in favor. Motion passed.
11. Communications:
A motion by Steele, seconded by Overhuel, to accept and place on file the November Investment and Fund Balance reports and the draft 12/06/2022 Planning Commission meeting minutes. On a voice vote, all in favor. Motion passed.
12. Accounts Payable:
A motion by Wisnaski, seconded by Steele, that the bills be allowed and orders drawn in the amount of \$253,050.28 for payment of same. On a roll call vote, all in favor. Motion passed.
13. Public Comments: None.

The City of Plainwell is an equal opportunity employer and provider

14. Staff Comments:

Finance Director Kelley reported working on updating policies and procedures, and continuing work on the budget. He stated he is working with Clerk Leonard to get ready for the February Election.

Personnel Coordinator Kersten shared she is working on year end payroll and W-2's.

Superintendent Nieuwenhuis shared that the Christmas party was great.

Community Development Manager Siegel reported that the indoor market was finished for the season and all the vendors moved out of the building. She shared that she updated EGLE on the lead abatement, and submitted PFAS sampling for the dam grant.

Superintendent Pond stated that the check valve replacement and air relief valve installations are complete at the Cushman Lift Station.

Director Callahan reported the department was currently prepping for the Shop with a Hero event.

Clerk Leonard reports working with Finance Director Kelley on ordering supplies and preparing for the upcoming Election.

Manager Lakamper reported that the Old Orchard project will be awarded at the next Council meeting. There will be an update on the development plan for the Old Mill as well. He discussed the dam project, noting the DNR is looking for alternative plans that would like all species of fish to access to the Mill Race year-round without the use of a fish ladder.

15. Council Comments:

Councilmember Overhuel was sorry to miss the Christmas party. He shared that the tree lighting ceremony had a good turnout this year, and that the downtown looks great. He noticed that the Farmer's Market appeared busy.

Councilmember Steele thanked Penny, Amanda and Jackson for their hard work at the Christmas party. She noted the food was great. She wished everyone a Merry Christmas.

Councilmember Wisnaski stated that the Christmas party was great, and the city's Christmas decorations look good.

16. Adjournment:

A motion by Steele, seconded by Overhuel, to adjourn the meeting at 7:32 PM. On a voice vote, all voted in favor. Motion passed.

Minutes respectfully
submitted by:
JoAnn Leonard
City Clerk

MINUTES APPROVED BY CITY COUNCIL
December 27, 2023


JoAnn Leonard, City Clerk

MINUTES
Plainwell City Council
December 27, 2023

1. Mayor Keeler called the regular meeting to order at 7:00 PM in City Hall Council Chambers.
2. The invocation was given by Brian Warren of Lighthouse Baptist Church.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Keeler, Mayor Pro Tem Steele, Councilmember Overhuel, Councilmember Keeney and Councilmember Wisnaski. Absent: None.
5. Approval of Minutes:
A motion by Steele, seconded by Overhuel, to accept and place on file the Council Minutes of the 12/11/2023 regular meeting. On a voice vote, all voted in favor. Motion passed.
6. Public Comment: None.
7. County Commissioner Report: Commissioner Dugan updated Council on the budget, the Allegan County Courthouse remodel, and the Allegan County Animal Shelter.
8. Agenda Amendments: None.
A motion by Steele, seconded by Overhuel, to approve the Agenda for the December 27, 2023 meeting as presented. On a voice vote, all voted in favor. Motion passed.
9. Mayor's Report: Mayor Keeler hoped everyone had a nice Christmas, and wished everyone a Happy New Year.
10. Recommendations and Reports:
 - A. Several board members' terms end on December 31, 2023. Clerk Leonard confirmed with each candidate their willingness to serve another term. Appointments are made by the Mayor, and subject to confirmation from Council.
A motion by Overhuel, seconded by Wisnaski, confirming the Mayor's reappointment of several community members to various boards and commissions. On a roll call vote, all voted in favor. Motion passed.
 - B. City Manager Lakamper and Finance Director Kelley discussed the Old Orchard Project Bid. Information was provided on the three bids received, the properties and area affected, and ways to fund the project.
A motion by Keeney, seconded by Wisnaski, to award the Old Orchard Project Bid to USA Earthworks LLC for a total cost of \$3,130,358.00 contingent upon the successful sale of general obligation bonds. On a roll call vote, all voted in favor. Motion passed.
 - C. Clerk Leonard discussed Resolutions 2024-01 through 2024-04. These annual Resolutions are updated at the end of each year.
A motion by Steele, seconded by Overhuel, to adopt Resolutions 2024-01 through 2024-04 as presented. On a roll call vote, all voted in favor. Motion passed.

11. Communications:

A motion by Steele, seconded by Overhuel, to accept and place on file the November 2023 DPS and WR reports, the 12/12/2022 DDA/BRA/TIFA meeting minutes and the draft 12/14/23 Parks & Trees meeting minutes. On a voice vote, all in favor. Motion passed.

12. Accounts Payable:

A motion by Keeney, seconded by Wisnaski, that the bills be allowed and orders drawn in the amount of \$345,630.37 for payment of same. On a roll call vote, all in favor. Motion passed.

13. Public Comments: None.

14. Staff Comments:

Finance Director Kelley reported continuing to work on the budget. He thanked Commissioner Dugan for his updates.

Personnel Coordinator Kersten had nothing to report.

Superintendent Nieuwenhuis stated that the Christmas lights looked great this year, and will be taken down after the New Year.

Clerk Leonard shared that many of the election supplies that were ordered have arrived. She stated that she has three new Election Inspectors heading to training. Applications for Absentee Voters are ready and will be mailed this week.

Manager Lakamper reported that the fire inspection for the Crispe property will be performed by the State, and should answer any questions that remain about the sale of the building. He stated that he has received the Restrictive Covenant for the Old Mill property.

15. Council Comments:

Councilmember Overhuel wished everyone a Happy New Year.

Councilmember Steele thanked DPW for the holiday decorations, with special thanks for the frog display.

Councilmember Keeney wished everyone a Happy New Year.

16. Adjournment:

A motion by Steele, seconded by Overhuel, to adjourn the meeting at 7:42 PM. On a voice vote, all voted in favor. Motion passed.

Minutes respectfully
submitted by:
JoAnn Leonard
City Clerk

MINUTES APPROVED BY CITY COUNCIL
January 08, 2024



JoAnn Leonard, City Clerk

MINUTES
Plainwell City Council
January 8, 2024

1. Mayor Keeler called the regular meeting to order at 7:00 PM in City Hall Council Chambers.
2. The invocation was given by Scott Fenner of Lighthouse Baptist Church.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Keeler, Mayor Pro Tem Steele, Councilmember Overhuel, Councilmember Keeney and Councilmember Wisnaski. Absent: None.
5. Approval of Minutes:
A motion by Steele, seconded by Overhuel, to accept and place on file the Council Minutes of the 12/27/2023 regular meeting. On a voice vote, all voted in favor. Motion passed.
6. Public Comment: None.
7. County Commissioner Report: None.
8. **A motion by Steele, seconded by Overhuel, to approve the Agenda for the January 08, 2024 meeting as presented. On a voice vote, all voted in favor. Motion passed.**
9. Mayor's Report: None.
10. Recommendations and Reports:
 - A. Superintendent Pond discussed upgrading the lighting at the Water Renewal Plant Buildings. This upgrade comes with a \$2,362.29 rebate from Consumers Energy, and has a 3-year return on investment in which the energy savings will total the cost of the upgrade.
A motion by Keeney, seconded by Wisnaski, to approve the contract with Michigan Energy Solutions for removal of the remaining fluorescent bulbs and to replace them with L.E.D. lighting for \$6,324.35. On a roll call vote, all in favor. Motion passed.
 - B. Superintendent Pond discussed preventative maintenance and repair for seven Rotork Actuators. These valves were installed in 2005 and have had maintenance work in the past. On-site service cost is approximately \$1,100.00 per valve, covering repair and preventative maintenance. The cost of a full rebuild is approximately \$3,500.00. This quote was provided by a sole source contractor.
A motion by Overhuel, seconded by Keeney, to approve the contract with System Specialties for maintenance and repair of seven Rotork valves for \$7,941.00. On a roll call vote, all in favor. Motion passed.
 - C. Superintendent Pond discussed repair work on the West Clarifier Scum Arm. The Arm was damaged when a fire hose fell in the tank during cleaning. The tank is a backup to the East tank, and will be operable after repairs are made.
A motion by Keeney, seconded by Steele, to approve the contract with W Soule to remove the scum and center well arms and to fabricate and install new arms for \$6,562.00. On a roll call vote, all in favor. Motion passed.

D. Director Callahan discussed the sale of forfeited and seized firearm inventory. Proceeds from the sale of these firearms will go toward the purchase of Glock 45 9mm pistols with red dot sights, replacing the Sig Sauer P320 pistols currently in use by the department.

A motion by Wisnaski, seconded by Keeney, authorizing the Department of Public Safety to sell forfeited and seized weapon inventory, as well department issued Sig Sauer P320 firearms. On a roll call vote, all in favor. Motion passed.

11. New Business:

City Manager Lakamper discussed creating an Old Orchard Special Assessment District. There are 54 homes and 2 vacant lots that would be part of this assessment. The creation of a Special Assessment District would allow the City to assess each of the 56 affected parcels a portion of the cost of upgrading to City Sewer. After discussion, Council decided to proceed with the Special Assessment District.

12. Communications:

A. **A motion by Steele, seconded by Overhuel, to accept and place on file the December 2023 Investment and Fund Balance reports. On a voice vote, all voted in favor. Motion passed.**

13. Accounts Payable:

A motion by Keeney, seconded by Wisnaski, that the bills be allowed and orders drawn in the amount of \$1,036,697.46 for payment of same. On a roll call vote, all voted in favor. Motion passed.

14. Public Comments: None.

15. Staff Comments:

Treasurer/Finance Director Kelley reported working on the budget & policies.

Community Development Manager Siegel reported that the ribbon cutting for MI Grounds went well, and that there was an article in the paper about the business as well.

Manager Lakamper shared that RFQ's are due Friday. An environmental attorney is going over the paperwork.

16. Council Comments: None.

17. Adjournment:

A motion by Steele, seconded by Wisnaski, to adjourn the meeting at 7:29 PM. On a voice vote, all voted in favor. Motion passed.

Minutes respectfully
Submitted by,
JoAnn Leonard
City Clerk

MINUTES APPROVED BY CITY COUNCIL
January 22, 2024


JoAnn Leonard, City Clerk

MINUTES
Plainwell City Council
January 22, 2024

1. Mayor Keeler called the regular meeting to order at 7:00 PM in City Hall Council Chambers.
2. The invocation was given by Dan Martin from Lighthouse Baptist Church.
3. Pledge of Allegiance was given by all present.
4. Roll Call: Present: Mayor Keeler, Mayor Pro Tem Steele, Councilmember Overhuel, Councilmember Keeney and Councilmember Wisnaski. Absent: None.
5. Approval of Minutes:
A motion by Steele, seconded by Overhuel, to accept and place on file the Council Minutes of the 01/08/2024 regular meeting. On a voice vote, all voted in favor. Motion passed.
6. Public Comment: None.
7. County Commissioner Report: Commissioner Dugan reported on 2 meetings he had attended this month and provided information on the public health board. He shared that the budget has been approved.
8. Agenda Amendments: None.
A motion by Steele, seconded by Overhuel, to approve the Agenda for the January 22, 2024 meeting as presented. On a voice vote, all voted in favor. Motion passed.
9. Mayor's Report: None.
10. Recommendations and Reports:
 - A. Finance Director Kelley discussed Resolution 2024-05, which allows general obligation bonds to be issued to finance a portion of the Old Orchard Project.
A motion by Keeney, seconded by Wisnaski, to adopt Resolution 2024-05 authorizing the issuance of General Obligation Limited Bonds in an amount not to exceed \$2,800,000.00 for the Old Orchard Water/Sewer/Street Project. On a roll call vote, all voted in favor. Motion passed.
 - B. Finance Director Kelley discussed the creation of Special Assessment District 24-01 in the Old Orchard. Creation of this district would allow the City to assess the properties benefitted by the project a portion of the cost of improvement, and help fund debt service requirements in the future to minimize the impact of rate increases incurred by all utility users.
A motion by Keeney, seconded by Wisnaski, to approve Resolution 2024-06 (Resolution No. 1) to prepare preliminary plans and specifications describing the Old Orchard Sanitary Sewer Special Assessment District 24-01. On a roll call vote, all voted in favor. Motion passed.
 - C. Finance Director Kelley discussed retaining Siegfried Crandall PC as the City's independent auditors.
A motion by Steele, seconded by Overhuel, to extend the professional services contract with Siegfried Crandall PC to provide independent auditing services for the year ending June 30, 2024 at an annual cost not to exceed \$11,500.00. On a roll call vote, all voted in favor. Motion passed.

The City of Plainwell is an equal opportunity employer and provider

D. Finance Director Kelley discussed the City's OPEB Trust fund, and a required transfer into the fund. **A motion by Keeney, seconded by Wisnaski, to approve the transfer of \$10,829.00 into the OPEB Trust to cover the actuarially determined 'normal cost' for employees covered by the City of Plainwell Retiree Medical Plan. On a roll call vote, all voted in favor. Motion passed.**

11. Communications:

A. **A motion by Steele, seconded by Overhuel, to accept and place on file the December DPS Report and the the draft 1/09/2024 DDA/BRA/TIFA meeting minutes. On a voice vote, all voted in favor. Motion passed.**

12. Accounts Payable:

A motion by Keeney, seconded by Wisnaski, that the bills be allowed and orders drawn in the amount of \$539,523.11 for payment of same. On a roll call vote, all voted in favor. Motion passed.

13. Public Comments:

1. Dennis Burd (224 Russet Drive) asked some clarifying questions about the Old Orchard Project. He asked the amount of the possible assessment by the City, the repayment time allowed (if property is assessed) and overall project timeline. He asked if other utility services would be updated during the construction.

2. Norbert Burt (802 Thomas Street) asked if properties would be assessed by parcel or by road frontage. He asked about the length of time residents would have to hook up to City sewer, with focus on working septic systems.

City Manager Lakamper, Superintendent Nieuwenhuis and Finance Director Kelley discussed various details about the project with Mr. Burd and Mr. Burt. They explained that the City is currently contemplating an assessment amount ranging from 2k to 10k per property with a repayment term of 20 years and that the project is scheduled to begin in Spring of 2024.

14. Staff Comments:

Treasurer/Finance Director Kelley reported he continues to focus of the budget.

Superintendent Nieuwenhuis stated that DPW staff handled the snow removal from the storm extremely well.

Community Development Manager Siegel reported working on projects and prepping for events. She shared that the Food Trucks will be here again this year on the 3rd Tuesday of June July and August. She stated that the EGLE lead abatement loan has been pushed back to 2024, and the first loan payment is due in September of 2026. She is applying for a 50k T-Mobile grant in hopes of using it to fund a firepit at Brook's Plaza.

Superintendent Pond reported that at a recent training event he learned that 150k carp had been removed from Lake Allegan in a 5-year period.

Clerk Leonard reported working with Treasurer/Finance Director/Deputy Clerk Kelley to create an Election Inspector schedule for Early Voting. She shared that there is an Election Commission meeting this Wednesday, and she is feeling positive about the upcoming election and the challenges it presents.

Manager Lakamper reported that the RFQ closed last week, with no interest from the development community. He is hoping for feedback from potential investors in order to reevaluate and relaunch the property development plan. The City has an Environmental Law Firm working on the Restricted Covenants. The firm is creating an overlay map of the available property to create a visual representation of what type of development is appropriate for each available area.

15. Council Comments:

Keeney states that he has received positive comments from residents about the Old Orchard project.

Steele advised everyone to keep warm.

Wisnaski stated that snow removal was handles well.

Overhuel complimented DPW on a job well done.

16. Adjournment:

A motion by Steele, seconded by Overhuel, to adjourn the meeting at 7:46 PM. On a voice vote, all voted in favor. Motion passed.

Minutes respectfully
Submitted by,
JoAnn Leonard
City Clerk

MINUTES APPROVED BY CITY COUNCIL
February 12, 2024



JoAnn Leonard, City Clerk